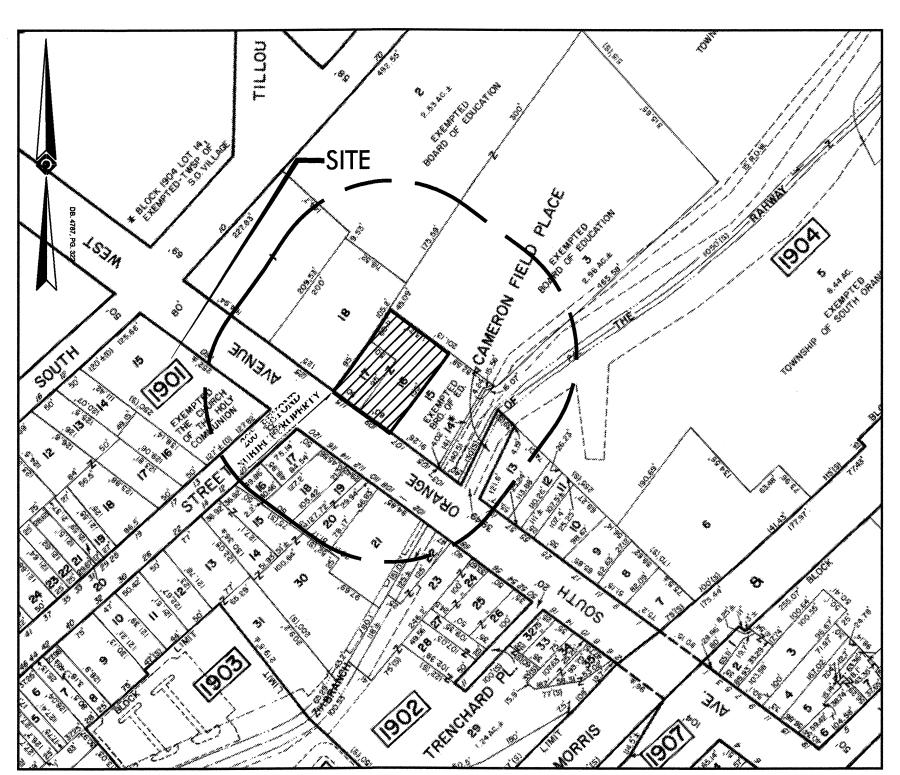
THE LEARNING EXPERIENCE

109 & 115 SOUTH ORANGE AVENUE WEST, TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY BLOCK 1904, LOTS 16&17



VICINITY MAP
SCALE: 1"=150'



LOCATION MAP SCALE: 1"=150'

ZONE MAP SCALE: 1"=150'

ZONING SCHEDULE ZONE B-1 PRIMARY BUSINESS ZONE Bulk Regulation Code Section Requirement Existing Proposed Principal Permitted Uses 92 Attachment 5:2 Child Day Care See Note "B" Retail (Unlisted) Max. Building Height 20 (APPROX.) Max. Building Height Min. Lot Width 110 Front Yard Setback 185 Attachment 3 Min Side Yard Setback 0 (See Note "C" ENC Min Rear Yard Setback 0 (See Note "D" Max. Dwelling Units per Acre N/A 78.3 Max. Lot Coverage 100 6,000 17.160 17.160 Lot Area Building Footprint 12,253 13,434 **Abbreviations**

∨ Notes:

Code based on Township of South Orange Village, Ordinance Attachments 92 and 185.

Permitted Uses:
Child Day Care Center is not listed in 92 Attachment 5:2. Based on New Jersey Municipal Land Use Law (MLUL), Child Day Care Centers are a permitted use in all Non-Residential zones.

Side yard setback: zero feet, except if doors or windows are provided on sidewall, or where abutting a side or rear yard in a residential zone, then a side yard of one (1) foot for every two feet of height of the principal structure in the business zone. No such side yard shall be less than 10 feet.

D. Rear yard setback: zero feet if rear of building has direct access to a public parking lot. If a rear yard abuts a residential zone, a setback of one foot for every two feet of height of the principal structure in the business zone is required. No such rear yard shall be less than 10 feet. A minimum five-foot fence shall be erected to screen the business use.

PARKING REQUIREMENTS:

TOTAL BUILDING FLOOR AREA (sq.ft)	#	(per code section § 185-174 Minimum Offstreet Parking Requirements, Table 2)		
10,000 to 20,000	11,034	1 space per	800	13.8
				13.8
		TOTAL RI	EQUIRED:	14
		TOTAL P	ROVIDED:	24

ADA Parking Spaces Required = 1, of which, 1 is required to be ADA Van

Existing Non Conformance

Per N.J.A.C. 5:23-7.10(c):

200' OWNERS LIST

TAKING DISTE	ICT 19 SCOTH ORANGE TWP		PLICART: 109wsoorange COUNTY 07 ESSEX
		LASS OWNERS NAME	
1902 15	160 so grange avenue west	150 CHURCH OF T 160 SO ORAN SOUTH ORANG	HE HOLY COMMUNION, THE HER EVENUE REST HE, N.J. 07079
1902 16	10 CHORCH STREET	i Gatemay II 1720 Peacht 1740 Peacht	PROJECT ENTITY LLC REE ST NW 8540 30309
1962 17	120 SO ORANGE AVENUE WEST 3 FAMILY-2 APT-STORE	4a gateway ii 1720 peachi Atlanta, ga	PROJECT ENTITY, ILC REB ST NW \$540 30309
1.902 37.01	118 SO CRANGE AVENUE WEST - 3 FAMILY-2 APT-STORE	4A GRTEWAY II 1730 PEACHT ATLANTA, GA	PROJECT ENTITY LLC PRE ST NW \$540 30309
1902 18	114 30 ORANGE AVENUE WEST	4A GATEKAY II 1720 PRACHT AZLARTA, GA	PROJECT ENTITY LLC REE ST NW #540 30309
1902 19	112 SO ORANGE AVENUE WEST	GATEWAY II 1720 PEACHT ATLANTA, GA	PROJECT ENTITY LLC REE ST NW §540 30309
1902 30	110 SO CRANCE AVENUE WEST	i gatemay ii 1720 peacht Atlanta, ga	PROJECT ENTITY, IAC NEB ST NW \$540 30309
1902 21	102 SO ORANGE AVENUE WEST	1A EST REALTY, 102 WEST SO SOUTH ORANG	UTH ORANGE AVE
1902 22	66 SO ORANGE AVENUE WEST	1 PENN PLAZ	TRANSIT CORP A EAST NJ 07105
1902 22 BLDG	68 SO ORANGE AYENUE WEST	IA GAV CAR CAR 58 WEST SO SOUTH ORANG	ORANGE AVE
1 1904	18 RIDGEWOOD ROAD WORTH	IC 10 NORTH RI 17-25 CHURC SOUTH ORANG	DGEWOOD ROAD, LLC H ST E, NJ 07073
1904 2	70 RIDGEWOOD ROAD MORTH I	LSA SOUTH ORANG 525 ACADEMY MAPLEWOOD,	
1904 5	210 MEAD STREET	5C TOWNSHIP OF VILLAGE HAL SOUTH ORANG	SOUTH ORANGE VILLAGE L E, N.J. 07079
1904 13	101 SO ORANGE AVENUE WEST 4	A VSC PROPERT 101 WEST SO SOUTH ORANGE	Orange ave
1904 14	103 SO ORANGE AVENUE WEST 1	TOWNSHIP OF CALL OF CA	
1904 15	105 SO ORANGE AVENUE WEST 1	525 ACADEMY	BOARD OF EDUCATION STREET
		anse mattereout, i	0.040
1904 16	109 SO ORANGE AVENUE WEST 4	A THE RIDGEWOO 17-25 CHURCE SOUTH GRANGE	OD COMMONS GROUP, LLC I STREET S. NJ 07079
1904 17	115 SO ORANGE AVENUE WEST 4	A THE RIDGEWOO 17-25 CHURCE SOUTH ORANGE	OD COMMONS GROUP, LLC E STREET L, NJ 07079
1904 18	125 SO ORANGE AVENUE WEST	4A NJ MELL C/O POB 2749 ADDISON, TX	DUFE 2 PRELES 75001

UTILITIES

New Jersey American Water 167 John F Kennedy Pkwy – Bldg A Short Hills New Jersey 07078

Public Service Electric & Gas Co. Manager – Corporate Properties 80 Park Place, T6B Newark, New Jersey 07102

Verizon 540 Broad Street Newark, New Jersey 07101

CABLEVISION 186 West Mark Street Newark, New Jersey 07103

WATER DEMAND CALCULATIONS: PROPOSED: 180 PERSONS AT 10 GPD\PERSON = 1,800 GPD

TOTAL PROPOSED WATER DEMAND = 1,900 GPD

SEWER DEMAND CALCULATIONS:

2 WASHES AT 50 GAL\WASH = 100 GPD

PROPOSED: 160 STUDENTS AT 10 GPD\STUDENT = 1,600 GPD

2 WASHES AT 50 GAL\WASH = 100 GPD

TOTAL PROPOSED SEWER DEMAND = 1,700 GPD

NJDEP TWA AND WATER EXTENSION PERMITS ARE NOT REQUIRED FOR THIS APPLICATION AS THE PROPOSED FLOWS DO NOT EXCEED THE FLOW THRESHOLD THAT WOULD REQUIRE SUBMISSION OF THESE PERMITS.

PROJECT CONTACTS

ENGINEER:

OWNER/ APPLICANT:
THE RIDGEWOOD COMMONS
GROUP, LLC
17-25 CHURCH STREET
SOUTH ORANGE, NJ 07079
ATTORNEY:

ATTORNEY:

JOHN P. WYCISKALA, ESQ.

INGLESINO, WEBSTER, WYCISKALA
& TAYLOR, LLC

600 PARSIPPANY ROAD

SUITE 200

PARSIPPANY, NJ 07054

ENGINEERS, INC.

42 OKNER PARKWAY
LIVINGSTON, NJ 07039

ARCHITECT:
MATTHEW B. JARMEL, AIA

JARMEL KIZEL ARCHITECTS AND

GERARD P. GESARIO, PE

JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC. 42 OKNER PARKWAY LIVINGSTON, NJ 07039

	"THE LEARNING EXPERIENCE"	
	BLOCK 1904, LOTS 16 & 17	
	I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEET ALL CODES AND ORDINANCES UNDER MY JURISDICTION.	TS.
	(MUNICIPAL ENGINEER)	(DATE)
	APPROVED BY THE PLANNING BOARD	
	(CHAIRMAN)	(DATE)
	(SECRETARY)	(DATE)
,		

PRELIMINARY/FINAL SITE PLAN OF

DRAWING INDEX				
SHEET NO.	DRAWING NO.	DRAWING NAME	DATE	LAST REV. DATE
1	C-001	COVER SHEET	01-17-19	05-08-19
2	C-100	EXISTING CONDITIONS PLAN	01-17-19	05-08-19
3	C-200	DEMOLITION PLAN	01-17-19	05-08-19
4	C-300	SITE LAYOUT AND UTILITY PLAN	01-17-19	05-08-19
5	C-400	GRADING AND DRAINAGE PLAN	01-17-19	05-08-19
6	C-600	SOIL EROSION AND SEDIMENT CONTROL PLAN	01-17-19	05-08-19
7	C-601	SOIL EROSION AND SEDIMENT CONTROL NOTES	01-17-19	
8	C-650	LIGHTING PLAN	01-17-19	05-08-19
9	C-900	DETAIL SHEET	01-17-19	
10	C-901	DETAIL SHEET	01-17-19	05-08-19
11	C-902	DETAIL SHEET	01-17-19	05-08-19
12	C-903	DETAIL SHEET	01-17-19	
13	C-904	DETAIL SHEET	05-08-19	
	 			



www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

		ISSUE	
NO.	DATE	DESCRIPTION	IN
1	1.17.19	FOR COMPLETENESS REVIEW	GP
2	4.16.19	FOR MAY 6TH HEARING	GP
3	5.17.19	FOR 6.3.19 PLANNING BOARD	GF
	•	REVISION	
NO.	DATE	DESCRIPTION	IN
1	4.10.19	ADD BIKE RACK\PERIMTER FENCE	GP
2	5.8.19	PER MAY 4, 2019 REVIEW MEMO	API

MATTHEW B. JARMEL, AIIA, MBA AZ LIC 48159 CO LIC ARC-401483 CT LIC ARI.0011415 DC LIC ARC101849 DE LIC S5-0007256 FL LIC AR98965 GA LIC RA011484 IA LIC 05577 IL LIC 001.020069 MA LIC AR10286	NJ LIC AIO-12787 MN LIC 46404 NC LIC 10120 NH LIC 3501 NY LIC 024673 OH LIC A-99-12444 PA LIC RA-014851-B RI LIC ARC.0004765 SC LIC AR9163
CO LIC ARC-401483 CT LIC ARI.0011415 DC LIC ARC101849 DE LIC S5-0007256 FL LIC AR98965 GA LIC RA011484 IA LIC 05577 IL LIC 001.020069	NC LIC 10120 NH LIC 3501 NY LIC 024673 OH LIC A-99-12444 PA LIC RA-014851-B RI LIC ARC.0004765 SC LIC AR.9163
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IA LIC 05577 IL LIC 001.020069	SC LIC AR.9163
IL LIC 001.020069	
MA UC APIO286	
	TN LIC 103850 TX LIC 20992
MD LIC 12662	VA LIC 0401 014089
MI LIC 1301052189	VT LIC 2453 NJ LIC 21AI00794700
IRWIN H. KIZEL, AIA, PP	NJ PP LIC 33LI0024310
RICHARD A. JARMEL, PE	NJ LIC 37491 MN LIC 47482
CT LIC PEN0027735 FL LIC 83149	MN LIC 47482 NY LIC 073898-1
MI LIC 6201052339	PA LIC PE070600 MA LIC 50445
DE LIC 18754 VT LIC 88498	TX LIC 123822
ASSOCIATES	
RONALD A. BROKENSHIRE, PE CT LIC PEN.0032811	NJ LIC GE45511
CT LIC PEN.0032811	PA LIC PE085817
DAVID I JESESME DA	NJ LIC AL 13231
CT LIC ARI-0011748 MA LIC 31425	NY LIC 024719 PA LIC RA-405081
MA LIC 31425 MICHAEL J. VORLAND, RA GERARD P. GESARIO, PE	NY LIC 036993
GERARD P. GESARIO, PE	NJ LIC GE038255
FREDERICK KINCAID, RA	
JEROME LESLIE EBEN, FAIA, PP	NJ LIC 21A1018294 NJ LIC AI 8883 NY LIC 019151
PA LIC 016502-B	NY LIC 019151
VA LIC 0401 012073	
CHERYL SCHWEIKER, AIA	NJ LIC 21AI02069000 PA LIC RA407927
NII State Deared Of Amelitanta As	
NJ State Board Of Architects As IJ State Board Of Engineers & Land Surveyors	: Authorization No. 24GA28(

TOWNSHIP OF SOUTH ORANGE VILLAGE
ESSEX COUNTY, NJ
BLOCK 1904, LOTS 16&17

Project No: Scale:
TLENJ-S-17-264

AS NOTE

109 & 115 SOUTH ORANGE AVENUE WEST

1	rroject ivo:	Scale:
	TLENJ-S-17-264	AS NOTED
	Drawn By:	Approved By:
	LB	GPG
1	B : 11	

COVER SHEET

C-00
Sheet No: of:

