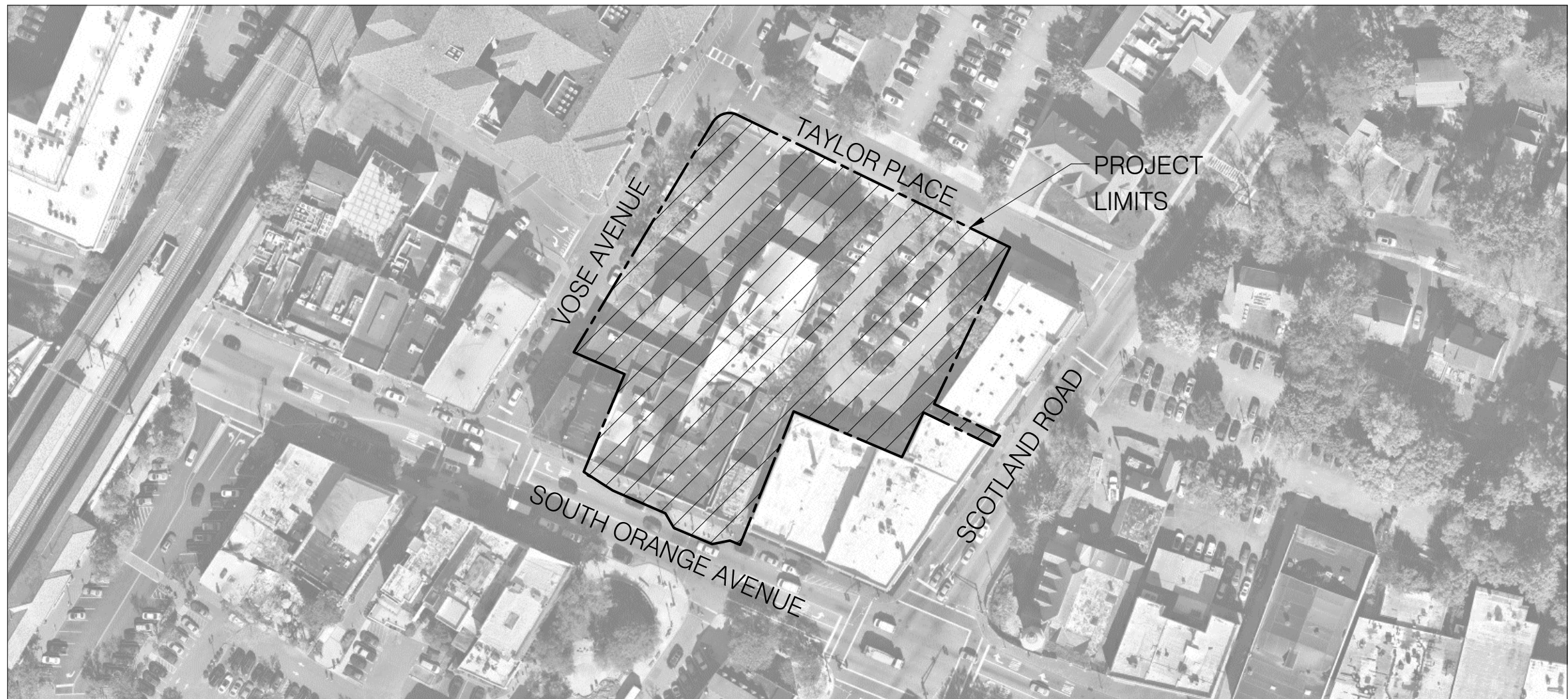


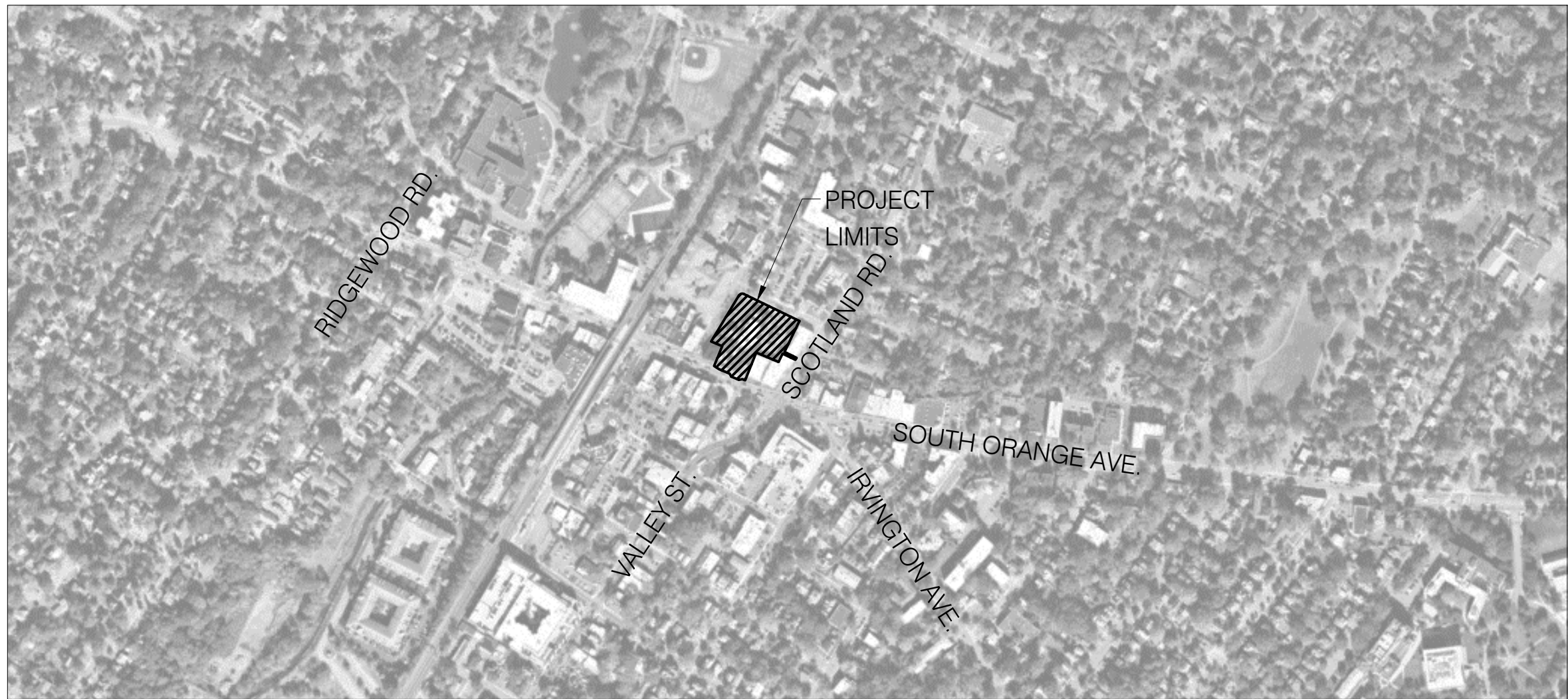
PRELIMINARY AND FINAL SITE PLAN FOR:

TAYLOR & VOSE DEVELOPMENT

Block: 1006, Lots: 1,2,3,9,10,11,13,14
Village of South Orange. Essex County. New Jersey
July 7, 2020



PROJECT AREA



SITE LOCATION

* THE CONTRACTOR SHALL CONTACT NJ ONE CALL AT 1-800-272-1000 PRIOR TO THE START OF CONSTRUCTION. ALL EXISTING UTILITIES SHALL BE MARKED OUT BY THE RESPECTIVE UTILITY COMPANIES PRIOR TO ANY EXCAVATION WORK.

INDEX OF SHEETS:

SHEET	DESCRIPTION
	COVER SHEET
L-001	NOTES, LEGEND & SCHEDULE
L-101	STREETSCAPE PLAN
L-102	STREETSCAPE LIGHTING PLAN
L-103	SECOND FLOOR COURTYARD PLAN
L-104	FIFTH FLOOR ROOF TERRACE PLAN
L-500	CONSTRUCTION DETAILS
L-501	CONSTRUCTION DETAILS
L-502	CONSTRUCTION DETAILS
L-503	CONSTRUCTION DETAILS
L-504	CONSTRUCTION DETAILS

PREPARED BY:

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South Orange, NJ

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Issue:		
No.	Date	Remarks
1	08/06/2020	Updated Preliminary & Final Site Plan Set
2	08/21/2020	Updated Preliminary & Final Site Plan Set
3	09/11/2020	Updated Preliminary & Final Site Plan Set

Sheet Title:	
COVER SHEET	
Drawn By:	VH
Checked By:	DL
Date:	07/07/2020
Scale:	
Project Number:	Sheet:
02-2020-130	1 of 11

\\MACAL\FILES\PROJECTS\02-2020-130_TAYLOR AND VOSE\6.02-2020-130_CADD\6.7 SHEETS\01 SITE PLAN SUBMISSION\L-100_NOTES, LEGEND & SCHEDULE.DWG
DATE PRINTED: 9/10/2020 12:45 PM

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DATE PRINTED: 9/10/2020 12:45 PM