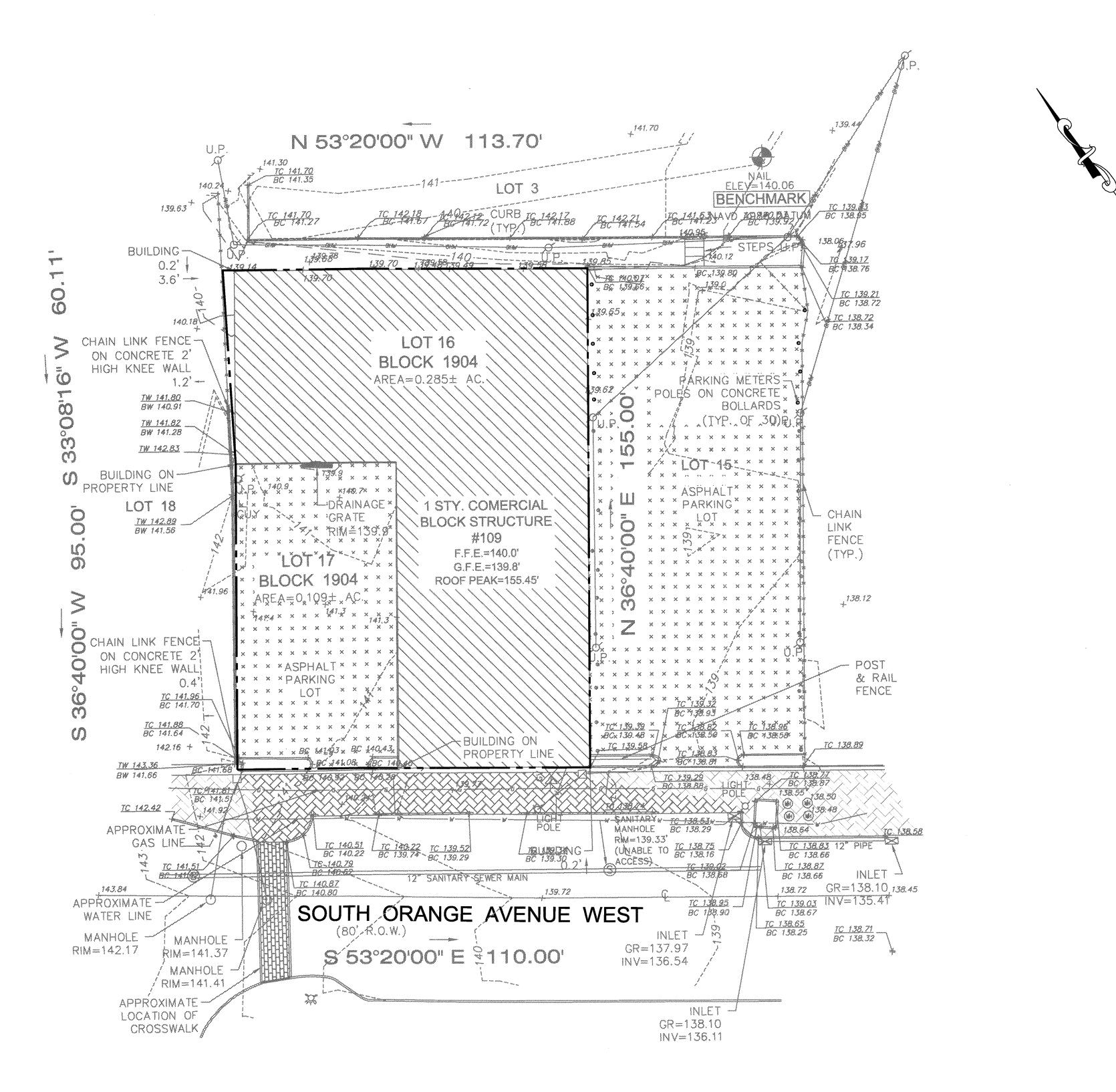
1 13
Initial Date:

JANUARY 3, 2019

GERARD P. GESARIO
PROFESSIONAL
ENGINEER
N.J. LIC. #GE038255

EXISTING CONDITIONS NOTE:

- 1. BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHIC SURVEY OF PROPERTY, LOT NO.16&17, BLOCK 1904, TOWNSHIP OF SOUTH ORANGE VILLAGE, COUNTY OF ESSEX, NEW JERSEY" BY MORGAN ENGINEERING & SURVEYING DATED 2/5/2017.
- 2. THE DISTANCE FROM THE TOP OF BANK OF THE EAST BRANCH OF THE RAHWAY RIVER TO THE EAST PROPERTY LINE OF LOT 16 IS APPROXIMATELY 130 FEET.





Implementation Services

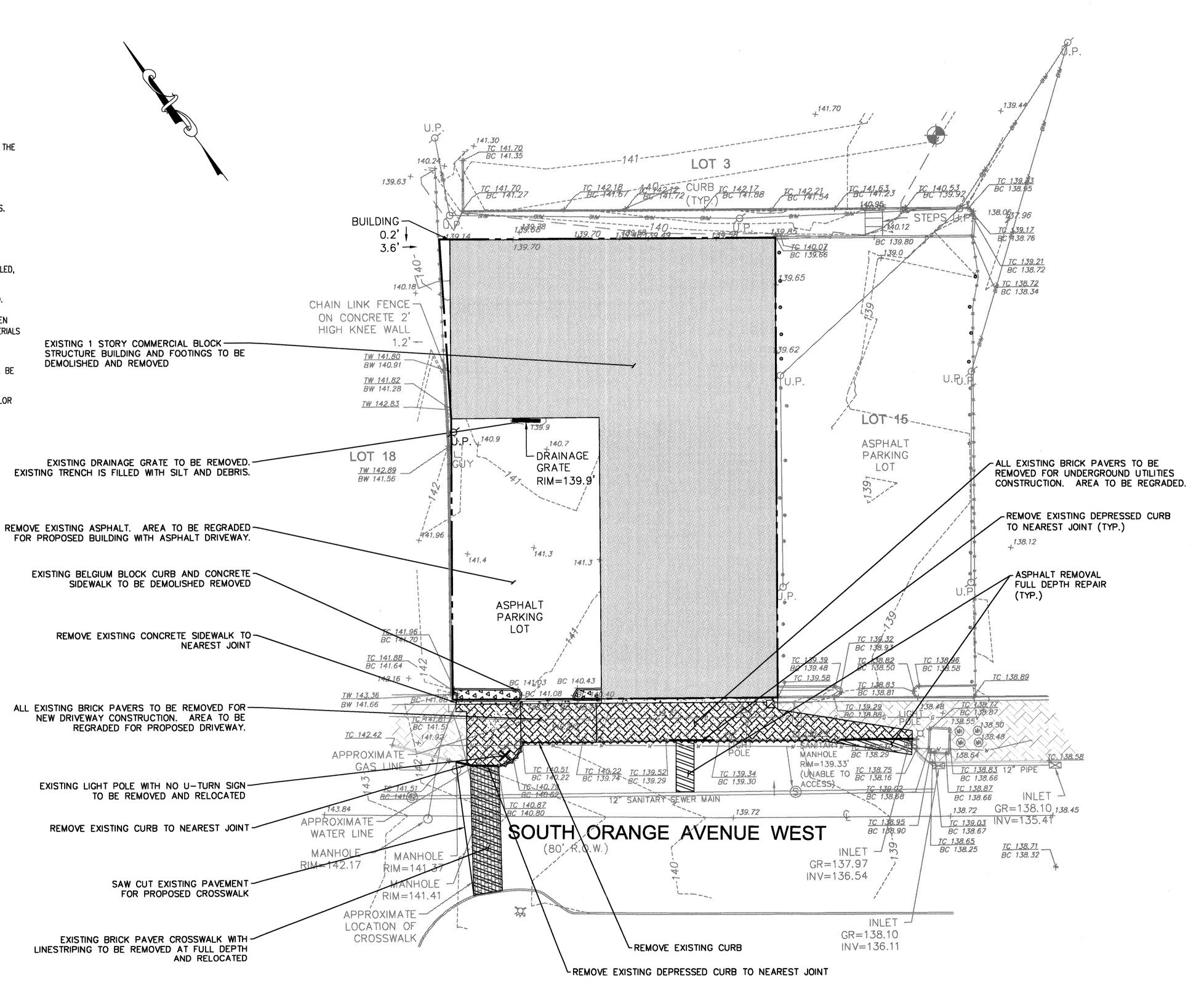
		ISSUE	
NO.	DATE	DESCRIPTION	INT.
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	<u> </u>		
		REVISION	
NO.	DATE	DESCRIPTION	INT.
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PRINCIPALS	
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MI LIC 1301052189 IRWIN H. KIZEL, AIA, PP	VT LIC 2453 NJ LIC 21Al007947
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FREDERICK KINCAID, RA	NJ LIC 21A10182
FREDERICK KINCAID, RA JEROME LESLIE EBEN, FAIA, PP PA LIC 016502-B	NJ LIC 21A10182 NJ LIC AI 8883 NY LIC 019151
FREDERICK KINCAID, RA JEROME LESLIE EBEN, FAIA, PP	NJ LIC AI 8883 NY LIC 019151 NJ LIC 21AI02069
FREDERICK KINCAID, RA JEROME LESLIE EBEN, FAIA, PP PA LIC 016502-B VA LIC 0401 012073	NJ LIC AI 8883 NY LIC 019151 NJ LIC 21AI02069 PA LIC RA407927
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Project: THE LEARNI TOWNSHIP OF SC ESSEX	NJ LIC AI 8883 NY LIC 019151 NJ LIC 21AI02069 PA LIC RA407927 cts Authorization No. 1611 eyors Authorization No. 24G/ ING EXPERIENC ORANGE AVENUE OUTH ORANGE VIL COUNTY, NJ 04, LOTS 16&17
FREDERICK KINCAID, RA JEROME LESLIE EBEN, FAIA, PP PA LIC 016502-B VA LIC 0401 012073 CHERYL SCHWEIKER, AIA NJ State Board Of Archite NJ State Board Of Engineers & Land Surv Project: THE LEARN! 109 & 115 SOUTH TOWNSHIP OF SC ESSEX BLOCK 19 Project No:	NJ LIC AI 8883 NY LIC 019151 NJ LIC 21AI02069 PA LIC RA407927 cts Authorization No. 161 eyors Authorization No. 24G/ ING EXPERIENC ORANGE AVENUE DUTH ORANGE VIL COUNTY, NJ 04, LOTS 16&17 Scale:
Project No: TLENJ-S-17-264	NJ LIC AI 8883 NY LIC 019151 NJ LIC 21AI02069 PA LIC RA407927 cits Authorization No. 161 eyors Authorization No. 24G/ ING EXPERIENC ORANGE AVENUE OUTH ORANGE VIL COUNTY, NJ 04, LOTS 16&17 Scale: 1"
FREDERICK KINCAID, RA JEROME LESLIE BERN, FAIA, PP PA LIC 016502-B VA LIC 0401 012073 CHERYL SCHWEIKER, AIA NJ State Board Of Archite NJ State Board Of Engineers & Land Surv Project: THE LEARN! 109 & 115 SOUTH TOWNSHIP OF SC ESSEX BLOCK 19 Project No:	NJ LIC AI 8883 NY LIC 019151 NJ LIC 21AI02069 PA LIC RA407927 cts Authorization No. 161 eyors Authorization No. 24G/ ING EXPERIENC ORANGE AVENUE DUTH ORANGE VIL COUNTY, NJ 04, LOTS 16&17 Scale:
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FREDERICK KINCAID, RA JEROME LESLIE EBEN, FAIA, PP PA LIC 016502-B VA LIC 0401 012073 CHERYL SCHWEIKER, AIA NJ State Board Of Archite NJ State Board Of Engineers & Land Surv Project: THE LEARNI 109 & 115 SOUTH TOWNSHIP OF SC ESSEX BLOCK 19 Project No: TLENJ-S-17-264 Drawn By: LB Drawing Name: EXISTING CON Drawing Number: C-100	NJ LIC AI 8883 NY LIC 019151 NJ LIC 21AI02066 PA LIC RA407927 cts Authorization No. 161 reyors Authorization No. 24G/ ING EXPERIENC ORANGE AVENUE OUTH ORANGE VIL COUNTY, NJ 04, LOTS 16&17 Scale: 1" Approved By:
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DEMOLITION NOTES:

- 1. BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHIC SURVEY OF PROPERTY, LOT NO.16&17, BLOCK 1904, TOWNSHIP OF SOUTH ORANGE VILLAGE, COUNTY OF ESSEX, NEW JERSEY" BY MORGAN ENGINEERING & SURVEYING DATED 2/5/2017.
- 2. THE GENERAL CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS AND SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCY ON DRAWINGS.
- 3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSING IN A LEGAL MANNER IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL CONCRETE PADS, ASPHALT PARKING, CURBS, ETC, SUCH THAT ALL THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR NECESSARY DISCONNECTS OF THE EXISTING UTILITY AND RECONNECTION SHALL BE INCLUDED.
- 5. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES AS REQUIRED PRIOR TO START OF DEMOLITION.
- 6. GENERAL CONTRACTOR IS DESIGNATED TO MAKE REMOVALS AND DISPOSAL OF THE MATERIALS IS HIS RESPONSIBILITY.
- 7. GENERAL CONTRACTOR SHALL KEEP THE PROJECT SITE FREE OF DEBRIS AND MAKE FINAL CLEAN UP TO THE SATISFACTION OF THE OWNER.
- 8. GENERAL CONTRACTOR SHALL CARRY OUT THE WORK OF THIS CONTRACT PLACING THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
- 9. THE GENERAL CONTRACTOR SHALL IMPLEMENT ALL NECESSARY MEASURES TO PROTECT ADJACENT AND ON-SITE PROPERTY, STRUCTURES AND UTILITIES THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK.
- 10. THE GENERAL CONTRACTOR SHALL ENSURE FREE AND SAFE PASSAGE OF PERSONS AROUND THE AREA OF THE DEMOLITION AS DIRECTED BY THE OWNER AND THE MUNICIPAL OFFICIALS. THE OWNER'S REPRESENTATIVE IS NOT RESPONSIBLE FOR JOBSITE SAFETY.
- 11. ALL SIDEWALK, CURBS, DRIVEWAYS, PIPES, STRUCTURES TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE DURING CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED BY THE CONTRACTOR AT THEIR EXPENSE.
- 12. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TRAFFIC CONTROL DEVICES REQUIRED BY THE MUNICIPALITY AND LOCAL AGENCIES.
- 13. PULVERIZED CONCRETE OR MASONRY SHALL NOT BE USED AS BACKFILL MATERIAL.
- 14. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED THE OWNER/ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY.
- 15. GENERAL CONTRACTOR SHALL BE RESPONSIBLE EACH DAY TO INSPECT AND REMOVE ALL DIRT, GRAVEL AND LOOSE MATERIAL DUMPED, SPILLED, ETC. FROM THE CONSTRUCTION SITE ONTO OTHER ADJACENT SITES, ROW, PUBLIC OR PRIVATE STREET.
- 16. GENERAL CONTRACTOR SHALL REDUCE THE AIRBORNE DUST DURING THE DEMOLITION AND MAINTAIN EROSION CONTROL DEVICES AS REQUIRED.
- 17. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, CURBING, PAVEMENT, LIGHTING AND/OR STORM INLETS STRUCTURES, THEN THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL CONSTRUCTION MATERIALS SHALL BE NEW.
- 18. GENERAL CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, CURBING, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPLACEMENT.
- 19. EXISTING PAVERS ALONG FRONTAGE MAY BE REMOVED, SALVAGED, AND RE-USED. ANY NEW PAVERS INSTALLED MUST MATCH EXISTING IN COLOR AND PATTERN.
- 20. INFORMATION ON THE TRENCH DRAIN PIPING AND INTERNAL ROOF DRAINAGE SYSTEM WAS UNABLE TO BE OBTAINED DURING THE DESIGN PROCESS. THIS INFORMATION WILL BE CONFIRMED AT THE TIME OF CONSTRUCTION AND PROVIDED TO THE TOWNSHIP ENGINEER.





Jarmel Kize
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Architecture
Engineering
Interior Design
Implementation Services

MATTHEW B. JARMEL, AIA, MBA AZ LIC 48159 MN LIC 46404 CO LIC ARC-401483 NC LIC 10120 CT LIC ARI.0011415 NH LIC 3501 DC LIC ARC.101849 NY LIC 024673 DE LIC S5-0007256 OH LIC A-99-12444 FI. LIC AR89895 PA LIC RA-014851-B GA LIC RA011484 RI LIC ARC.0004765 IA LIC 05577 SC LIC AR.9163 IL LIC 001.020069 TN LIC 103850 MA LIC A810286 TX LIC 20992 MD LIC 12662 VA LIC 0401 014089 MI LIC 1301052189 VT LIC 2453 IRWIN H. KIZEL, AIA, PP CT LIC 08522 NJ LIC 214000794700 CT LIC 08522 NJ LIC 37491 MI LIC 6201052339 PA LIC 703898-1 FIL LIC 183149 MI LIC 6201052339 PA LIC 9073898-1 MI LIC 6201052339 PA LIC 9073898-1 MI LIC 68498 TX LIC 123822 ASSOCIATES RONALD A. BROKENSHIRE, PE CT LIC PEN.0032811 PA LIC 907400 MA LIC 31425 PA LIC PE085817 DAVID L. LESESNE, RA NJ LIC G24719 MA LIC 31425 PA LIC PE085817 DAVID L. LESESNE, RA NJ LIC G24719 MA LIC 31425 PA LIC PE085817 MI LIC 036993 GERARD P. GEGRIO, PE FREDERICK KINCAID, RA JEROME LESLIE EBEN, FAIA, PP PA LIC 016502-B VA LIC 0401 012073 CHERYL SCHWEIKER, AIA NJ LIC 21A102069000 PA LIC RA407927 NJ State Board Of Architects Authorization No. 161 NJ State Board Of Architects Authorization No. 161	PRINCIPALS	
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ESSEX COUNTY, NJ
BLOCK 1904, LOTS 16&17

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Initial Date:

JANUARY 3, 2019

GERARD P. GESARIO PROFESSIONAL ENGINEER

N.J. LIC. #GE038255

S:\PROJECTS\TLENJ-S-17-264 TLE SOUTH ORANGE NJ\CAD\17-264 C-200 DEMO PLAN.DWG APROTOPA

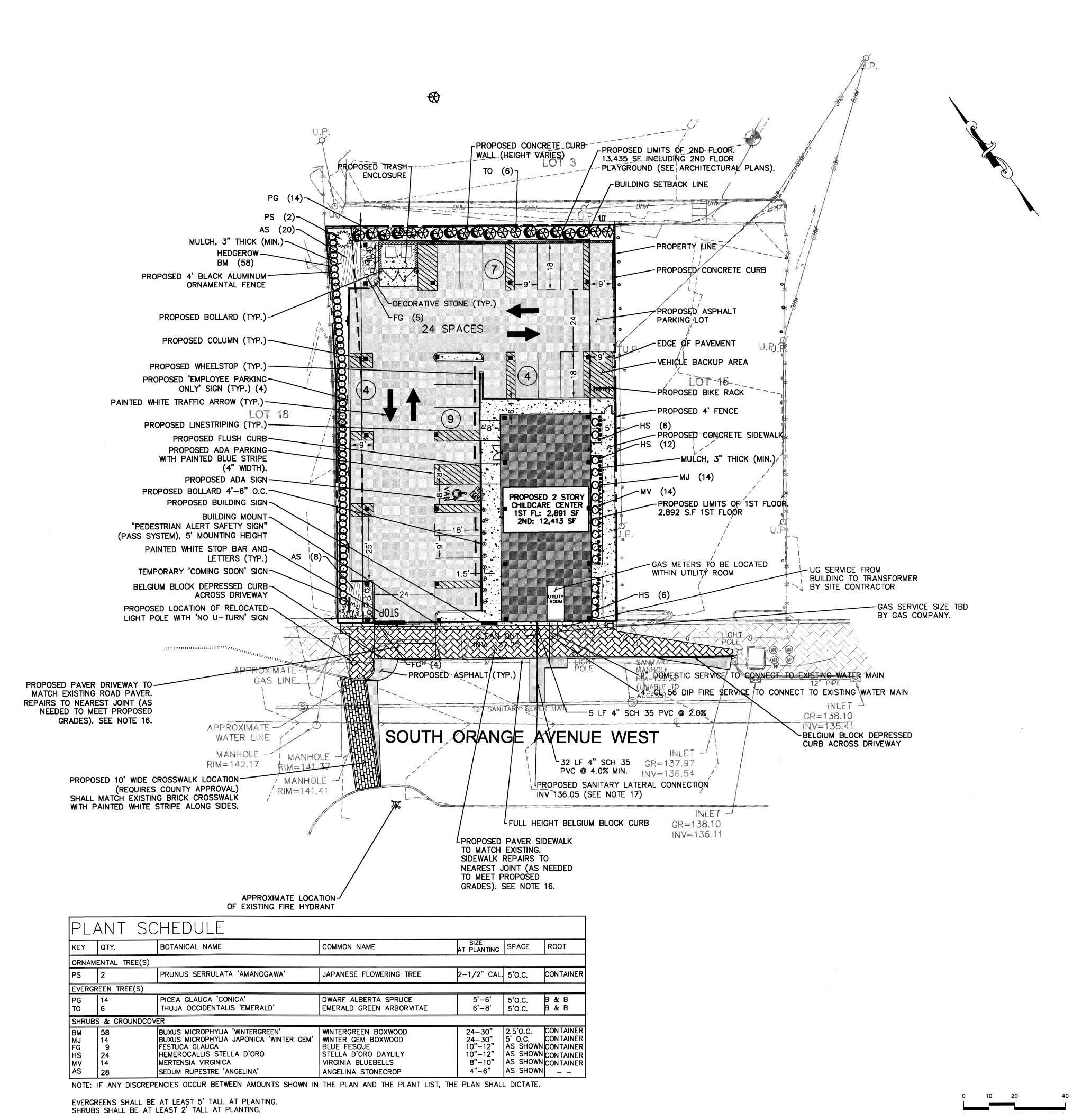
GENERAL NOTES:

- BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHIC SURVEY OF PROPERTY, LOT NO.16&17, BLOCK 1904, TOWNSHIP OF SOUTH ORANGE VILLAGE, COUNTY OF ESSEX, NEW JERSEY" BY MORGAN ENGINEERING & SURVEYING DATED 2/5/2017.
- 2. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT DOOR LOCATIONS, INTERIOR RENOVATIONS, AND ARCHITECTURAL ELEMENTS.
- 3. ALL CONSTRUCTION IS TO BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL CODES.
- 4. CONSTRUCTION MATERIALS AND METHODS NOT OTHERWISE SPECIFIED OR SHOWN HEREIN SHALL CONFORM TO NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION AND AMENDMENTS).
- 5. THESE PLANS DEPICT THE SITE WORK IMPROVEMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS, TECHNIQUES, SEQUENCE OF CONSTRUCTION AND JOB SITE SAFETY. AS SUCH, THESE PLANS ARE NOT INTENDED TO REPRESENT SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- 6. THE GENERAL CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION OF THE SITE IN ORDER TO REVEAL EXISTING CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO BIDDING, ORDERING MATERIALS, AND COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE GENERAL CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIS) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITE WORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE WORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- 8. THE GENERAL CONTRACTOR IS RESPONSIBLE TO CONTACT NEW JERSEY ONE CALL NOT LESS THAN 3 BUSINESS DAYS AND NOT MORE THAN 10 BUSINESS DAYS PRIOR TO THE BEGINNING OF ANY EXCAVATION OR DEMOLITION. NEW JERSEY ONE CALL INFORMATION — PHONE: 1-800-272-1000, WEB: WWW.NJ1-CALL.ORG
- 9. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND JOB SITE SAFETY.
- 10. THE MUNICIPAL ENGINEER MUST BE NOTIFIED ONE WEEK PRIOR TO THE CONSTRUCTION OF ANY CURBING, SIDEWALKS, PAVEMENT GRADING, or other utilities.
- 11. THE GENERAL CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER OF ANY CONDITION OF CONFLICTS THAT WILL ALTER THE INTENT OF THE DESIGN HEREIN.
- 12. THE GENERAL CONTRACTOR IS REQUIRED TO REMOVE ALL UNSUITABLE MATERIALS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
- 13. ALL PROPOSED IMPROVEMENTS TO BE IN ACCORDANCE WITH CURRENT ADA AND NJ BARRIER FREE CODE REQUIREMENTS.
- 14. SUBJECT TO ALL APPLICABLE RULES, REGULATIONS, ORDINANCES AND STATUTES OF THE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY AND STATE OF NEW JERSEY AND ANY OTHER JURISDICTION.
- 15. THE GENERAL CONTRACTOR SHALL CONFIRM EXISTING PARKING LOT AND CURB GRADES PRIOR TO CONSTRUCTION.
- 16. EXISTING PAVERS ALONG FRONTAGE MAY BE REMOVED, SALVAGED, AND RE-USED. ALL NEW PAVERS MUST MATCH EXISTING PAVERS IN COLOR AND PATTERN.
- 17. SANITARY MANHOLES WERE INACCESSIBLE AT TIME OF SURVEY AND AT TIME OF INITIAL SUBMISSION OF PLANS. PUBLIC WORKS IS IN THE PROCESS OF SCHEDULING MAINTENANCE WHICH WILL ALLOW ACCESS TO THESE STRUCTURES. CONTRACTOR TO CONFIRM AND PROVIDE INVERT OF SEWER PRIOR TO CONSTRUCTION IF INFORMATION IS NOT MADE AVAILABLE PRIOR TO APPROVAL

SITE SPECIFIC NOTES:

- 1. VILLAGE ENGINEER TO BE CONSULTED ON ANY REDESIGN OF THE STORM SEWER WITHIN THE VILLAGE RIGHT-OF-WAY PRIOR TO ITS CONSTRUCTION IF UTILITY TEST PIT(S) INDICATE UTILITY LOCATIONS DOES NOT PROVIDE SUFFICIENT SEPARATION.
- 2. HYDRANT FLOW TESTS WILL BE PERFORMED AND RESULTS PROVIDED TO VILLAGE ENGINEER. IF PRESSURE IN THE MAIN IS FOUND TO BE INSUFFICIENT, BUILDING DESIGN WILL INCORPORATE A DOMESTIC\FIRE SERVICE BOOSTER PUMP.

	LEGEND	
	EXISTING	PROPOSED
PROPERTY LINE		
BUILDING LINE		
CURB LINE		
DEPRESSED CURB	N/A	
CONCRETE WALK	N/A	4 4 4





		ISSUE	
NO.	DATE	DESCRIPTION	INT.
1	1.17.19	FOR COMPLETENESS REVIEW	GPO
2	4.16.19	FOR MAY 6TH HEARING	GPO
3	5.17.19	FOR 6.3.19 PLANNING BOARD	GPC
		REVISION	-
NO.	DATE	DESCRIPTION	INT.
1	<u> </u>	ADD BIKE RACK\PERIMETER FENCE	GPO
2	5.8.19	PER MAY 4, 2019 REVIEW MEMO	APP

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GRADING AND DRAINAGE PLAN NOTES

- 1. BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHIC SURVEY OF PROPERTY, LOT NO.16&17, BLOCK 1904, TOWNSHIP OF SOUTH ORANGE VILLAGE, COUNTY OF ESSEX, NEW JERSEY" BY MORGAN ENGINEERING & SURVEYING DATED 2/5/2017.
- 2. THE GENERAL CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE MEASUREMENTS SHOULD BE TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- . THE GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE UTILITY COMPANIES AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
- 4. EXCAVATED MATERIAL CONTAINING ROCK OR STONE GREATER THAN SIX (6) INCHES IN LARGEST DIMENSION IS UNACCEPTABLE AS FILL TO WITHIN THE PROPOSED BUILDING AND PAVING AREA.
- 5. ROCK OR STONE LESS THAN SIX (6) INCHES IN LARGEST DIMENSION IS ACCEPTABLE AS FILL TO WITHIN TWENTY-FOUR (24) INCHES OF SURFACE OF PROPOSED SURGED WHEN MIXED WITH SUITABLE MATERIAL AS PERMITTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- 6. ROCK OR STONE LESS THAN TWO (2) INCHES IN LARGEST DIMENSION AND MIXED WITH SUITABLE MATERIAL IS ACCEPTABLE AS FILL WITHIN THE UPPER TWENTY-FOUR (24) INCH OF PROPOSED SUBGRADE AS PERMITTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- 7. COMPACTION CRITERIA FOR FILL PLACED IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA GIVEN ELSEWHERE:

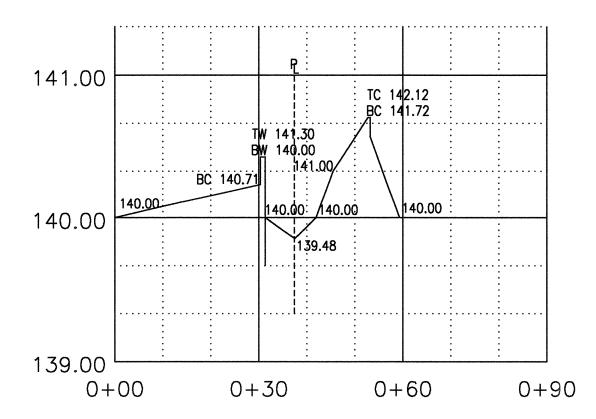
FILL AREA
SIDEWALKS
PAVEMENTS AND ROADWAYS
LANDSCAPE AREAS
TRENCH BACKFILL
SAME AS SURROUNDING AREA

- 8. GRADE ALL AREAS WHERE FINISH GRADE ELEVATIONS OR CONTOURS ARE INDICATED ON DRAWINGS. GRADED AREAS SHALL BE UNIFORM AND SMOOTH, FREE FROM ROCK, DEBRIS, OR IRREGULAR SURFACE CHANGES. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.10 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATION, AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS.
- 9. ALL CONCRETE, UNLESS OTHERWISE NOTED OR SPECIFIED BY REGULATORY AUTHORITIES, SHALL BE 4000 PSI.
- 10. REPRESENTATIVES OF THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT THE DRAINAGE FACILITIES LOCATED ON THE PROPOSED LOTS FROM TIME TO TIME AS DEEMED NECESSARY.
- 11. CATCH BASINS SHALL BE CLEANED OUT PERIODICALLY TO PREVENT THE BUILDUP OF SEDIMENT AND DEBRIS IN STRUCTURES.

STORMWATER NOTE:

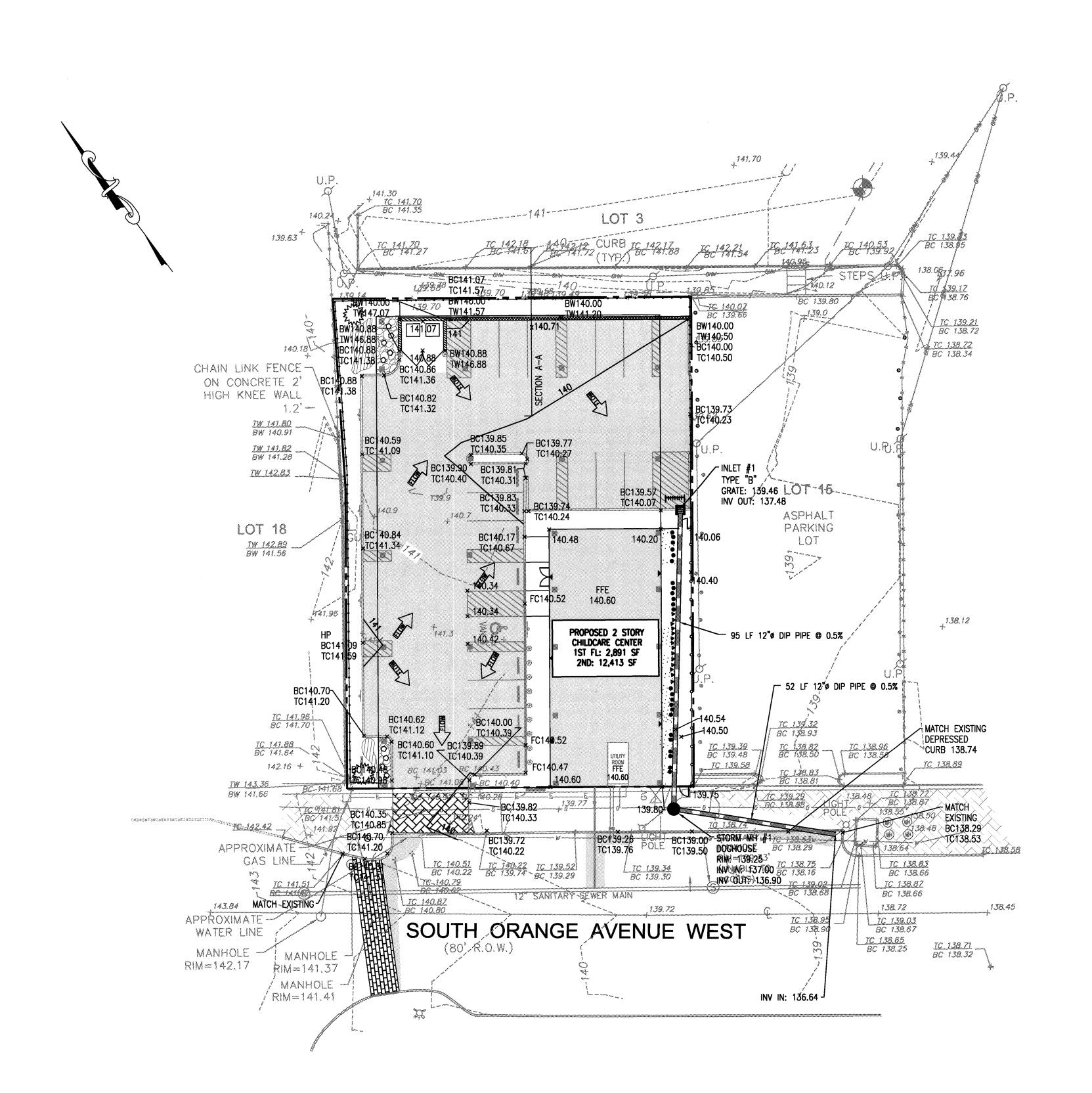
THE PROPOSED DEVELOPMENT WILL REDUCE IMPERVIOUS LOT COVERAGE FROM 100 PERCENT UNDER EXISTING CONDITIONS TO 78.3 PERCENT UNDER PROPOSED CONDITIONS. THIS REDUCTION IN IMPERVIOUS LOT COVERAGE WILL REDUCE BOTH THE VOLUME OF STORM RUNOFF AND PEAK FLOW OF STORM RUNOFF FROM THE SITE THUS PROVIDING A BENEFIT TO THE EXISTING DOWNSTREAM STORMWATER SYSTEM.