MATERIALS & LAYOUT NOTES

- ## MATERIALS & LAYOUT NOTES

PLANTING NOTES

- ### PLANTING NOTES

LEGEND

LEGEND

TAYLOR & VOSE
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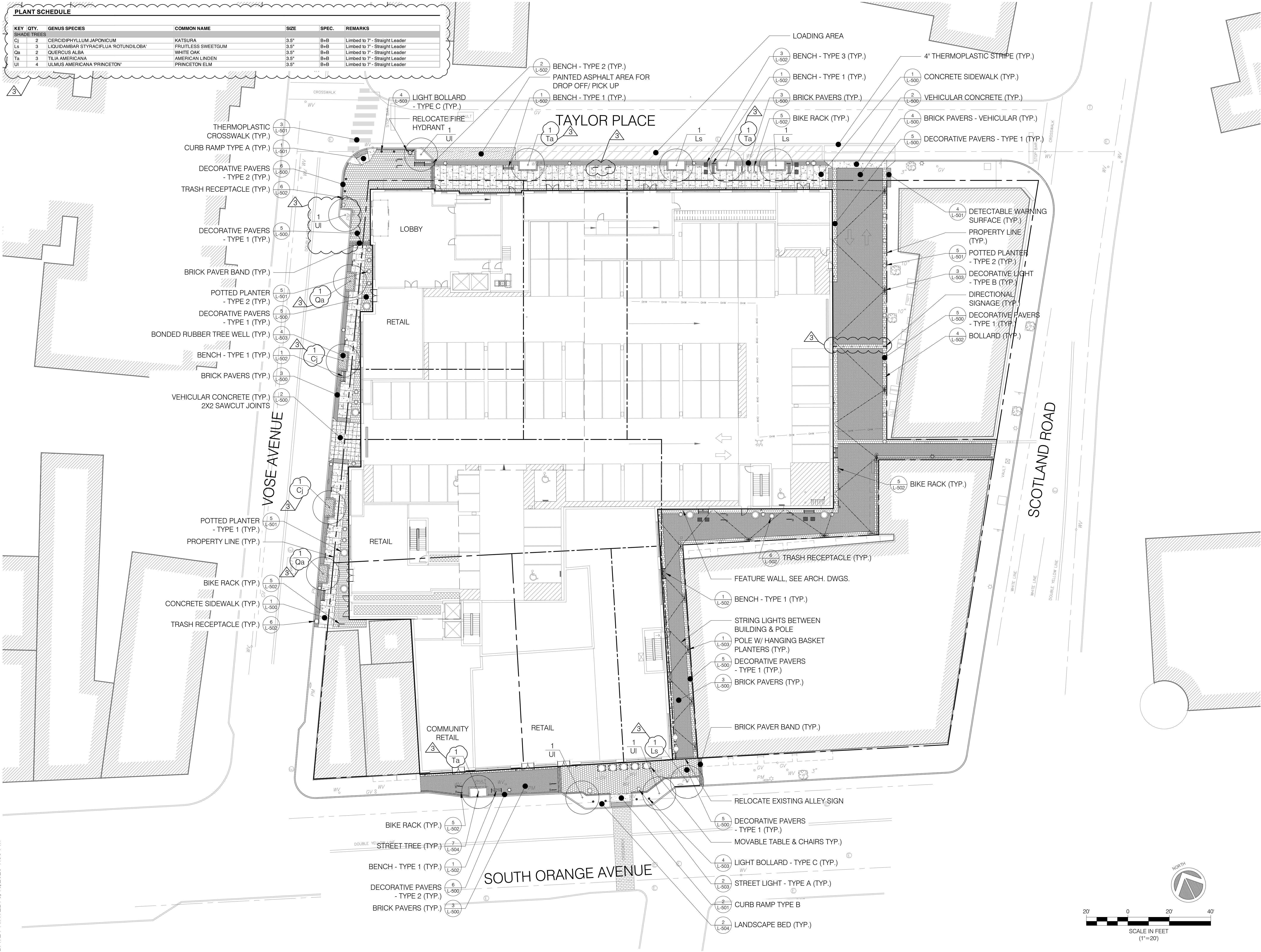
David I. Lustberg
New Jersey Licensed Landscape Architect
NJ LLA# AS00851

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Checked By:	DL		
Date:	07/07/2020		
Scale:	N/A		
Project Number:	02-2020-130	Sheet:	2 of 11

\\MACALLFILES\VOLUMES\01-PROJECTS\02-2020-130_TAYLOR AND VOSE\6.0 02-2020-130 CADD\6.7 SHEETS\01 SITE PLAN SUBMISSION\L-101_STREETSCAPE PLANDWG
DATE PRINTED: 9/10/2020 1:30 PM

PLANT SCHEDULE						
KEY	QTY.	GENUS SPECIES	COMMON NAME	SIZE	SPEC.	REMARKS
SHADE TREES						
Cj	2	CERCIDIPHYLLUM JAPONICUM	KATSURA	3.5"	B+B	Limbed to 7" - Straight Leader
Ls	3	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	FRUITLESS SWEETGUM	3.5"	B+B	Limbed to 7" - Straight Leader
Qa	2	QUERCUS ALBA	WHITE OAK	3.5"	B+B	Limbed to 7" - Straight Leader
Ta	3	TELIA AMERICANA	AMERICAN LINDEN	3.5"	B+B	Limbed to 7" - Straight Leader
UI	4	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	3.5"	B+B	Limbed to 7" - Straight Leader



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STREETSCAPE PLAN		
Drawn By:	VH	L-101
Checked By:	DL	
Date:	07/07/2020	
Scale:	1"=20'-0"	
Project Number:	02-2020-130	Sheet: 3 of 11

\\MACALLIFLES\VOLUMES\01-PROJECTS\02-2020-130_TAYLOR AND VOSE\6.0 02-2020-130 CADD\6.7 SHEETS\01 SITE PLAN SUBMISSION\L-102_STREETSCAPE LIGHTING PLAN.DWG
DATE PRINTED: 9/10/2020 1:44 PM

LIGHTING	
Lights at 60' intervals	YES
Light height NTE 20'	YES
Lights prevent upward spillage	YES
Lights are LED lamps providing "warm-white" light	YES
Lights provide not less than ½ horizontal foot-candle average	YES
Dimmable Lights and able to be controlled by timer	YES
Pathways to be lit for pedestrians	YES
Lights directed away from adjacent lots	YES
Architectural and accent is on structures and will be off between 11-5	YES
Safety lighting is provided on structures	YES
Light finishes are modern, human-oriented and imaginative	YES
Cobra lights are not incorporated into plan	YES
Lighting at crosswalks is maximized	NO

Luminaire Schedule					Lum. Lumens	Lum. Watts	LLF
Symbol	Label	Qty	MANUFACT	Description			
	B	6	Landscape Forms	Ashbery Area Light, Type 3, 16ft lens height (AP-206L3-100F-30K-UV1-20K-P2) (AP999 - Banner arms, planter arms, string lighting attachment)	2068	46.86	0.950
	C	8	Landscape Forms	Ashbery Path Light, Type 4, 3000K (AP-006L4-035F-30K-UV1-SM)	425	7.35	0.950
	A	11	PHILIPS LIGHTING, LITTLESTOWN	Villager - LED, 48 LED, Type 3 (VX15148-G2-C-3-NS)	7153	79	0.950
	D	35	LIGIMAY	Marvik Wall Mount, Very wide distribution (MV-30031-1VW-W27); Mounted 9 feet above FFE	1737	20.8	0.950
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
STAT AREA	Illuminance	Fc	2.36	8.3	0.2	11.80	41.50

LIGHT BOLLARD - TYPE C (TYP.)

STREET LIGHT - TYPE A (TYP.)

STREET LIGHT - TYPE A (TYP.)

BUILDING MOUNTED LIGHT - TYPE D (TYP.)

TAYLOR PLACE

DECORATIVE
LIGHT - TYPE B
(TYP.)

PROPERTY LINE
(TYP.)

STRING LIGHTS BETWEEN
BUILDING & POLES - TYPE E (TYP.)
[SEE NOTE #4]

EXITING STREET LIGHT
[SEE NOTE #5]

STRING LIGHTS BETWEEN BUILDING
& POLES - TYPE E (TYP.)
[SEE NOTE #4]

STREET LIGHT - TYPE A (TYP.)

LIGHT BOLLARD - TYPE C (TYP.)

SOUTH ORANGE AVENUE

NOTES:

1. FINAL LIGHTING DESIGN WILL ENSURE ALL LIGHTING TO BE DIRECTED AWAY FROM ALL ADJACENT PROPERTIES.
2. ALL STREET LIGHTS AND LIGHT BOLLARDS SHALL TIE INTO TOWNSHIP STREET LIGHT METER.
3. ALL STREET LIGHTS AND LIGHT BOLLARDS SHALL BE MAINTAINED BY THE TOWNSHIP.
4. STRING LIGHTS SHALL MAINTAIN A CLEARANCE HEIGHT OF 14 FEET IN THE VEHICULAR ACCESS AREA IN THE ALLEYWAY, AND 10-12 FEET IN THE PEDESTRIAN ONLY ACCESS AREA IN THE ALLEYWAY.
5. TOWNSHIP SHALL BE RESPONSIBLE IN MAKING SURE THE EXISTING STREET LIGHT MEETS TOWNSHIP STANDARDS AND FUNCTIONS PROPERLY.

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STREETSCAPE
LIGHTING PLAN

Drawn By:

VH

Checked By:

DL

Date:

07/07/2020

Scale:

1"=20'-0"

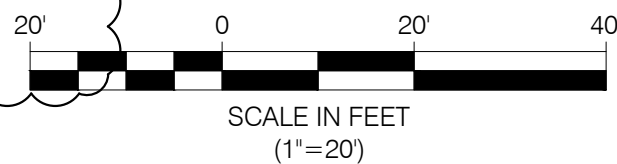
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02-2020-130

Sheet:

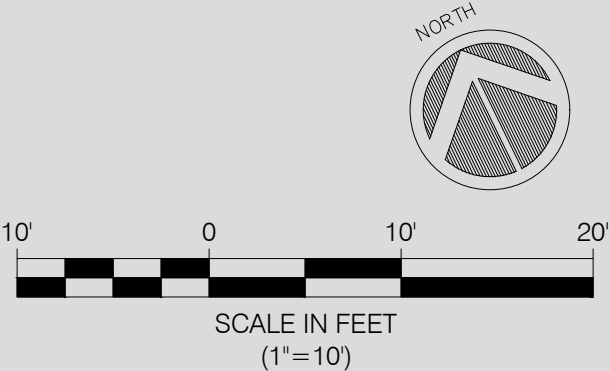
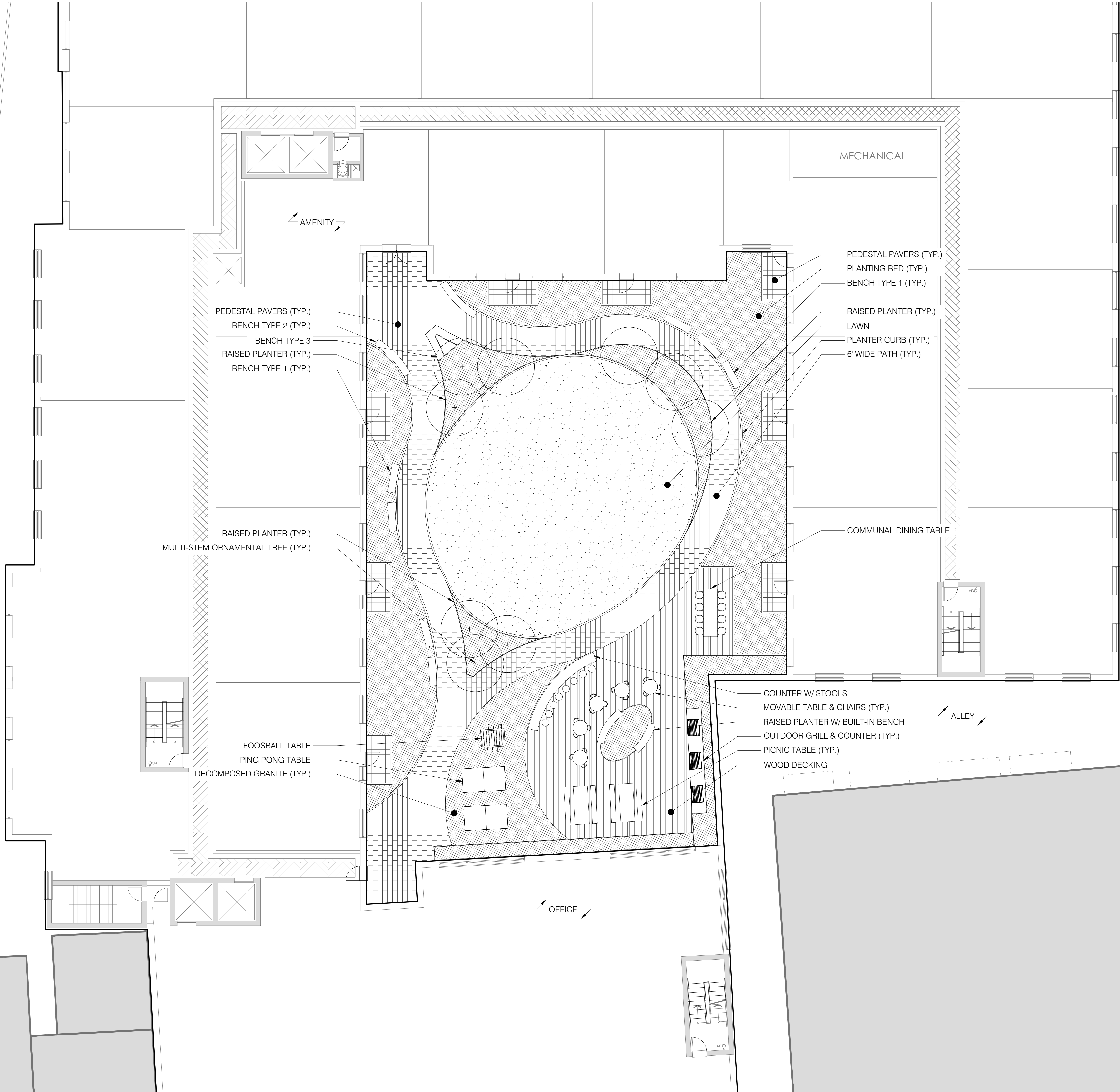
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VOSE AVENUE