	LEGEND	
	EXISTING	PROPOSED
STORM SEWER	N/A	
PROPERTY LINE		
MANHOLE	N/A	
CATCH BASIN	N/A	•
SPOT ELEVATION	70; 100,57° 80; 100,42'x	99.30+
CONTOUR	naan nan nan nan nan nan (M) nan nan nan nan nan man	99



SECTION A-A

SCALE: 1"=20'





Architecture
Engineering
Interior Design
Implementation Services

		ISSUE	`
NO.	DATE	DESCRIPTION	INT.
1	1.17.19	FOR COMPLETENESS REVIEW	GPG
2	4.16.19	FOR MAY 6TH HEARING	GPG
3	5.17.19	FOR 6.3.19 PLANNING BOARD	GPG
		REVISION	
NO.	DATE	DESCRIPTION	INT.
1	5.8.19	PER MAY 4, 2019 REVIEW MEMO	APP

MATTHEW B. JARMEL, AIA, MBA	NJ LIC AI0-12787
AZ LIC 48159	MN LIC 46404
CO LIC ARC-401483	
CT LIC ARI.0011415	
DC LIC ARC101849	
DE LIC \$5-0007256	OH LIC A-99-12444
FL LIC AR98965	PA LIC RA-014851-B
GA LIC RA011484	RI LIC ARC.0004765
IA LIC 05577	SC LIC AR.9163
IL UC 001.020069	TN LIC 103850
MA LIC AKTU286	TN LIC 103850 TX LIC 20992
MD LIC 12662	VA LIC 0401 014089
MI LIC 1301052189	
IRWIN H. KIZEL, AIA, PP	NJ LIC 21AI00794700
CT LIC 08522	NJ PP LIC 33LI00243100
RICHARD A. JARMEL, PE	NJ LIC 37491
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MI LIC 83149 MI LIC 6201052339	NY LIC 0/3898-1
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VT LIC 88498	TX LIC 123822
ASSOCIATES ' LIC 00470	110 120022
RONALD A. BROKENSHIRE, PE	NJ LIC GE45511
CT LIC PEN.0032811	
DAVID L. LESESNE, RA	NJ LIC AI 13231
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CHERYL SCHWEIKER, AIA	NJ LIC 21AI02069000
	PA LIC RA407927
NJ State Board Of Archite	cts Authorization No. 161
NJ State Board Of Engineers & Land Surv	reyors Authorization No. 24GA28053000
Don't at.	
Project: THE LEARN	ING EXPERIENCE
100 & 115 SOUTH	ORANGE AVENUE WEST
TOWNSHIP OF SC	OUTH ORANGE VILLAGE
ESSEX	COUNTY, NJ
	04, LOTS 16&17
DLOCK 17	· •
Project No:	Scale:
TLENJ-S-17-264	1" = 20'

GRADING AND DRAINAGE PLAN

owing Number:

5 13
Initial Date:
JANUARY 3, 2019

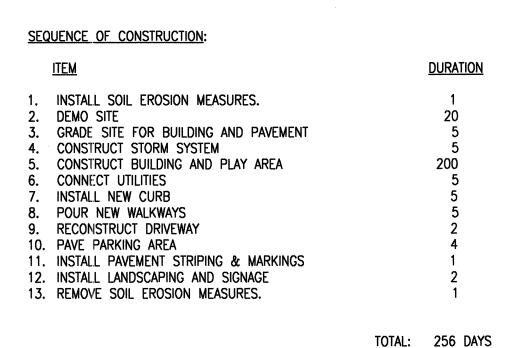
GERARD P. GESARIO PROFESSIONAL ENGINEER N.J. LIC. #GE038255

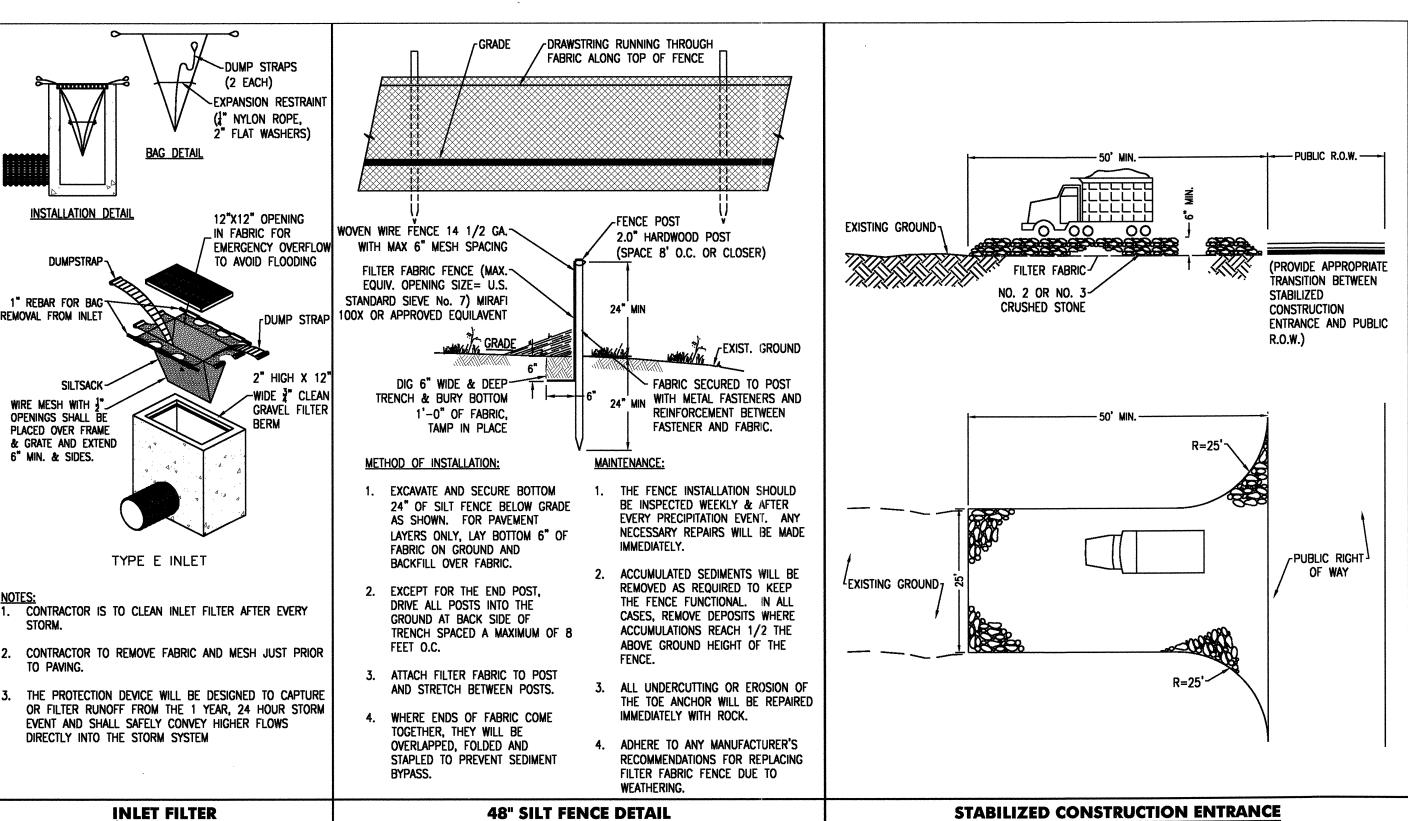
SOIL EROSION AND SEDIMENT CONTROL NOTES (To be included on the signed erosion control plan sheet)

- 1. All soil erosion and sediment control practices on this plan will be constructed in accordance with the "New Jersey Standards for Soil Erosion and Sediment Control" 7th Edition last revised December 2017. These measures will be installed prior to any major soil disturbance or in their proper sequence and maintained until permanent protection is established.
- 2. All soil to be exposed or stockpiled for a period of greater than 14 days, and not under active construction, will be temporarily seeded and hay mulched or otherwise provided with vegetative cover. This temporary cover shall be maintained until such time whereby permanent restabilization is established.
- 3. <u>Seeding Dates:</u> The following seeding dates are recommended to best establish permanent vegetative cover within most locations in the HEPSCD: $\frac{\text{Spring}}{\text{Spring}} = \frac{3/1-5/15}{3}$ and $\frac{\text{Fall}}{\text{Spring}} = \frac{8/15}{3} = \frac{10/1}{3}$
- 4. Sediment fences are to be properly trenched and maintained until permanent vegetative cover is established
- 5. All storm drainage inlets shall be protected by one of the practices accepted in the Standards, and protection shall remain until permanent stabilization has been established. Storm drainage outlet points shall be protected as required before they become functional.
- 6. Mulch materials shall be un—rotted small grain straw applied at the rate of 70 to 90 pounds per 1,000 square feet and anchored with a mulch anchoring tool, liquid mulch binders, or netting tie down. Other suitable materials may be used if approved by the Soil Conservation District.
- 7. All erosion control devices shall be periodically inspected, maintained and corrected by the contractor. Any damage incurred by erosion shall be rectified immediately.
- 8. The Hudson-Essex-Passaic Soil Conservation District will be notified in writing at least 48 hours prior to any soil disturbing activities. Fax (862) 333-4507 OR email INFORMATION@HEPSCD.ORG
- 9. The applicant must obtain a District issued Report—of—Compliance prior to applying for the Certificate of Occupancy or Temporary Certificate of Occupancy from the respective municipality, NJ DCA or any other controlling agency. Contact the District at 862—333—4505 to request a Final Inspection, giving advanced notice upon completion of the restabilization measures. A performance deposit may be posted with the District when winter weather or snow cover prohibits the proper application of seed, mulch, fertilizer or hydro—seed.
- 10. Paved roadways must be kept clean at all times. Do not utilize a fire or garden hose to clean roads unless the runoff is directed to a properly designed and functioning sediment basin. Water pumped out of the excavated areas contains sediments that must be removed prior to discharging to receiving bodies of water using removable pumping stations, sump pits, portable sedimentation tanks and/or silt control bags.
- 11. All surfaces having lawn or landscaping as final cover are to be provided topsoil prior to re—seeding, sodding or planting. A depth of 5.0 inches, firmed in place, is required, as per the Standards for Topsoiling and Land Grading, last revised December 2017.
- 12. All plan revisions must be submitted to the District for proper review and approval.

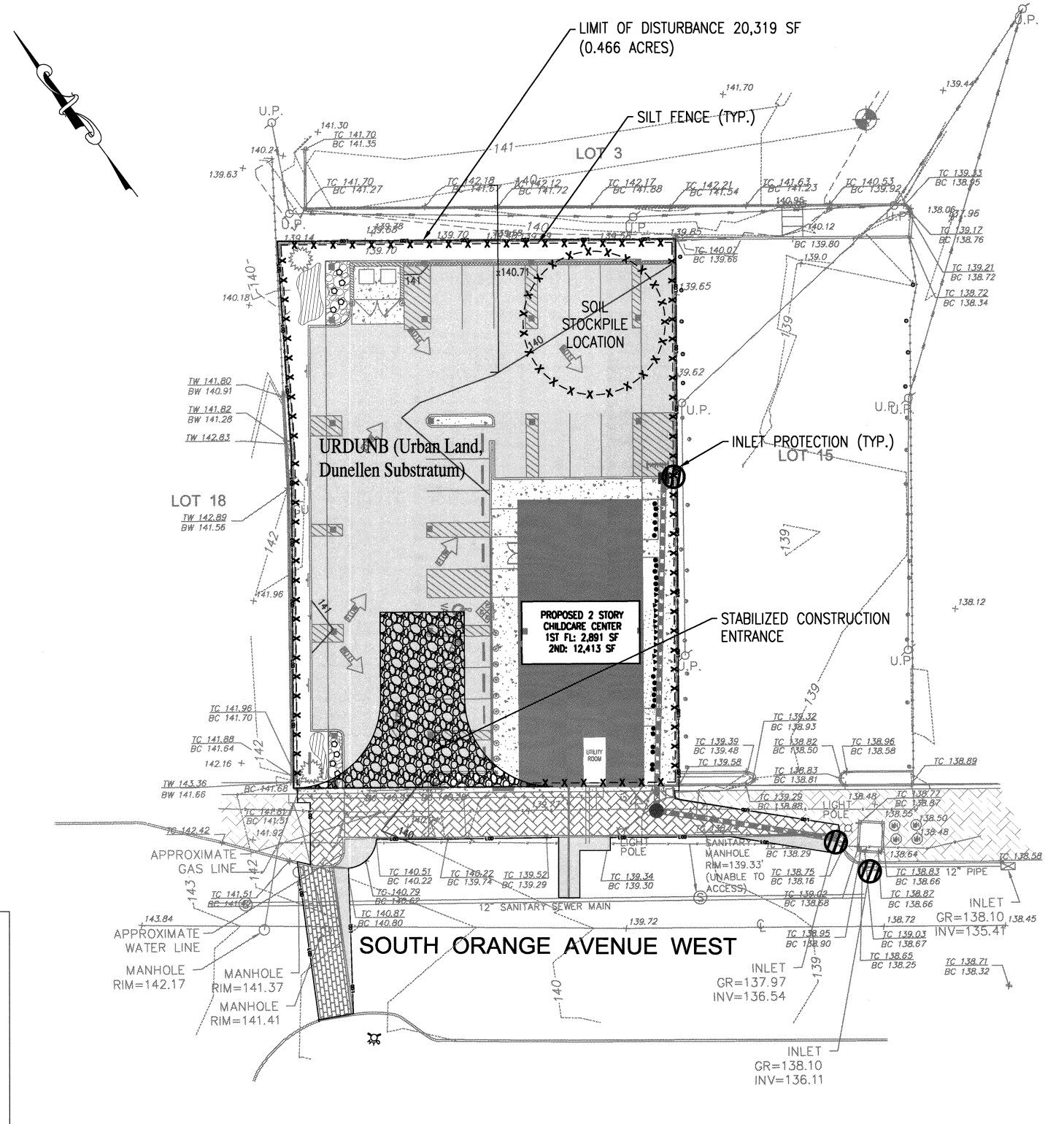
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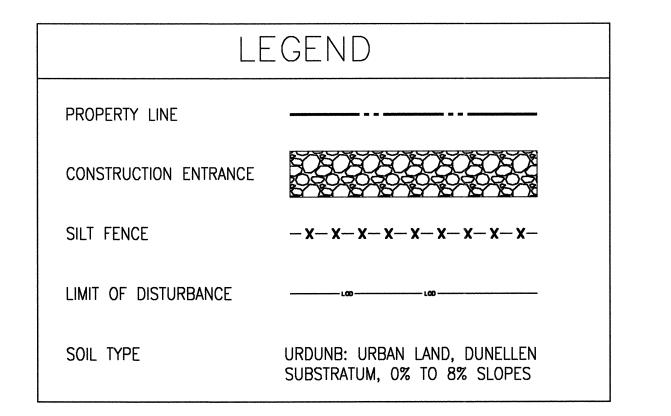
- 13. A crushed stone wheel cleaning tracking—pad is to be installed at all site exits using 2 $\frac{1}{2}$ -1" crushed angular stone (ASTM 2 or 3) to a minimum length of 50 feet and minimum depth of 6". All driveways must be provided with crushed stone until paving is complete.
- 14. Steep slopes incurring disturbance may require additional stabilization measures. These "special" measures shall be designed by the applicant's engineer and be approved by the Soil Conservation District.
- 15. The Hudson-Essex-Passaic Soil Conservation District shall be notified, in writing, for the sale of any portion of the project or for the sale of individual lots. New owners' information shall be provided. Additional measures deemed necessary by District officials shall be implemented as conditions warrant.





N.T.S.







		ISSUE	
NO.	DATE	DESCRIPTION	INT.
1	1.17.19	FOR COMPLETENESS REVIEW	GPC
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3	5.17.19	FOR 6.3.19 PLANNING BOARD	GPC
	DATE	REVISION	INIT
NO. 1	DATE 5.8.19	PER MAY 4, 2019 REVIEW MEMO	INT.