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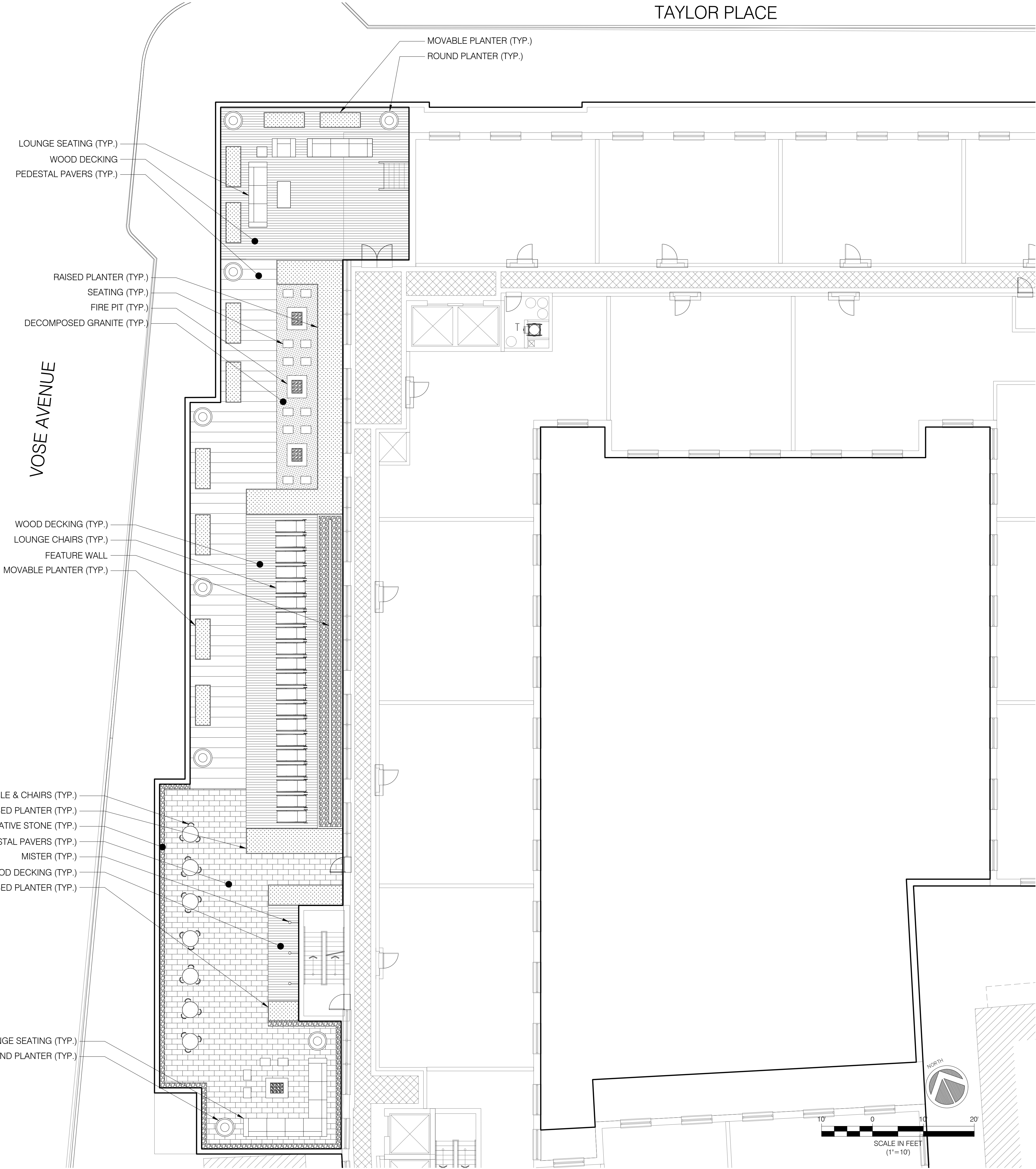
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SECOND FLOOR COURTYARD PLAN		
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ROOF TERRACE PLAN.DWG
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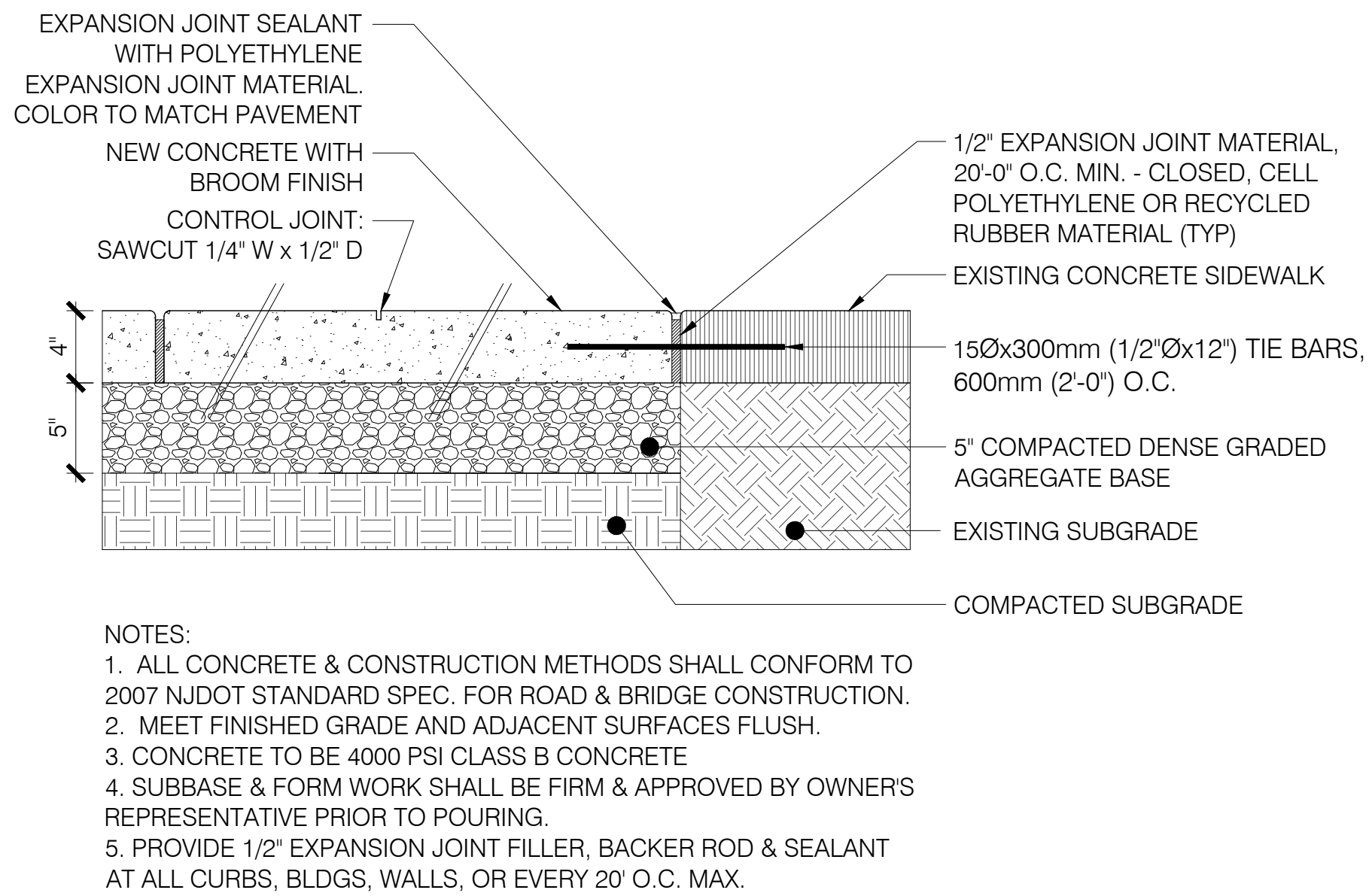
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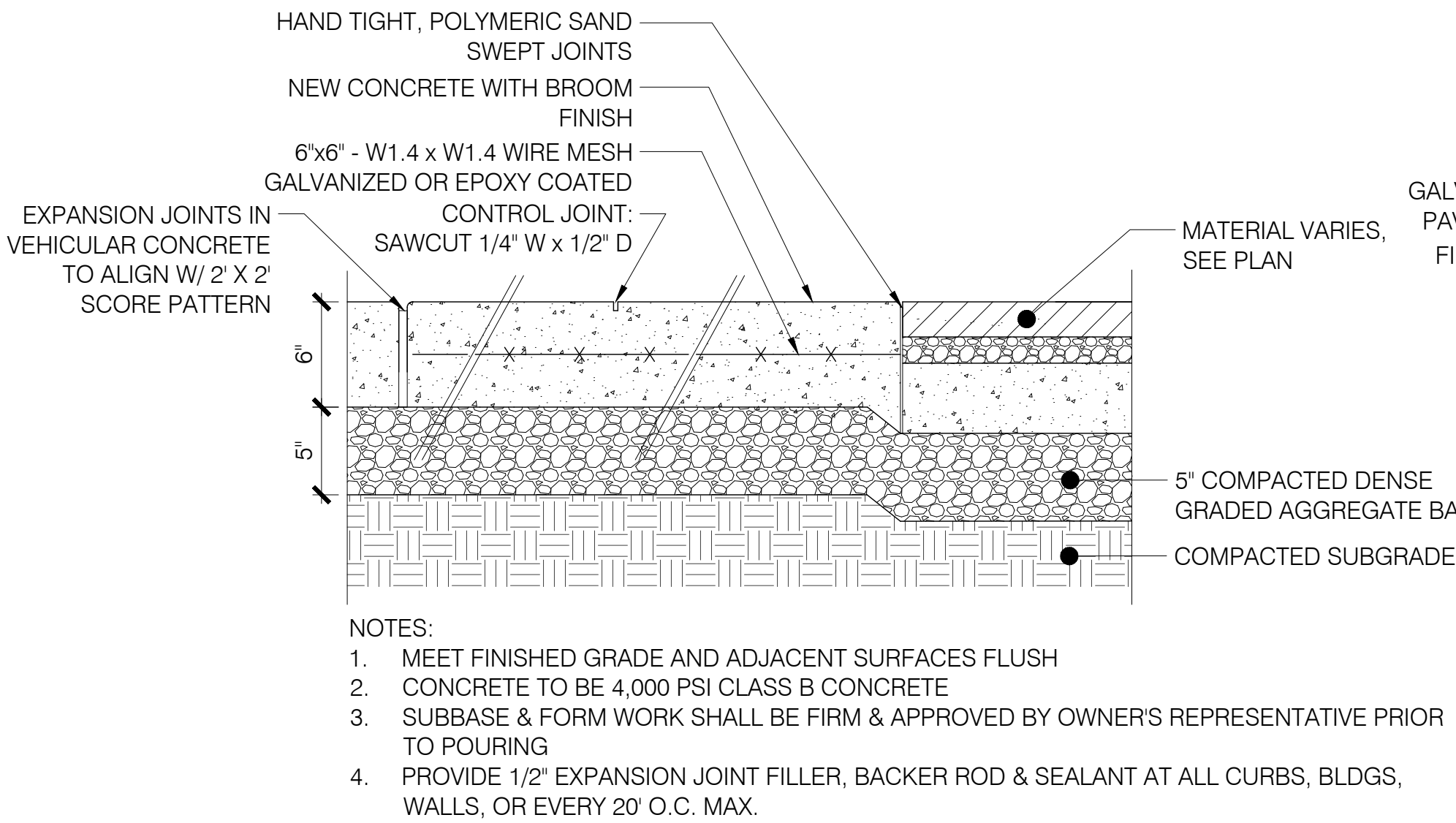
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FIFTH FLOOR ROOF TERRACE PLAN		
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Date:	07/07/2020	
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Project Number:	02-2020-130	Sheet: 6 of 11

\\MACALLIFILES\VOLUMES\01-PROJECTS\02-2020-130_TAYLOR AND VOSE\02-2020-130_CADD\6.7 SHEETS\01 SITE PLAN SUBMISSION\L-500 CONSTRUCTION DETAILS.DWG
DATE PRINTED: 9/10/2020 1:39 PM