CO LIC ARC-401483 CT LIC ARI.0011413	
DC LIC ARC101849 DE LIC \$5-0007256	
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RICHARD A. JARMEL, PE CT LIC PEN0002773: FL LIC 83149 MI LIC 620105233: DE LIC 18754	NJ UC 37491 5 MN UC 47482 NY UC 073898-1 9 PA UC PE070600
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109 & 115 SOUTH	ORANGE AVENUE WEST
	ORANGE AVENUE WEST
TOWNSHIP OF SO	
TOWNSHIP OF SO	OUTH ORANGE VILLAGE
TOWNSHIP OF SO	OUTH ORANGE VILLAGE COUNTY, NJ
TOWNSHIP OF SO ESSEX BLOCK 19	OUTH ORANGE VILLAGE COUNTY, NJ 004, LOTS 16&17
TOWNSHIP OF SO ESSEX BLOCK 19 Project No:	OUTH ORANGE VILLAGE COUNTY, NJ 204, LOTS 16&17 Scale: 1" = 20'
Project No: TLENJ-S-17-264 Drawn By:	OUTH ORANGE VILLAGE COUNTY, NJ 204, LOTS 16&17
TOWNSHIP OF SO ESSEX BLOCK 19 Project No: TLENJ-S-17-264	Scale: Approved By:
Project No: TLENJ-S-17-264 Drawn By:	Scale: Approved By:
Project No: TLENJ-S-17-264 Drawn By: LB	Scale: Approved By:
Project No: TLENJ-S-17-264 Drawn By: LB	Scale: Approved By:
Project No: TLENJ-S-17-264 Drawn By: LB Drawing Name:	OUTH ORANGE VILLAGE COUNTY, NJ 204, LOTS 16&17 Scale: 1" = 20' Approved By: GPG
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Project No: TLENJ-S-17-264 Drawn By: LB Drawing Name:	OUTH ORANGE VILLAGE COUNTY, NJ 204, LOTS 16&17 Scale: 1" = 20' Approved By: GPG AND SEDIMENT
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Project No: TLENJ-S-17-264 Drawn By: LB Drawing Name: SOIL EROSION CONTRO	OUTH ORANGE VILLAGE COUNTY, NJ 204, LOTS 16&17 Scale: 1" = 20' Approved By: GPG AND SEDIMENT
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GERARD P. GESARIO

ENGINEER

N.J. LIC. #GE038255

Initial Date:

2. Areas of the site which are subject to compaction testing and/or mitigation are **graphically denoted** on the certified soil erosion control plan.

3. <u>Compaction testing locations</u> are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.

4. In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

A. Probing Wire Test (see detail)
B. Hand-held Penetrometer Test (see detail)
C. Tube Bulk Density Test (licensed professional engineer required
D. Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

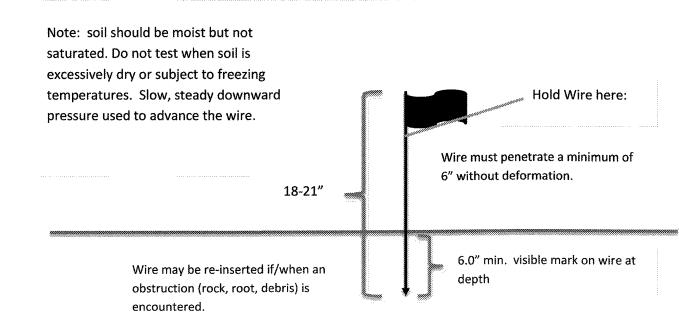
Soil compaction testing is not required if/when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

Procedures for Soil Compaction Mitigation

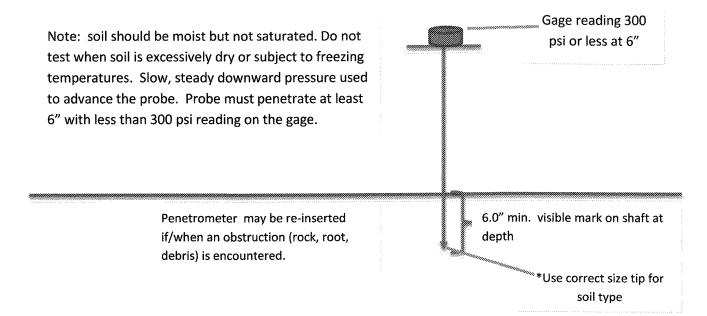
Procedures shall be used to mitigate excessive soil compaction **prior to placement of topsoil** and establishment of permanent vegetative cover.

Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer maybe substituted subject to District Approval.

Probing Wire Test- 15.5 ga steel wire (survey flag)



Handheld Soil Penetrometer Test



NOTES

 THIS PROJECT IS EXEMPT FROM THE SOIL COMPACTION MITIGATION MEASURES FOR: "URBAN REDEVELOPMENT" (SESC NJ STANDARDS, PAGE 19-2). AREA LOCATED WITHIN THE METROPOLITAN PLANNING AREA 1 AND HAS BEEN PREVIOUSLY DEVELOPED.

STANDARD FOR DUST CONTROL

Definition

The control of dust on construction sites and roads.

<u>Purpose</u>

To prevent blowing and movement of dust from exposed soil surfaces, reduced on-site and off-site damage and health hazards and improve traffic safety.

Condition Where Practice Applies

This practice is applicable to areas subject to dust blowing and movement where on-site and off-site damage is likely without treatment. Consult with local municipal ordinances on any restrictions.

Water Quality Enhancement

Sediments deposited as "dust" are often fine colloidal material which is extremely difficult to remove from water once it becomes suspended. Use of this standard will help to control the generation of dust from construction sites and subsequent blowing and deposition into local surface water resources.

Planning Criteria

The following methods should be considered for controlling dust:

Mulches - See Standard of Stabilization with Mulches Only, pg. 5-1

<u>Vegetative Cover</u> - See Standard for: Temporary Vegetative Cover, pg. 7-1, Permanent Vegetative Cover for Soil Stabilization pg. 4-1 and Permanent Stabilization with Sod, pg. 6-1

Spray-On Adhesives - On mineral soils (not effective on muck soils). Keep traffic off these areas.

Table 16-1 Dust Control Materials

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACR E
Anionic asphalt emulsion	7:1	Coarse Spray	1200
Latex emulsion	12.5:1	Fine Spray	235
Resin in water	4:1	Fine Spray	300
Polyacrylamide (PAM) - spray on Polyacrylamide (PAM) - dry spread	an additive to sedimen	anufacturer's instructionate basins to flocculate and Basin standard, p. 26-1	d precipitate suspended
Acidulated Soy Bean Soap Stick	None	Coarse Spray	1200

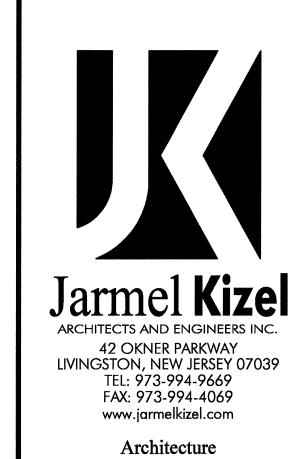
<u>Tillage</u> - To roughen surface and bring clods to the surface. This is a temporary emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart and spring-toothed harrows are examples of equipment which may produce the desired

<u>Sprinkling</u> - Site is sprinkled until the surface is wet.

<u>Barriers</u> - Solid board fences, snow fences, burlap fences, crate walls, bales of hay and similar material can be used to control air currents and soil blowing.

<u>Calcium Chloride</u> - Shall be in the form of loose, dry granules or flakes fine enough to feed through commonly used spreaders at a rate that will keep surface moist but not cause pollution or plant damage. If used on steeper slopes, then use other practices to prevent washing into streams or accumulation around plants.

Stone - Cover surface with crushed stone or coarse gravel.



Engineering

Interior Design

Implementation Services

ISSUE

NO. DATE DESCRIPTION INT.

1 1.17.19 FOR COMPLETENESS REVIEW GPG
2 4.16.19 FOR MAY 6TH HEARING GPG
3 5.17.19 FOR 6.3.19 PLANNING BOARD GPG

REVISION

NO. DATE DESCRIPTION INT.

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CT LIC ARI-0011748	NY LIC 024/19
MALIC 31423	FA LIC RA-403001
MICHAEL J. VORLAND, RA	NI LIC OSOFFS
GERARD P. GESARIO, PE	NJ LIC GEU38255
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VA LIC 010302-B VA LIC 0401 012073	NI BC 017131
CHERYL SCHWEIKER, AIA	NJ LIC 21AI02069000
	PA LIC RA407927

Project: THE LEARNING EXPERIENCE

109 & 115 SOUTH ORANGE AVENUE WEST
TOWNSHIP OF SOUTH ORANGE VILLAGE
ESSEX COUNTY, NJ
BLOCK 1904, LOTS 16&17

Project No:	Scale:
TLENJ-S-17-264	AS NOTED
Drawn By:	Approved By:
	.B GPG
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SOIL EROSION AND SEDIMENT CONTROL NOTES

Drawing Number:

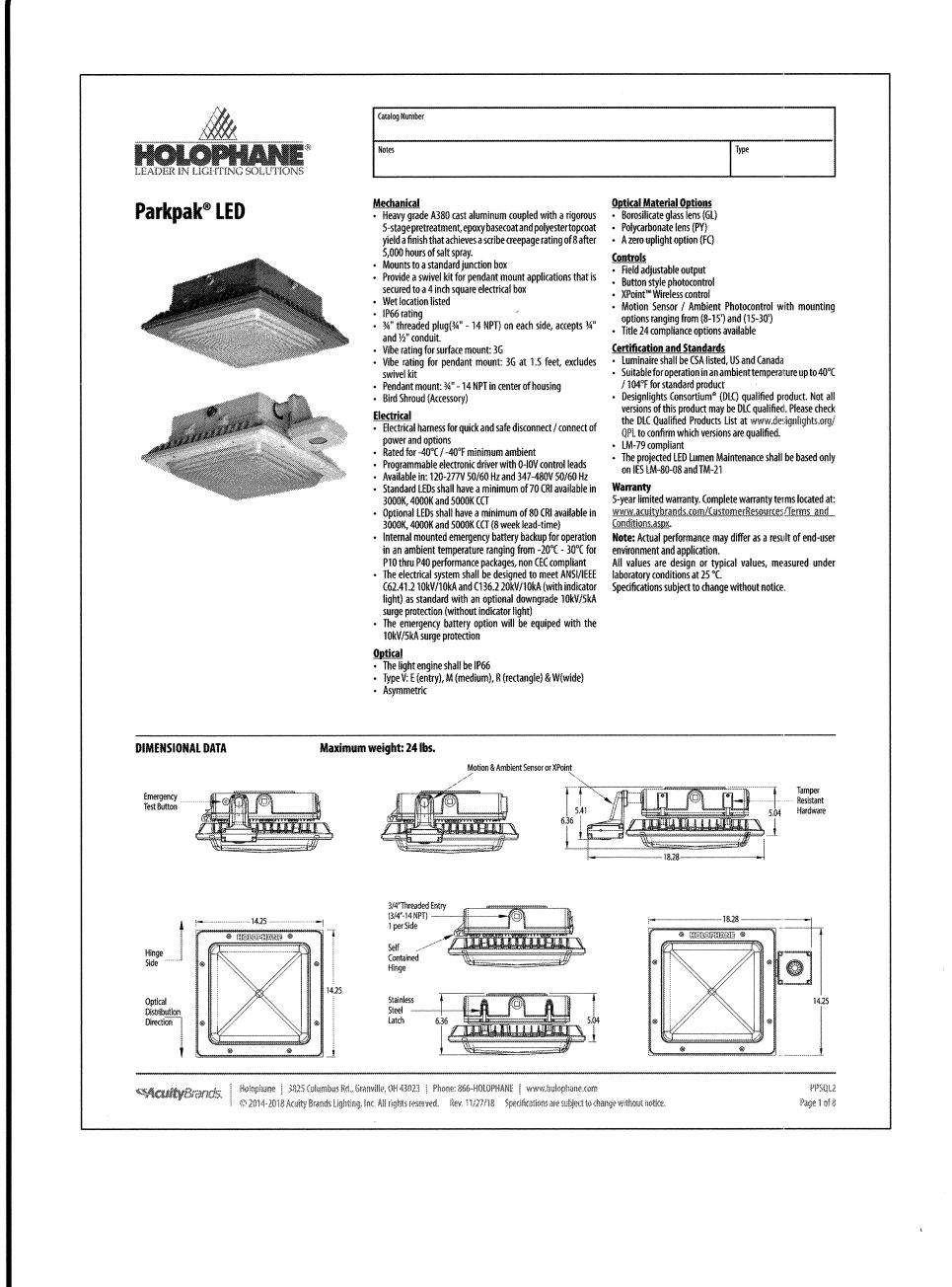
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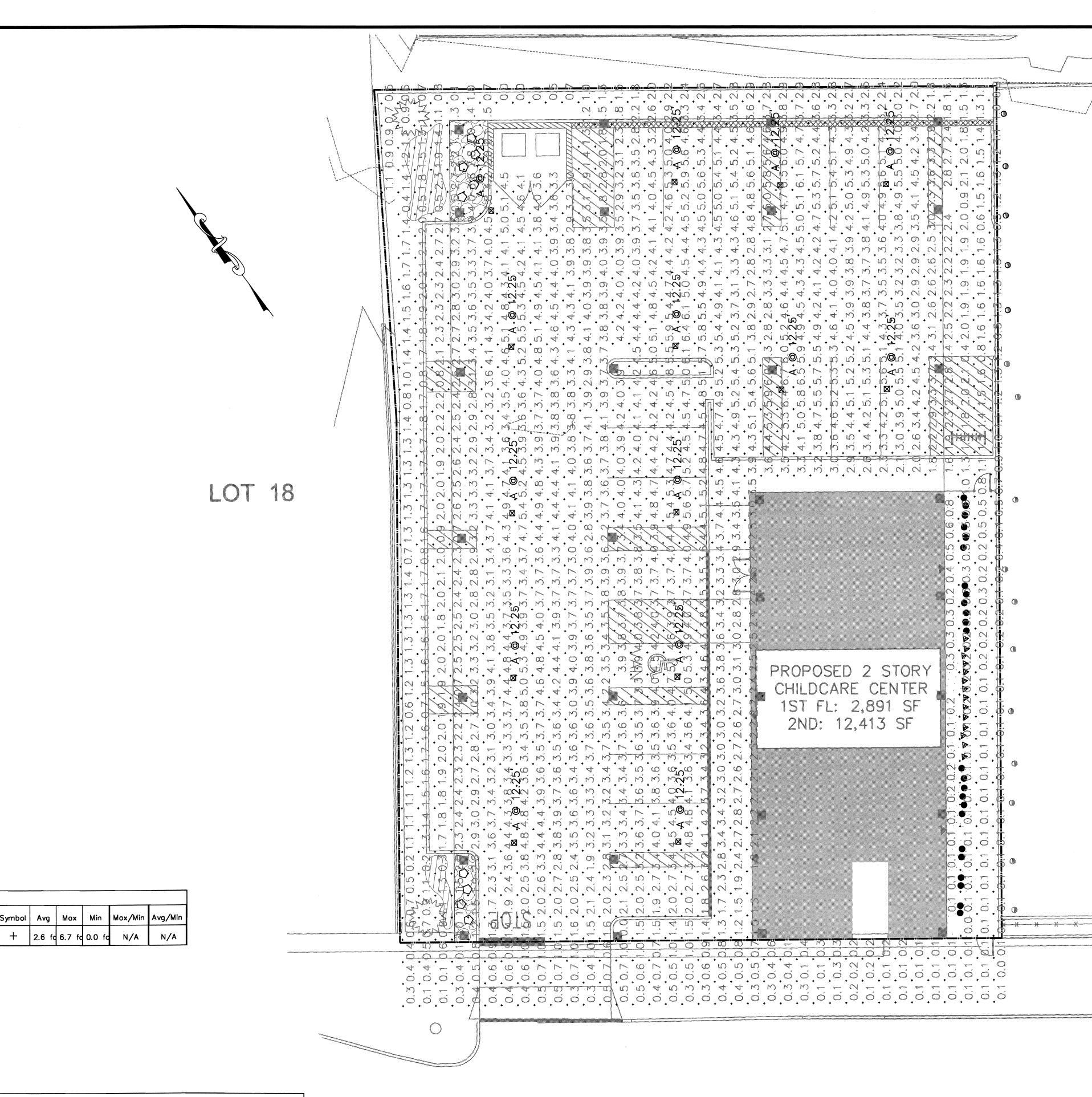
Sheet No: of:

7 Initial Date:

JANUARY 3, 2019

GERARD P. GESARIO
PROFESSIONAL
ENGINEER
N.J. LIC. #GE038255





Schedule Light Loss L Factor Symbol Quantity | Manufacturer Holophane ParkPak Square LED, LED LED Performance Package P40, 51W, 4000K/5000K CCT, Voltage, Borosilicate glass lens, Type V, Wide PPSQL2 P40 40K/50K XX GL T5W PPSQL2_P40_40K_ Holophone 50K_XX_GL_T5W.ie

TO MATCH EXISTING.