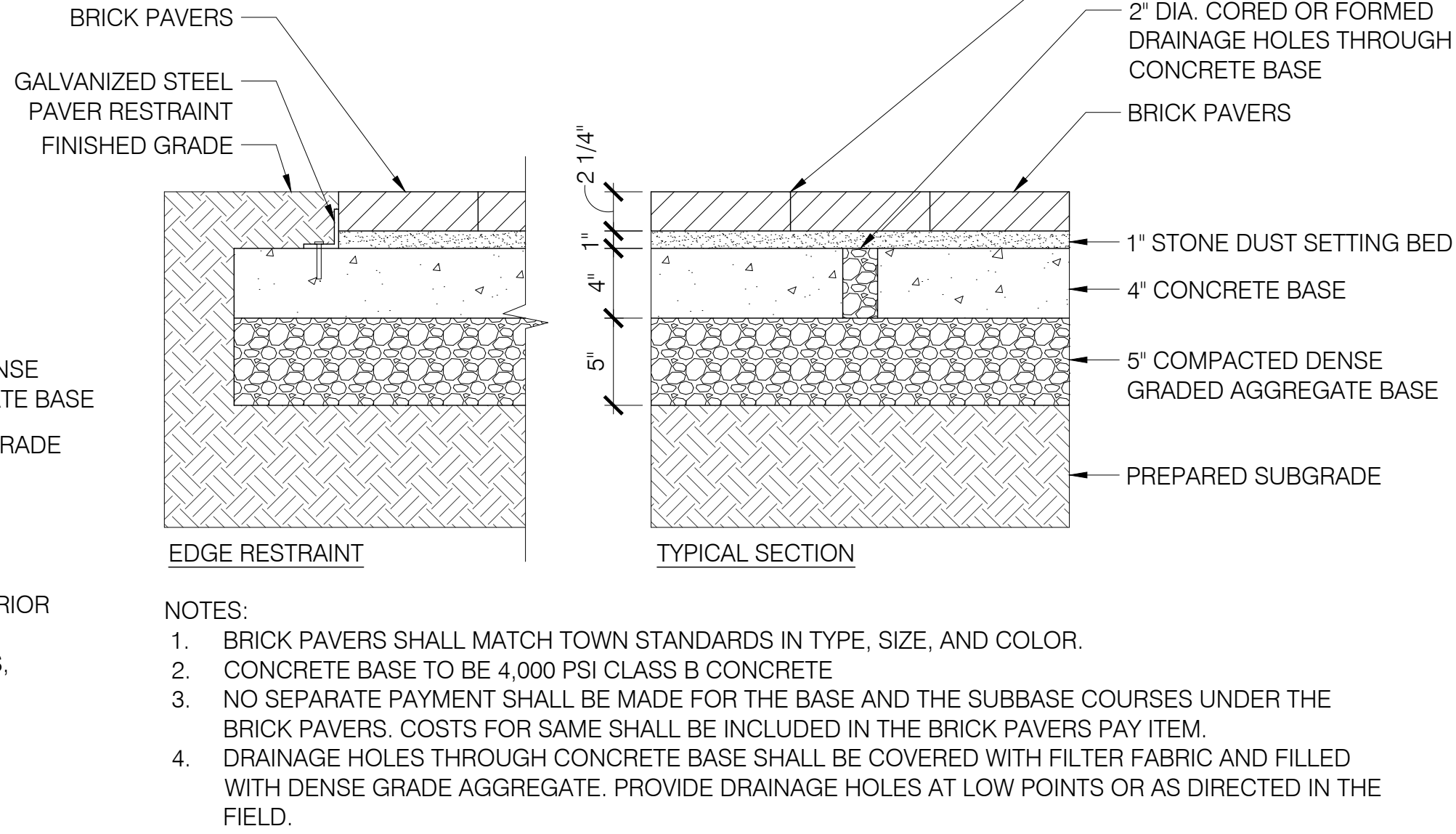
1 CONCRETE SIDEWALK

SCALE: 1-1/2" = 1'-0"



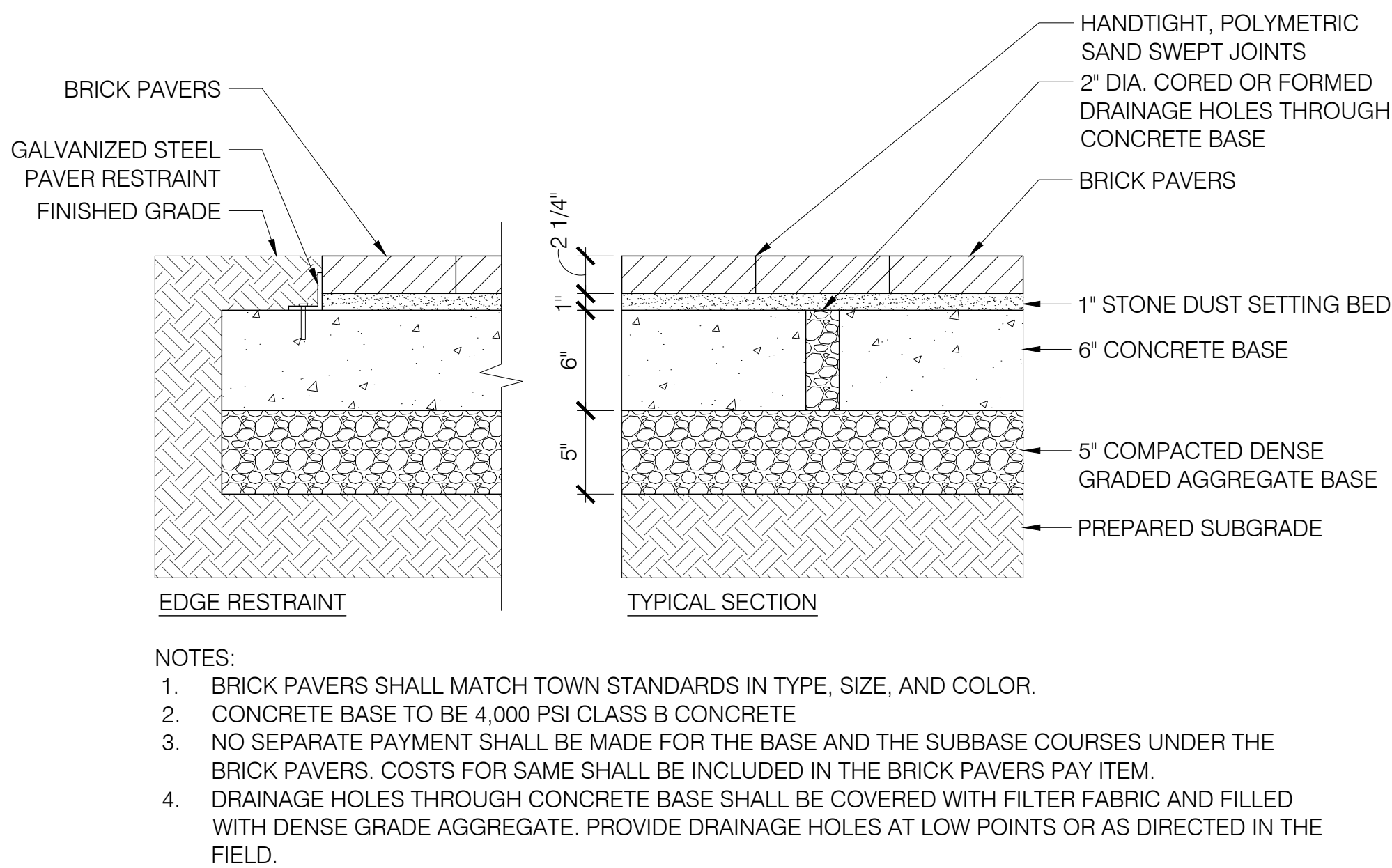
2 VEHICULAR CONCRETE

SCALE: 1-1/2" = 1'-0"



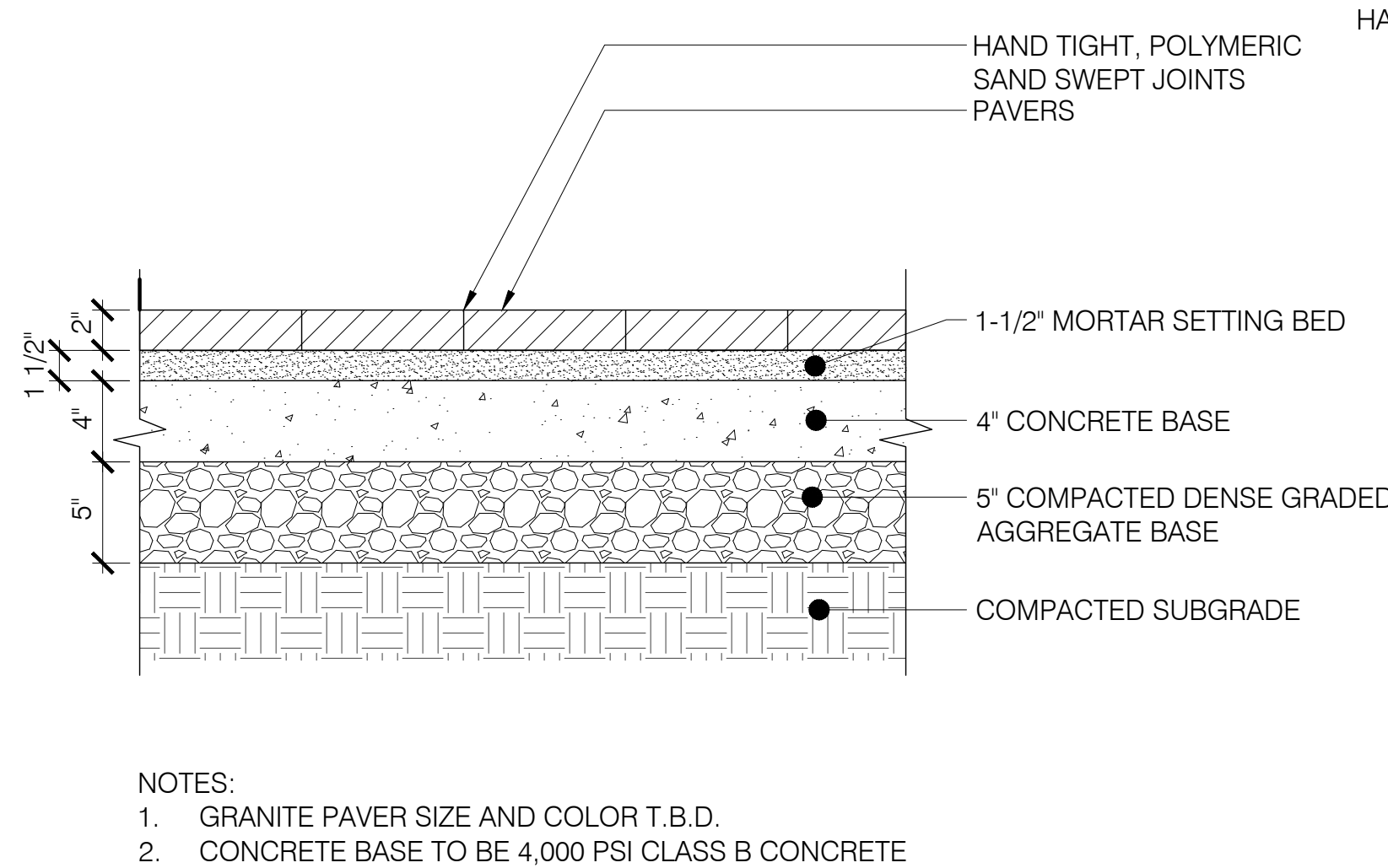
3 BRICK PAVERS

SCALE: 1-1/2" = 1'-0"



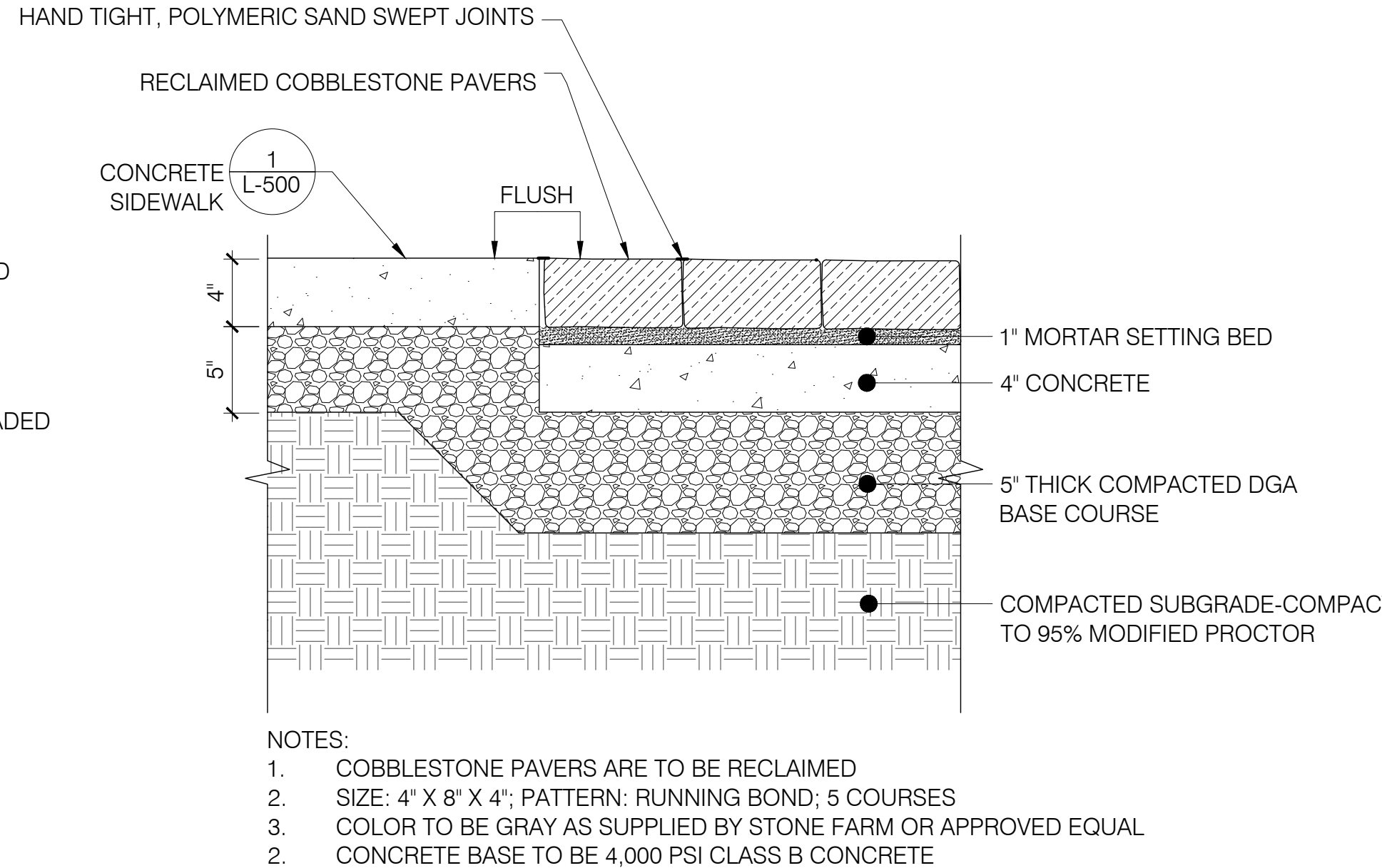
4 BRICK PAVERS - VEHICULAR

SCALE: 1-1/2" = 1'-0"



5 DECORATIVE PAVERS - TYPE 1

SCALE: 1-1/2" = 1'-0"



6 DECORATIVE PAVERS - TYPE 2

SCALE: 1-1/2" = 1'-0"