NEAREST JOINT (AS NEEDED

TO MEET PROPOSED

Bescription

GRADES). SEE NOTE 16

Property summary @ areade

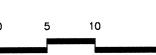
Readings shown are in units of maintain DEWALK REPAIRS TO

2. Total light loss factor = .92
4. Ceiling height = 12.5' aff
5. Fixture mounting height = 12.25' aff
6. Fixture spacing = See plan view.
7. Reflectance = 10%

specific criteria,

8. This photometrics layout was calculated using

any deviation from stated parameters will effect actual





Engineering

Interior Design Implementation Services

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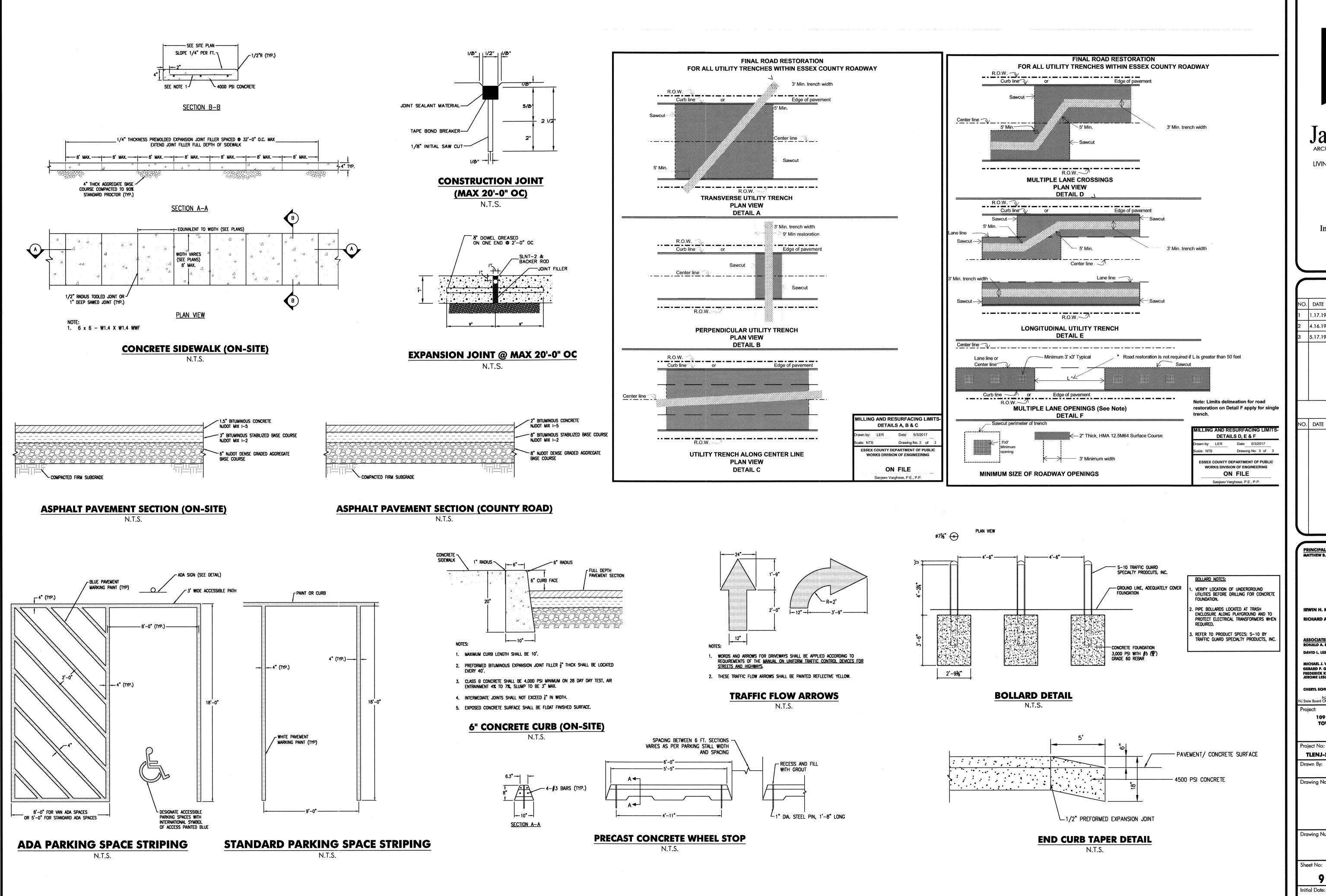
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NJ State Board Of Architects A	
NJ State Board Of Architects A J State Board Of Engineers & Land Surveyors	Authorization No. 24GA280

ESSEX COUNTY, NJ **BLOCK 1904, LOTS 16&17** 1" = 10' Approved By:

LIGHTING PLAN

C-650

GERARD P. GESARIO **PROFESSIONAL**

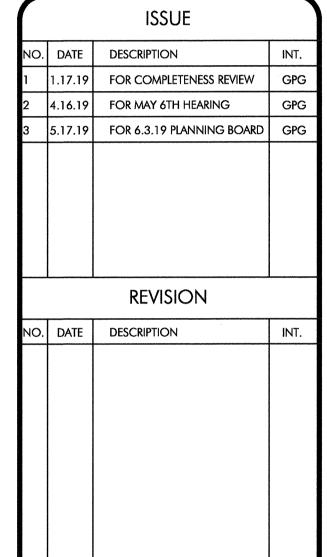


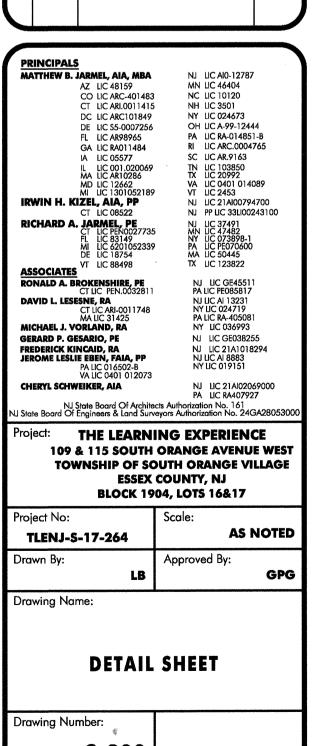
Jarnel Kizel

ARCHITECTS AND ENGINEERS INC.

42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com

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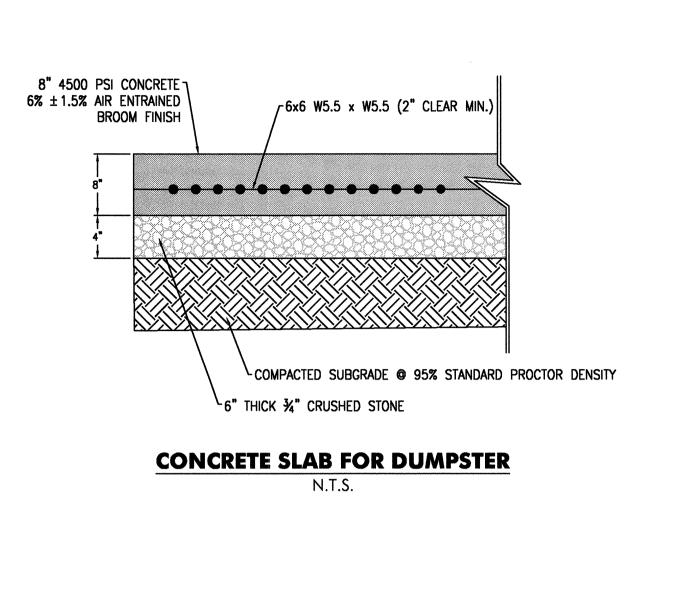
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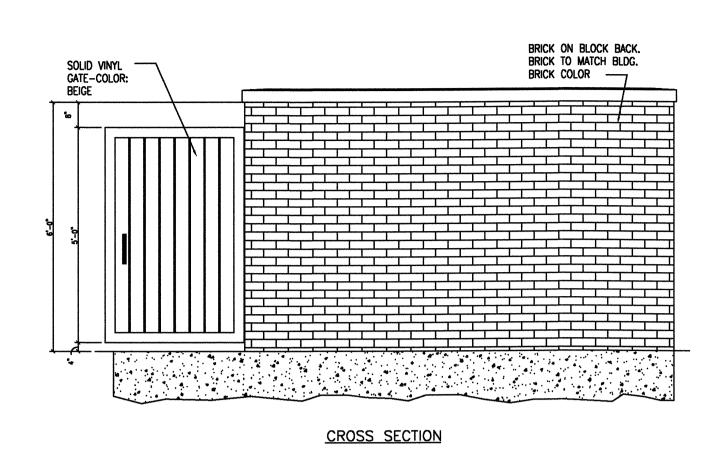
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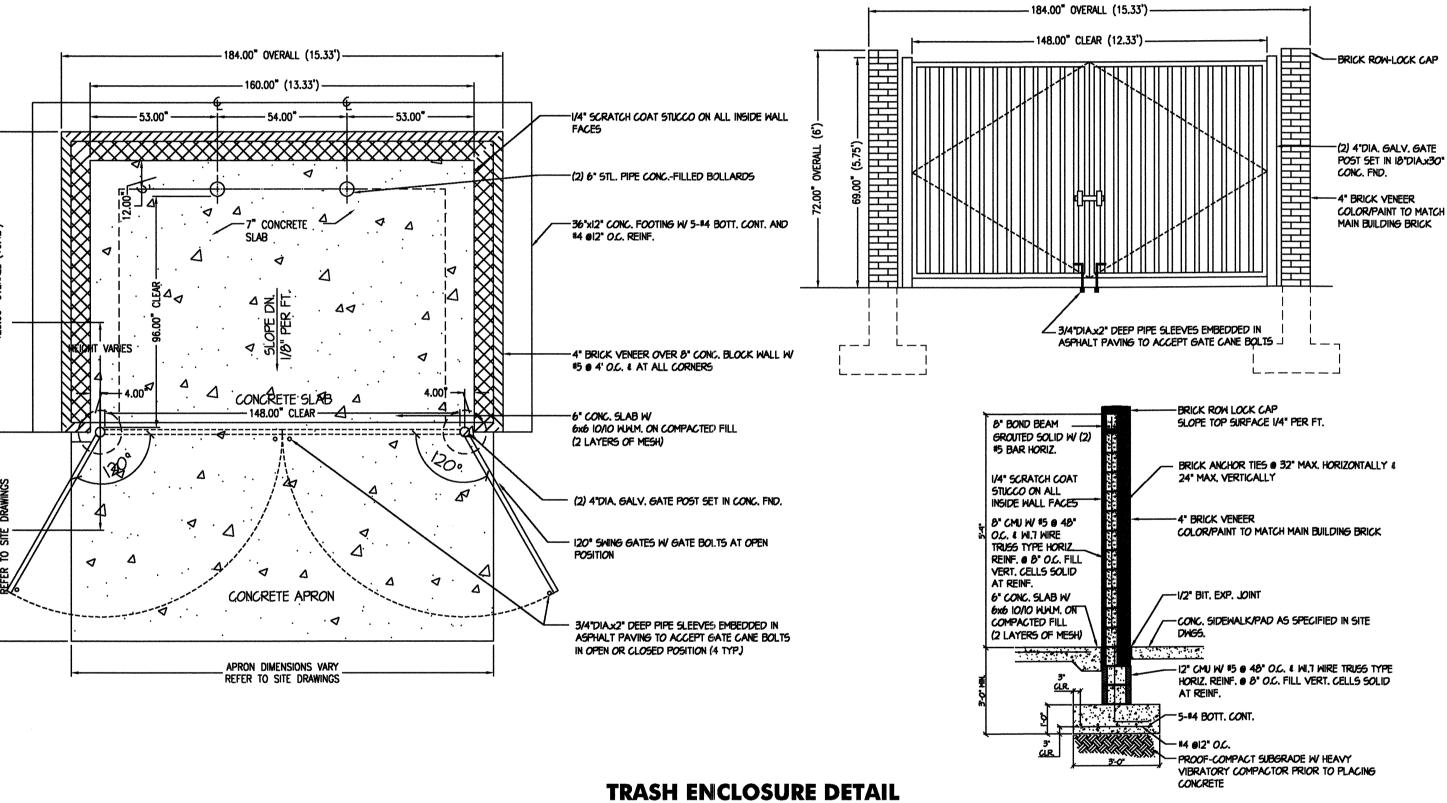
JANUARY 3, 2019

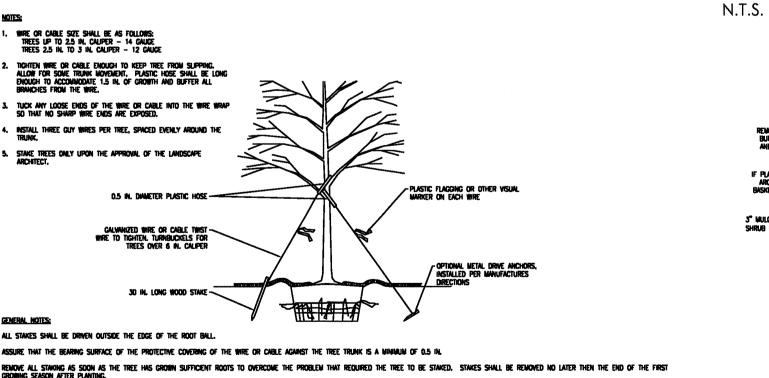
GERARD P. GESARIO
PROFESSIONAL
ENGINEER
N.J. LIC. #GE038255





TRASH ENCLOSURE WALL DETAIL



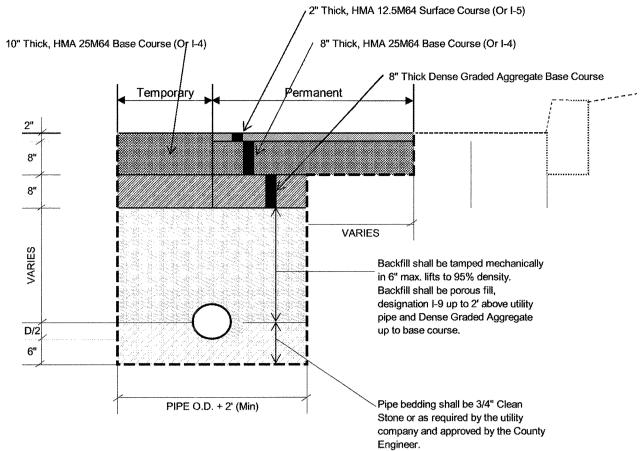


REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THEN THE END OF THE FIRST GROWNG SEASON AFTER PLANTING.

TREE STAKING DETAIL - TREES 3 INCH CALIPER OR LARGER N.T.S.

SMALL SHRUB (CONTAINER) LARGE SHRUB (B&B) REMOVE ALL TWINE, ROPE AND WIRE AND BURLAP FROM TOP HALF OF ROOT BALL AND ALL NON-BIODEGRADABLE MATERIAL 4" HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL TO DIRECT WATER INTO ROOT 5" MULCH LAYER, KEEP MULCH AMAY FROM -SHRUB BASE AND TOP OF ROOT BALL (TYP.) ALL SHRUBS TO BE SET PLUMB. REFER TO LANDSCAPE PLAN FOR SPACING OF INDIVIDUAL PLANTS. REMOVE ALL WIRE, PLASTIC TAGS OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.

> SHRUB PLANTING N.T.S.



1. 2007 New Jersey D.O.T. Standard Specifications for Roads and Bridge Construction with amendments shall govern. 2. When the edge of trench is within 4' or less from the existing curb, full depth pavement shall be constructed.

3. All excavated unsuitable material shall be removed and disposed of at the utility and/or contractor's expense. 4. Temporary pavement replacement shall be 10 inches of HMA 25M64

Surface Course or I-4, compacted in five inches lifts. 5. After three (3) months or as directed by the County Engineer or his duly authorized representative, the trench shall be milled 2 inches deep, as per limits determined on Details A thru F, then the trench must be resurfaced with 2" of HMA 12.5M64 Surface Course. (See Details A thru F) 6. Trenches shall be sawcut as indicated in this drawing. Butt joints are not

TRENCH/BACKFILL SECTION (COUNTY ROAD)

N.T.S.