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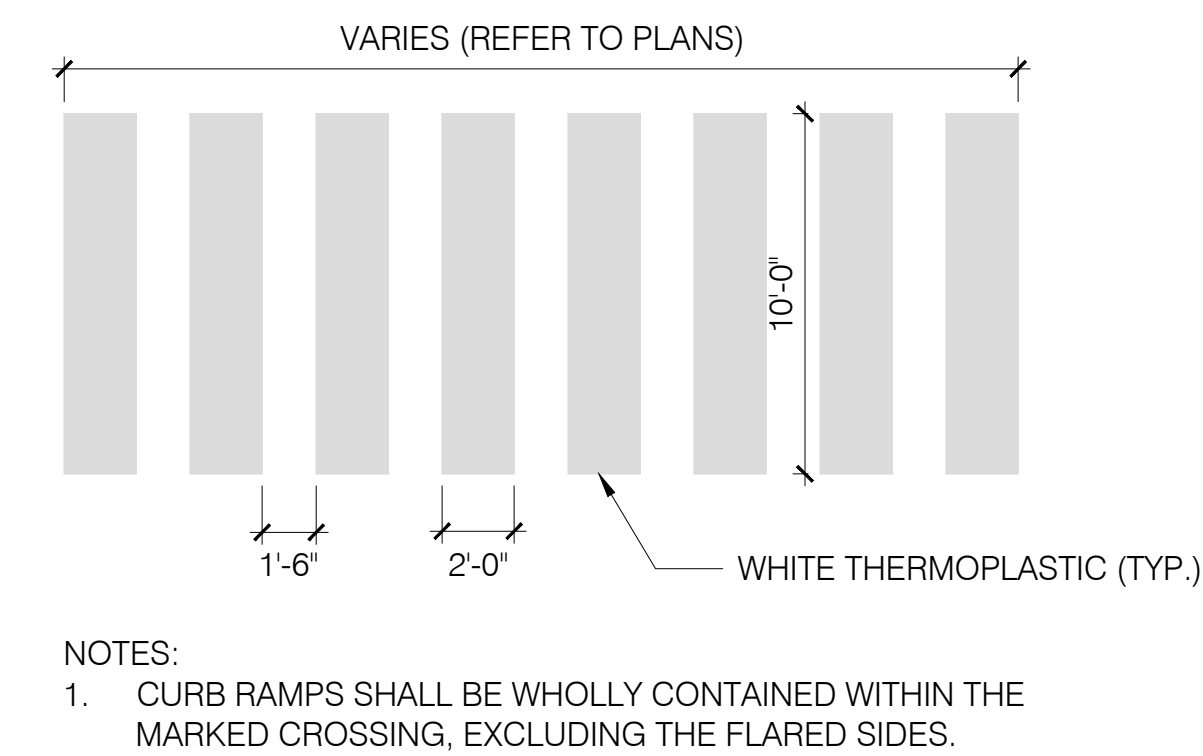
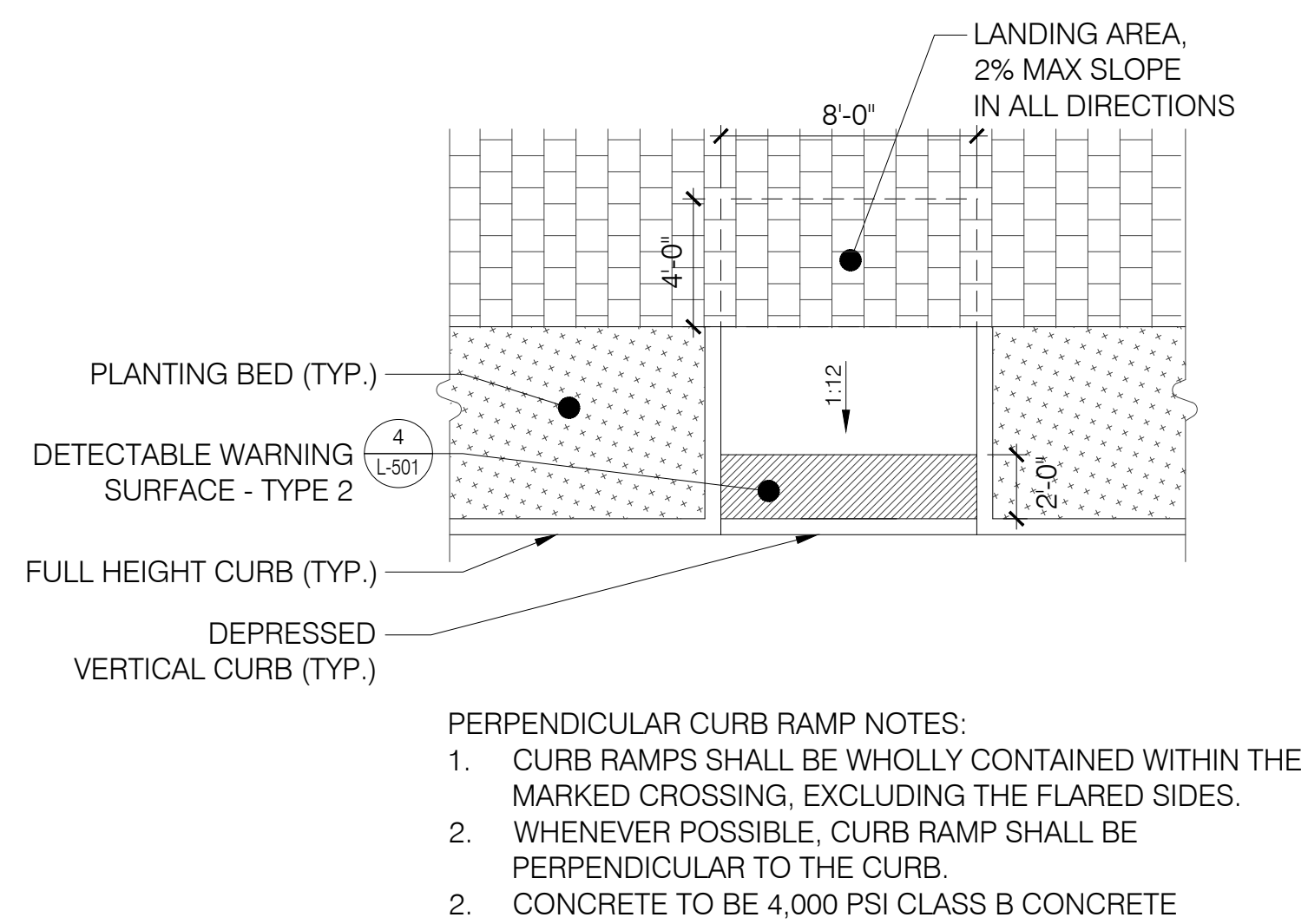
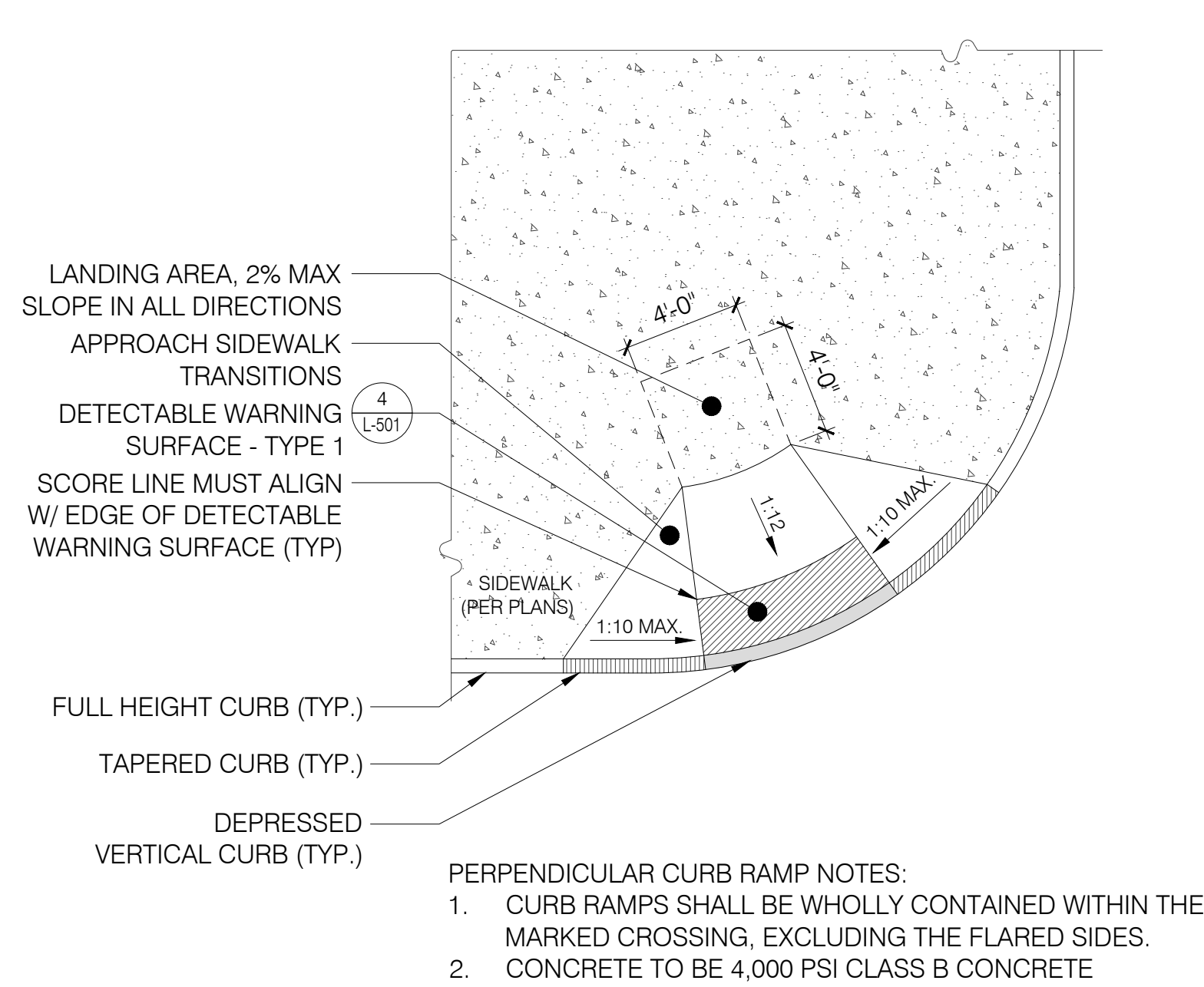
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Date:	07/07/2020	
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Project Number:	02-2020-130	Sheet: 7 of 11