7. Traffic stripes and traffic markings are to be replaced with Traffic Stripes, long life and Traffic Markings, thermoplastic.

PITCH TOP -ANCHOR BOLTS BY ~ - 45" CHAMFER ALL AROUND 8-#6 VERTICAL 4'-0" MIN. (PROVIDE EXOTHERMIC WELD DEEPER BASE IF REQ'D (CADWELD) AS RECOMMENDED BY GEOTECHNICAL ENGINEER #4 TIES @ 12" O.C. TWO (2) MIN. 3/4"x10"-0" -GROUNDING ROD ►4,500 PSI CONCRETE

1. FOOTING DESIGN BY OTHERS.

2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.

POLE BASE DETAIL

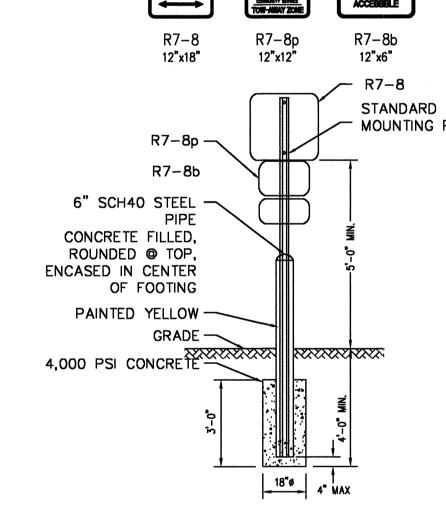
. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.

VARIES FROM 12' TO 18'

SEE PLAN

2. THESE WORDS AND BAR ARE TO BE PAINTED REFLECTIVE WHITE.

STOP BAR DETAIL



NOTES:

1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND

2. ALL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING, WHICH SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A 123 STANDARD STEEL 3. ALL SIGNS SHALL CONFORM TO THE MANUAL ON TRAFFIC

CONTROL DEVICES 4. INSTALLATION, DIMENSIONS, COLOR, AND DETAILS OF VARIOUS SIZED SIGNS, SHIELDS, AND ACCESSORY PANELS TO FOLLOW STANDARDS IN THE CURRENT "STANDARD HIGHWAY SIGNS PUBLICATION" AND THE "MANUAL ON UNIFORM TRAFFIC

CONTROL DEVICES FOR STREETS AND HIGHWAYS" 5. ALL SIGNS SHALL BE ERECTED WITH THE BOTTOM OF THE SIGN NOT LESS THAN SIX FEET (6') ABOVE THE PAVEMENT OR

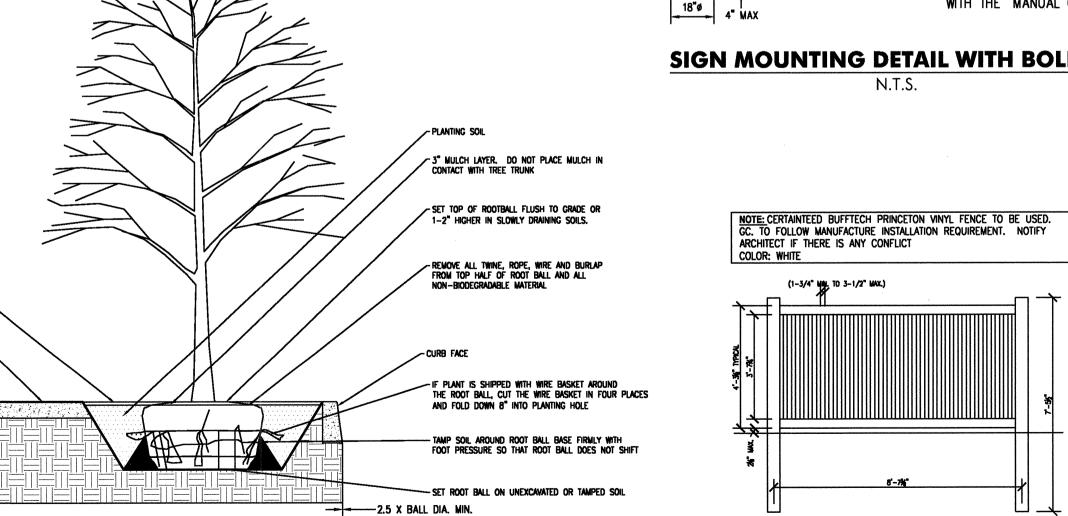
6. SIGNS, SIGN POSTS AND THEIR FOUNDATIONS AND SIGN MOUNTING SHALL BE SO CONSTRUCTED AS TO HOLD SIGNS IN A PROPER AND PERMANENT POSITION, TO RESIST SWAYING IN THE WIND OR DISPLACEMENT BY VANDALISM.

SIGN FACE:

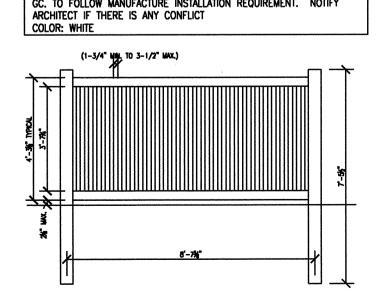
LETTERS, SYMBOLS AND BORDERS SHALL BE REFLECTORIZED. 8. ALL LETTERING SHALL BE UPPER CASE LETTERS OF THE TYPE APPROVED BY THE JOINT COMMITTEE ON UNIFORM TRAFFIC CONTROL DEVICES.

9. ALL LETTERS SHALL BE SERIES "C" ALPHABET IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

SIGN MOUNTING DETAIL WITH BOLLARD



DECIDUOUS TREE PLANTING N.T.S.



IT IS IMPORTANT THAT FENCES BE DESIGNED SO THAT THERE ARE NO SPACES BETWEEN PICKETS WHICH ARE BETWEEN 1-3/4" MINIMUM AND 3-1/2" MAXIMUM TO PREVENT CHILDREN'S HEADS FROM BEING ENTRAPPED.

FENCE NOTES:

VINYL FENCE DETAIL



ISSUE				
DATE	DESCRIPTION	INT.		
1.17.19	FOR COMPLETENESS REVIEW	GPG		
4.16.19	FOR MAY 6TH HEARING	GPG		
5.17.19	FOR 6.3.19 PLANNING BOARD	GPG		
REVISION				
	1.17.19 4.16.19	DATE DESCRIPTION 1.17.19 FOR COMPLETENESS REVIEW 4.16.19 FOR MAY 6TH HEARING 5.17.19 FOR 6.3.19 PLANNING BOARD		

NO. DATE DESCRIPTION 5.8.19 PER MAY 4, 2019 REVIEW MEMO | APP

PRINCIPALS	
MATTHEW B. JARMEL, AIA, MBA	NJ LIC AI0-12787
AZ LIC 48159	MN LIC 46404
CO LIC ARC-401483	NC LIC 10120
CT LIC ARI.0011415	NH LIC 3501
DC LIC ARC101849	NY LIC 024673
DE LIC \$5-0007256	OH LIC A-99-12444
FL LIC AR98965	PA LIC RA-014851-B
GA LIC RA011484	RI LIC ARC.0004765
IA LIC 05577	SC LIC AR.9163
IL LIC 001.020069 MA LIC AR10286	TN LIC 103850 TX LIC 20992
MD IIC 12662	VA LIC 0401 014089
MD LIC 12662 MI LIC 1301052189	VT LIC 2453
IRWIN H. KIZEL, AIA, PP	NJ LIC 21Al00794700
CT LIC 08522	NJ PP LIC 33LI00243100
RICHARD A. JARMEL, PE	NJ LIC 37491 MN LIC 47482 NY LIC 073898-1 PA LIC PE070600
CT LIC PEN0027735 FL LIC 83149	MN LIC 47482
FL LIC 83149 MI LIC 6201052339	PA LIC PEO70600
DE LIC 18754	MA LIC 50445
VT LIC 88498	TX LIC 123822
ASSOCIATES	
RONALD A. BROKENSHIRE, PE CT LIC PEN.0032811	NJ LIC GE45511 PA LIC PE085817
DAVID L. LESESNE, RA	NJ LIC AI 13231
CT LIC ARI-0011748	NY LIC 024719
MA LIC 31425	PA LIC RA-405081
MICHAEL J. VORLAND, RA	NY LIC 036993
GERARD P. GESARIO, PE	NJ LIC GE038255
FREDERICK KINCAID, RA	NJ LIC 21A1018294
JEROME LESLIE EBEN, FAIA, PP	NJ LIC AI 8883
PA LIC 016502-B VA LIC 0401 012073	NY LIC 019151
CHERYL SCHWEIKER, AIA	NJ LIC 21Al02069000
SILEGIE SHITTEIREN, AIA	PA LIC RA407927
NJ State Board Of Architects A	
NJ State Board Of Architects A NJ State Board Of Engineers & Land Surveyor	s Authorization No. 24GA28053000
Project:	
Project: THE LEARNING	G EXPERIENCE
109 & 115 SOUTH OI	RANGE AVENUE WEST
TOWNSHIP OF SOU	TH ORANGE VILLAGE
ESSEX CO	OUNTY, NJ
BLOCK 1904	, LOTS 16&17

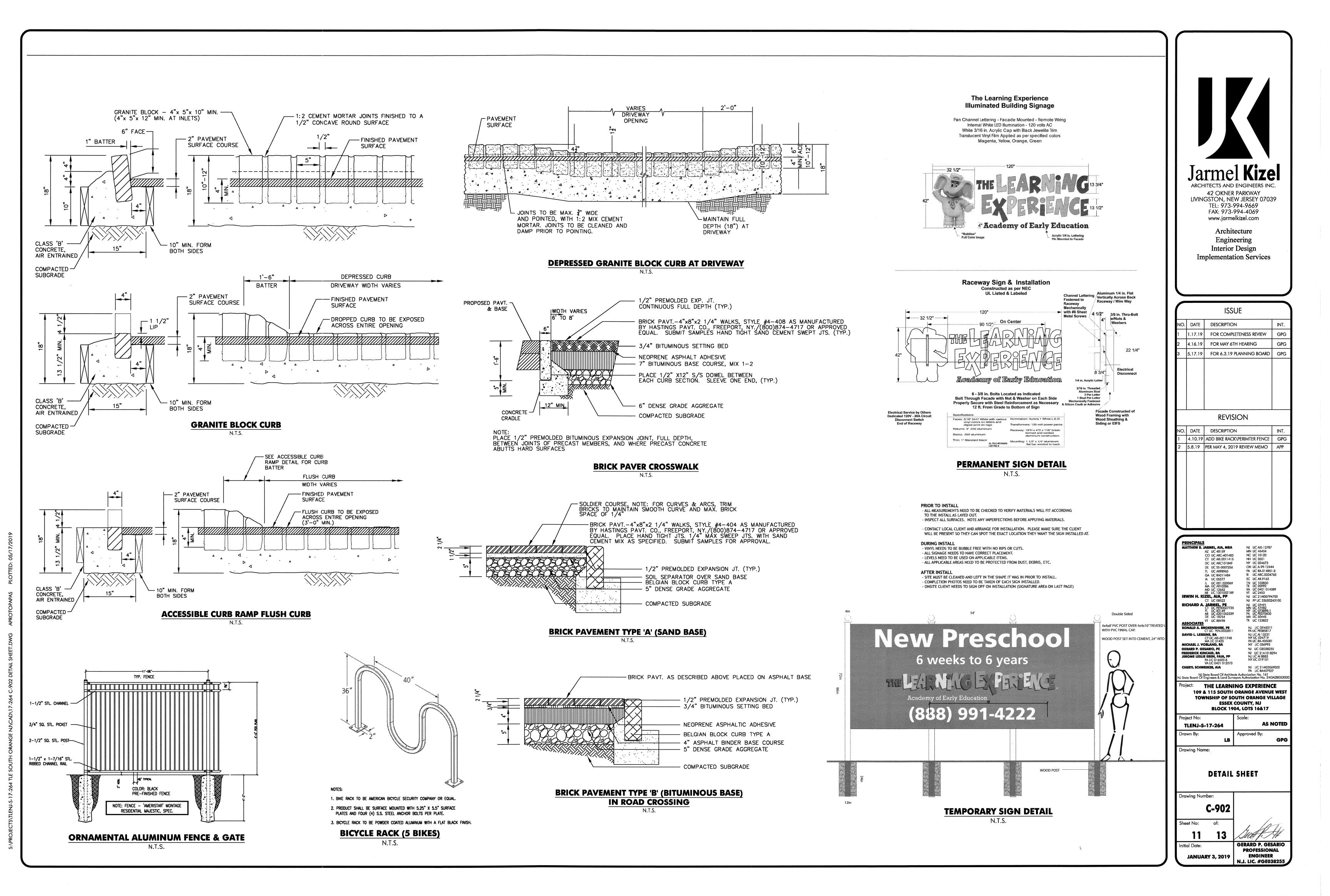
TLENJ-S-17-264

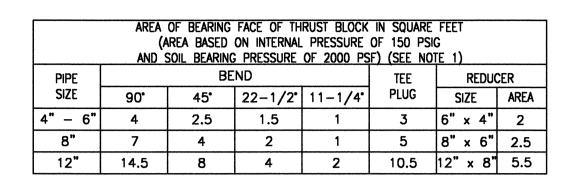
Drawing Name: **DETAIL SHEET C-90**1

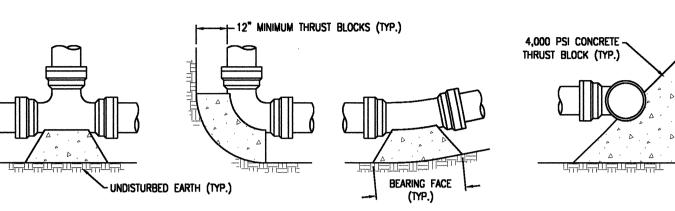
Approved By:

Sheet No: ERARD P. GESARIO Initial Date: **PROFESSIONAL** ENGINEER **JANUARY 3, 2019** N.J. LIC. #GE038255

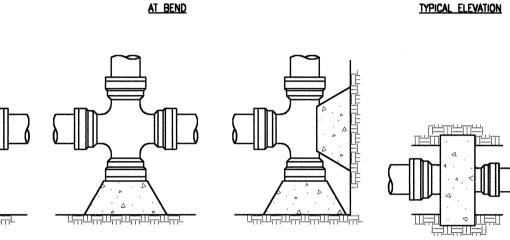
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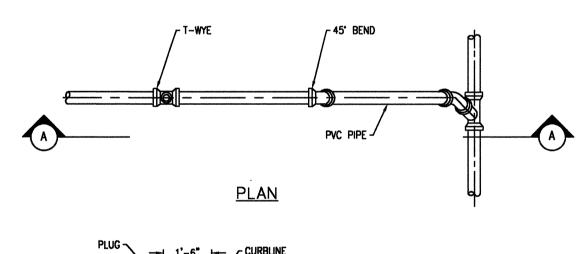
AT BEND

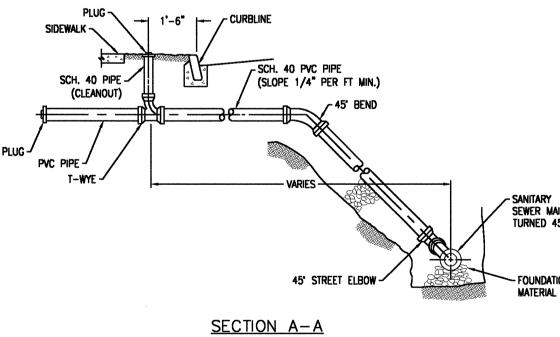


AT REDUCER AT TEE. CROSS AND PLUG

- 1. SPECIAL DESIGN IS REQUIRED FOR FITTINGS ON DOMESTIC WATER MAIN PIPE LARGER THAN 12 INCHES.
- THRUST BLOCK IS TO BE POURED AGAINST UNDISTURBED EARTH. WIDTH OF THRUST BLOCK SHOULD BE APPROXIMATELY TWICE HEIGHT.
- 3. THRUST BLOCK IS TO BE INSTALLED AT ALL BENDS, PLUGS, TEES, AND TAPPING SLEEVE AND VALVE CONNECTIONS.
- 4. FACTORY CAST OFFSETS ARE TO BE TREATED AS (2) 45 DEGREE BENDS.
- 5. FOR REDUCERS, THRUST BLOCK IS TO BE KEYED INTO WALLS AND BOTTOM OF TRENCH.
- 6. MECHANICAL RESTRAINT IS REQUIRED IN ADDITION TO THRUST BLOCK.
- 7. WOOD BLOCKING IS NOT PERMITTED.

THRUST BLOCK DETAILS N.T.S.

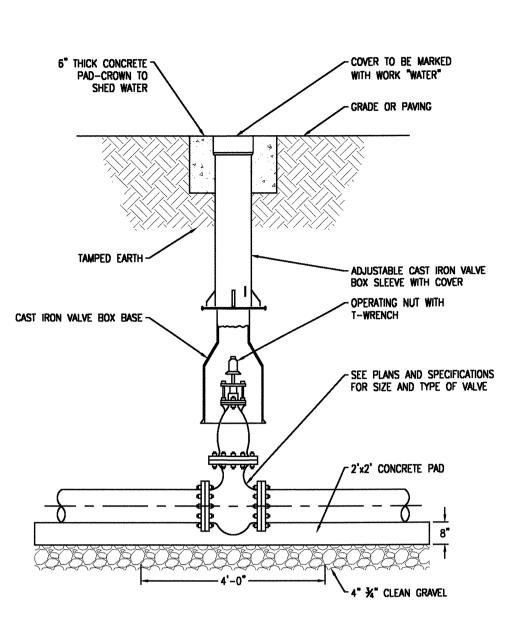




GENERAL NOTES:

- 1. ALL COUPLINGS, PLUGS, SOIL PIPES & CAPS TO BE STANDARD FOR TYPE OF PIPE USED, INSTALLATION TO BE WATERTIGHT.
- 2. HOUSE CONNECTIONS ARE TO BE 6" P.V.C.
- 3. ALL PLUG THREADS SHALL BE GREASED AT TIME OF INSTALLATION.
- 5. POLYVINYL CHLORIDE PIPE AND FITTINGS FOR HOUSE LATERALS SHALL CONFORM TO A.S.T.M. D-3034.

SANITARY SEWER BUILDING CONNECTION



CURB VALVE DETAIL N.T.S.

6" RISER AS REQUIRED -

45" BEND -__

STORM CLEANOUT

N.T.S.

- 4" PVC RISER

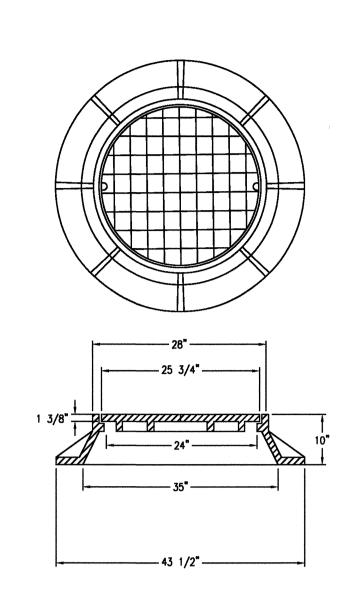
4" PLUG AT GRADE BRASS CAP WITH DEPRESSED GRADE

FOUNDATION DRAIN -

SEE PLAN

4" PVC \

~ 24"x24"x6" CONCRETE COLLAR



MANHOLE FRAME AND COVER N.T.S.

6" MIN.

CAMPBELL FOUNDRY — STANDARD MANHOLE FRAME & COVER

(GRATE TYPE)

MODEL NUMBER 1352

ADJUST CASTING TO GRADE WITH

CONCRETE MANHOLE RISERS -1, 2, 3 OR 4' LENGTH

NJDOT STANDARD PLASTIC COATED — STEEL MANHOLE STEPS © 12" O.C. CAMPBELL FOUNDRY PATTERN NUMBER 25932254

BRICK OR CONCRETE BLOCK

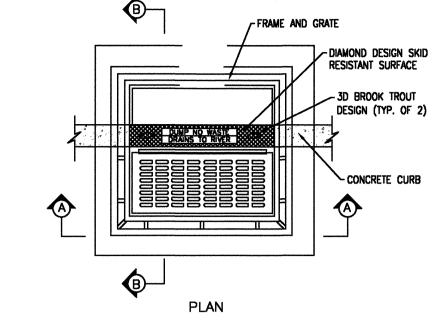
PRECAST REINFORCED -

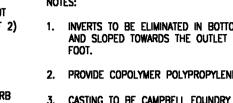
"O" RING RUBBER -GASKET AT RISER JOINT

CAST IN PLACE CONCRETE -

DIMENSION BETWEEN PIPES IS NOT MANUFACTURED.

AS REQUIRED



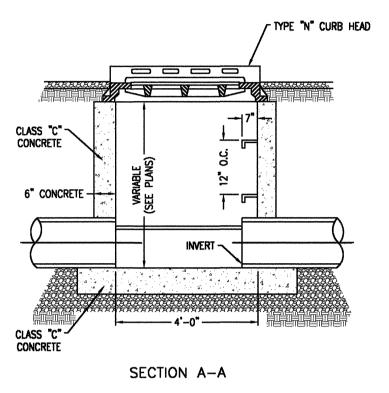


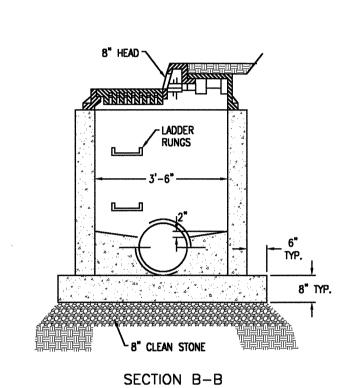
INVERTS TO BE ELIMINATED IN BOTTOM OF TERMINAL INLETS. BOTTOMS SHALL BE DISHED AND SLOPED TOWARDS THE OUTLET PIPE AT THE RATE OF A GRADE OF 2 INCHES PER

2. PROVIDE COPOLYMER POLYPROPYLENE PLASTIC LADDER RUNGS © 12 INCHES ON CENTER. CASTING TO BE CAMPBELL FOUNDRY CO. PATTERN #2618 OR EQUIVALENT WITH ECO CURB PIECE TYPE "N" AND BICYCLE SAFETY GRATE #2617. CASTING TO BE THOROUGHLY PAINTED, OR APPROVED EQUAL.

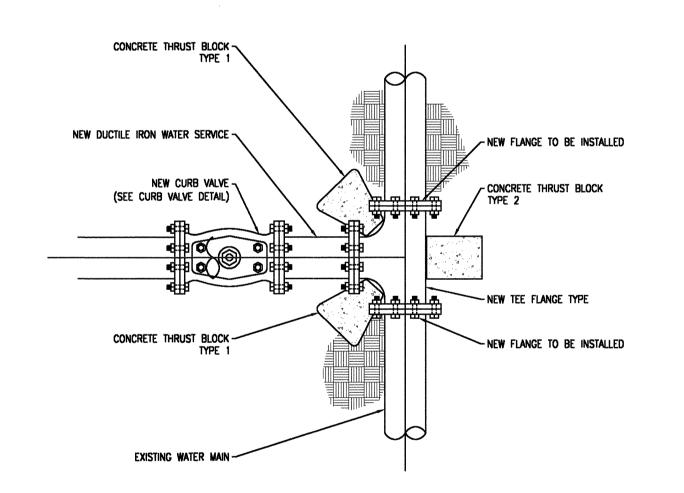
4. WHEN DEPTH IS GREATER THAN 12 FEET, THE WALLS SHALL BE 8 INCHES THICK AND THE FOOTING SHALL BE EXTENDED TO 12 INCHES BEYOND THE OUTSIDE WALLS.

5. CLEAN STONE SHALL BE PLACED BENEATH THE STRUCTURE TO A DEPTH OF 8 INCHES.





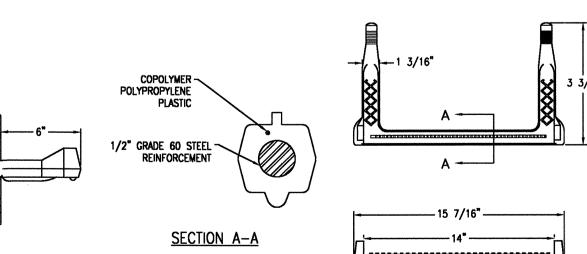
TYPE "B" INLET N.T.S.



WATER MAIN CONNECTION DETAIL N.T.S.

STORM MANHOLE

1. DIAMETER OF MANHOLE SHALL BE REVIEWED BY THE CONTRACTOR TO DETERMINE A LEGEND OF STANDARD MANHOLE DIMENSIONS WITH RESPECT TO PROPOSED PIPE SIZES, NUMBER AND GEOMETRY. OVER SIZE MANHOLES SHALL BE PROVIDED IF MINIMUM 6" WALL



CASTING TO BE SET IN FULL BED OF CEMENT MORTAR

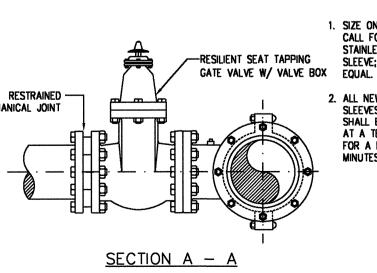
5 FT PRECAST REINFORCED

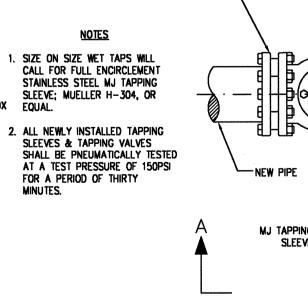
CONCRETE MANHOLE CONE

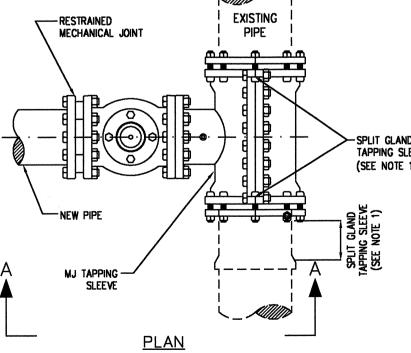
- PRECAST REINFORCED CONCRETE MANHOLE BASE

CLEAN *X" STONE ONE FOOT ON ALL SIDES

AND EMBEDDED







N.T.S.

- 4. MINIMUM DEPTH OF COVER ON SANITARY SEWER MAINS SHALL BE 5 FEET.

SANITARY CLEANOUT N.T.S.



ARCHITECTS AND ENGINEERS INC. 42 OKNER PARKWAY LIVINGSTON, NEW JERSEY 07039 TEL: 973-994-9669 FAX: 973-994-4069

Architecture Engineering Interior Design Implementation Services

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		ISSUE	
NO.	DATE	DESCRIPTION	INT
1	1.17.19	FOR COMPLETENESS REVIEW	GPO
2	4.16.19	FOR MAY 6TH HEARING	GP
3	5.17.19	FOR 6.3.19 PLANNING BOARD	GP
		REVISION	
Ю. 20	DATE	DESCRIPTION	INT

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FOWNSHIP OF SOUTH ORANGE VILLAGE ESSEX COUNTY, NJ **BLOCK 1904, LOTS 16&17**

Project No:		Scale:	
TLENJ-S-17-26	54	AS N	IOTE
Drawn By:		Approved By:	
	LB		GP
Drawing Name:			

DETAIL SHEET

Drawing Num	ber:	
	C-903	
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Initial Date:		GERARD P. GESARIO PROFESSIONAL
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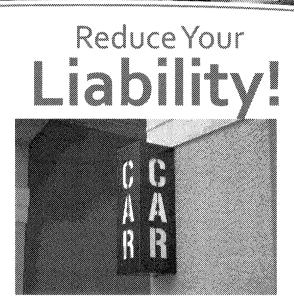
2. MANHOLES SHALL BE STANDARD PRECAST CONCRETE UNITS AND SHALL BE DESIGNED AND CONSTRUCTED BY THE MANUFACTURER TO SUPPORT TRUCK H520 LOADING.

PLASTIC LADDER RUNG

N.T.S.

N.J. LIC. #GE038255

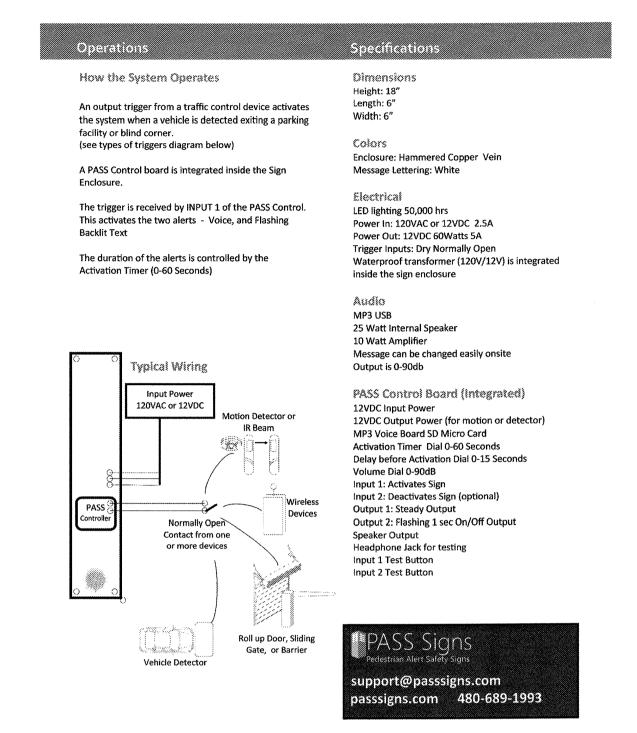




Warns Pedestrians on the Sidewalk of a Vehicle exiting a Facility







PASS SYSTEM SPECIFICATIONS



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NO.	DATE	DESCRIPTION	INT.	
1	5.17.19	FOR 6.3.19 PLANNING BOARD	GPG	
		2		
REVISION NO. DATE DESCRIPTION INT.				
1	5.8.19	PER MAY 4, 2019 REVIEW MEMO	APP	

PRINCIPALS		
MATTHEW B. JARMEL, AL AZ LIC 481	A, MBA NJ	LIC AI0-12787
AZ LIC 481	59 MN	LIC 46404
CO LIC ARC	C-401483 NC	LIC 10120
		LIC 3501
DC LIC ARC		LIC 024673
		LIC A-99-12444
FL LIC AR9		LIC RA-014851-B
GA LIC RAC)11484 RI	
IA LIC 055	577 SC	LIC AR.9163
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MD IIC 124	0200 IA	LIC 0401 014089
MI LIC 130	1052189 VT	LIC 2453
IRWIN H. KIZEL, AIA,	, PP NJ	LIC 21Al0079470
CT LIC 085	1077 SC 1.020069 TN 0.0286 TX 562 VA 11052189 VT 1, PP NJ 522 NJ	PP LIC 33LI00243
RICHARD A. JARMEL,	PE NJ 10027735 MN 49 NY 1052339 PA 754 MA	LIC 37491
ELLIC PEN	1002/735 MN 149 NY	LIC 47482 LIC 073898-1
MI LIC 620	1052339 PA	LIC PE070600
DE LIC 187	754 MA 198 TX	LIC 50445
ASSOCIATES VT LIC 884	198	LIC 123822
PONALD A RECKENSHIE	DE DE NI	UC GE45511
RONALD A. BROKENSHIE CT LIC PEN.	.0032811 PA	LIC PE085817
DAVID L. LESESNE, RA	N.	LIC AI 13231
CT LIC ARI-0	011748 N	LIC 024719 LIC RA-405081
MICHAEL L VOPLAND P	ZO PA	LIC RA-405061
DAVID L. LESESNE, RA CT LIC ARI-O MA LIC 31-4 MICHAEL J. VORLAND, R GEPARD P. GESARIO. PE	NI NI	IIC GE038255
GERARD P. GESARIO, PE FREDERICK KINCAID, RA JEROME LESLIE EBEN, FA PA LIC 0165	NI NI	HC 2141018204
JEROME LESLIE EBEN. FA	IA. PP NJ	LIC AI 8883
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VA LIC 0401	012073	
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roject: WHERE E	ABBIILIO EV	BEBUENICE

Project: THE LEARNING EXPERIENCE 109 & 115 SOUTH ORANGE AVENUE WEST TOWNSHIP OF SOUTH ORANGE VILLAGE ESSEX COUNTY, NJ BLOCK 1904, LOTS 16&17

Project No:	Scale:
TLENJ-S-17-264	AS NOTED
Drawn By:	Approved By:
АРР	GPG

DETAIL SHEET

Drawing Number:	
C-903	
Sheet No: of:	
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Initial Date:	GERARD P. GESA
MAY 8, 2019	PROFESSIONA ENGINEER N.J. LIC. #GE038