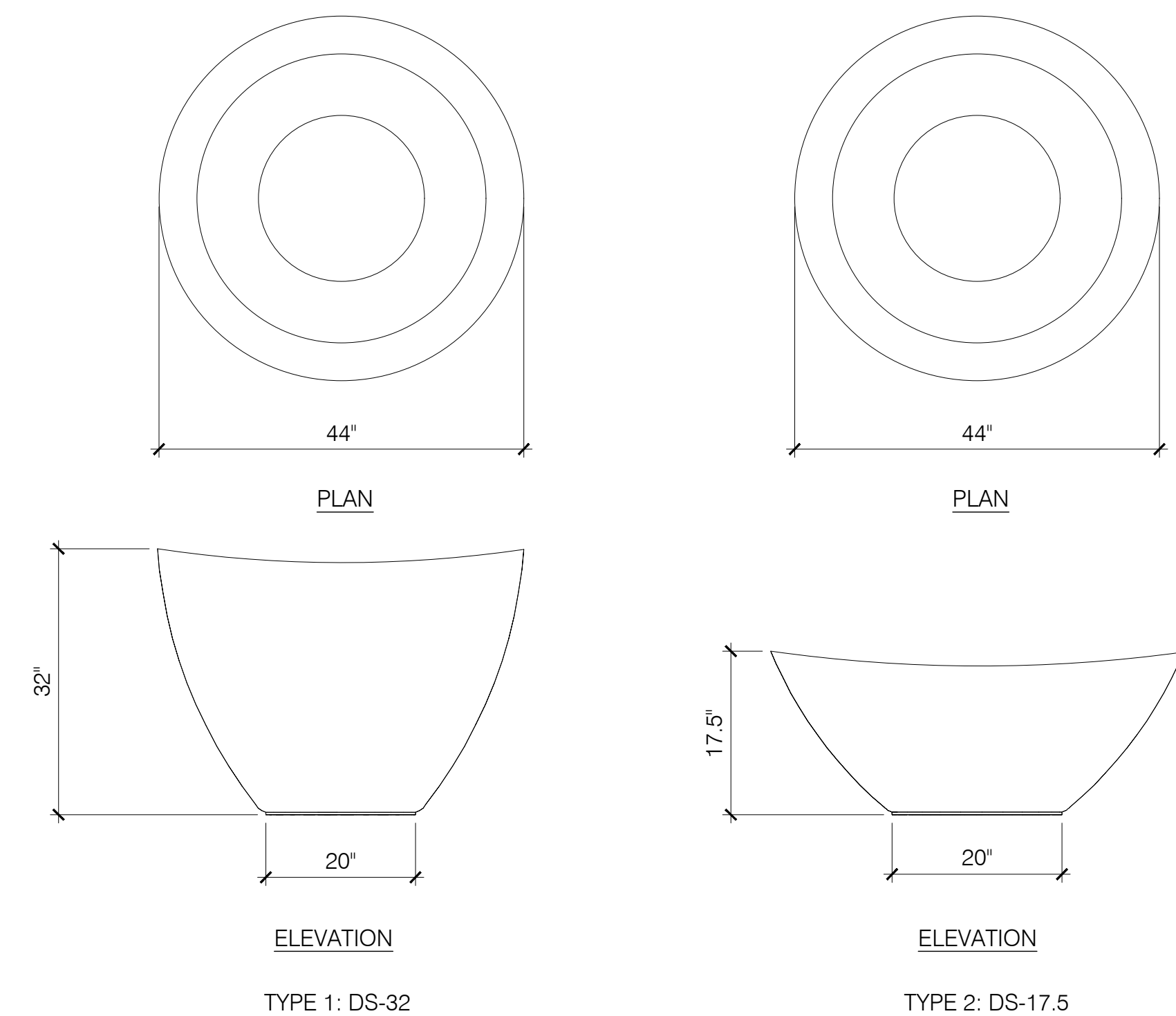
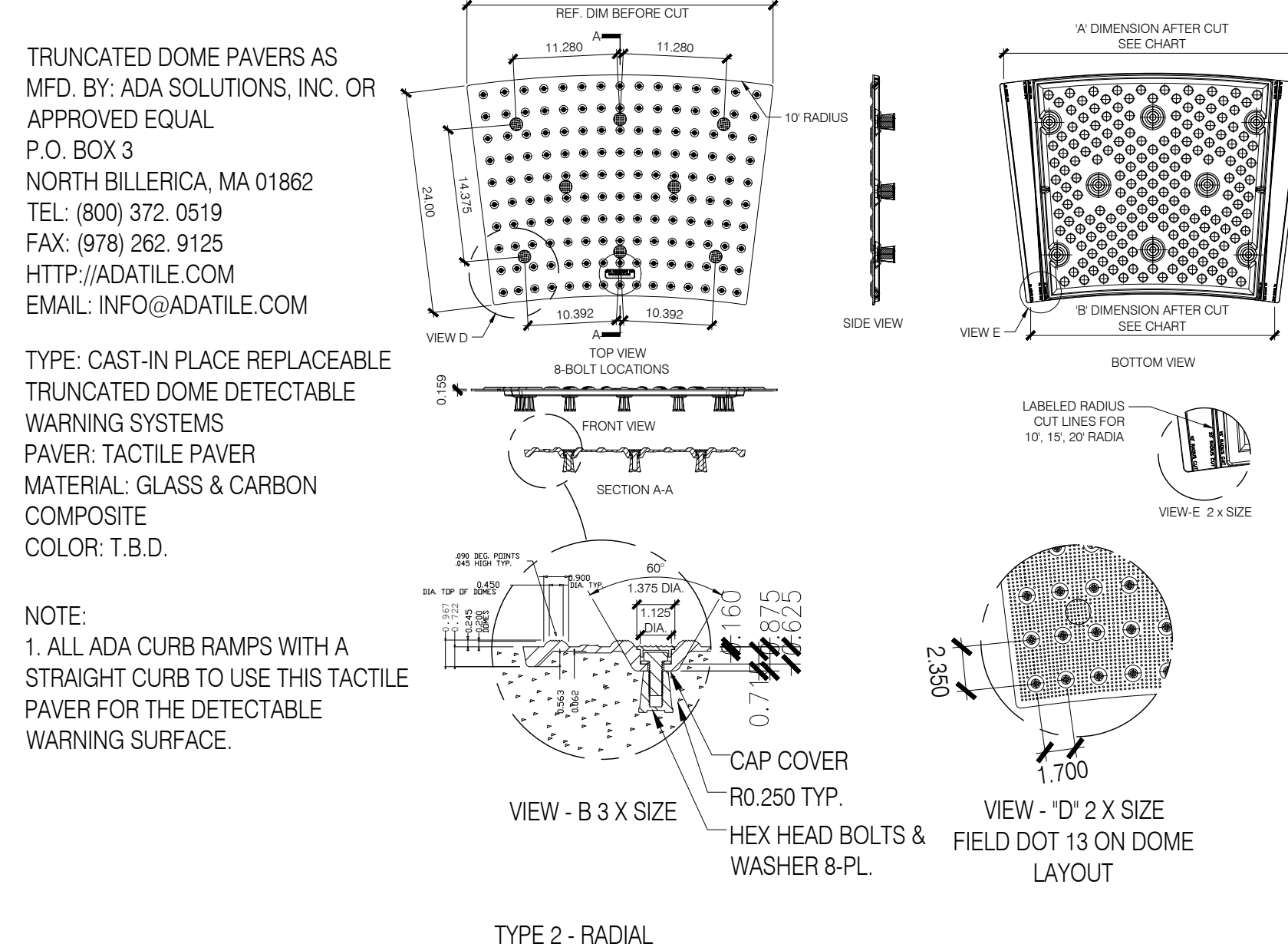
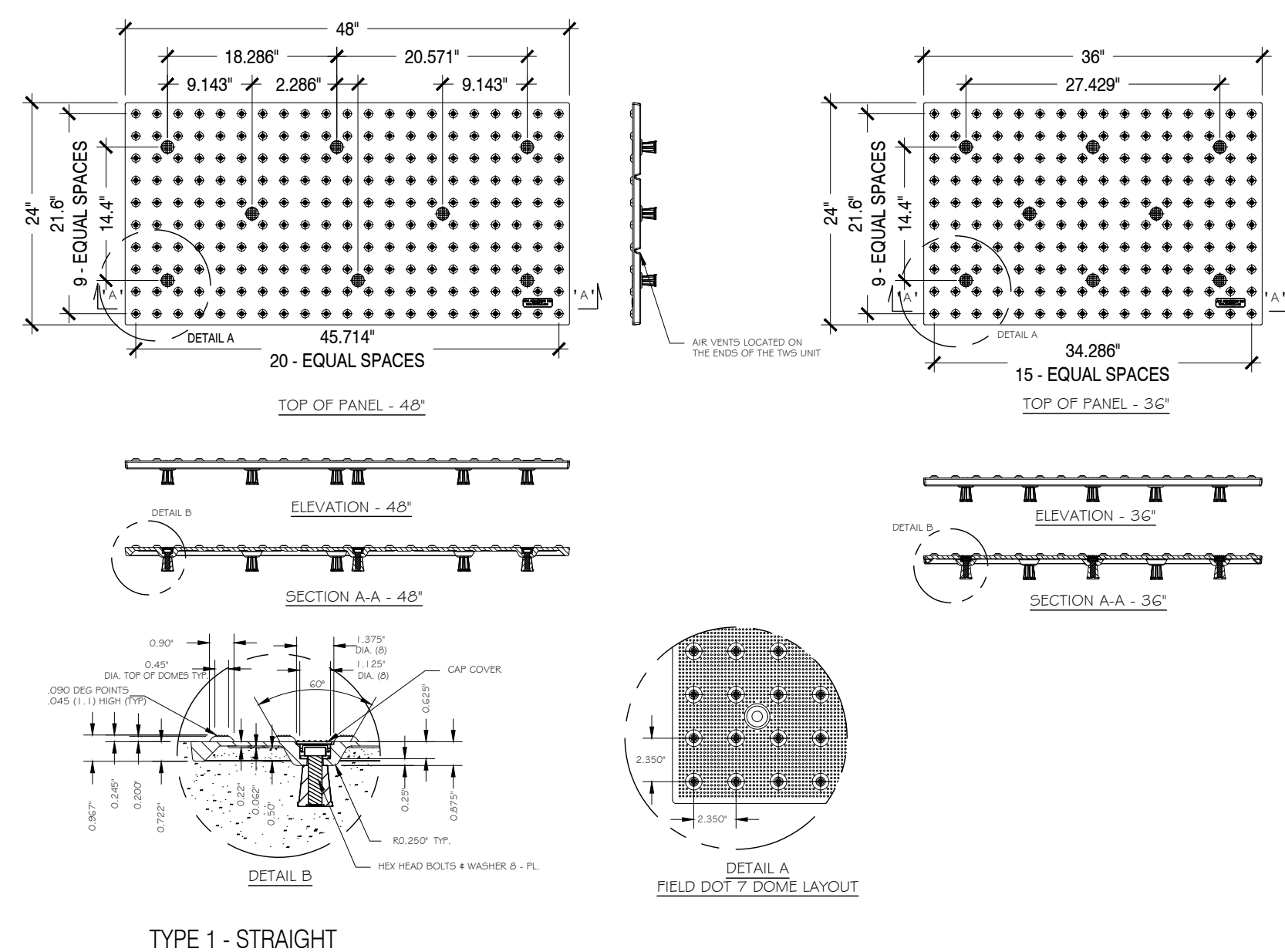


1 CURB RAMP TYPE A
SCALE: 3/16" = 1'-0"

2 CURB RAMP TYPE B
SCALE: 3/16" = 1'-0"

3 THERMOPLASTIC CROSSWALK

SCALE: 3/16" = 1'




4 DETECTABLE WARNING SURFACE

5 POTTED PLANTER

SCALE: $\frac{3}{4}" = 1'-0"$

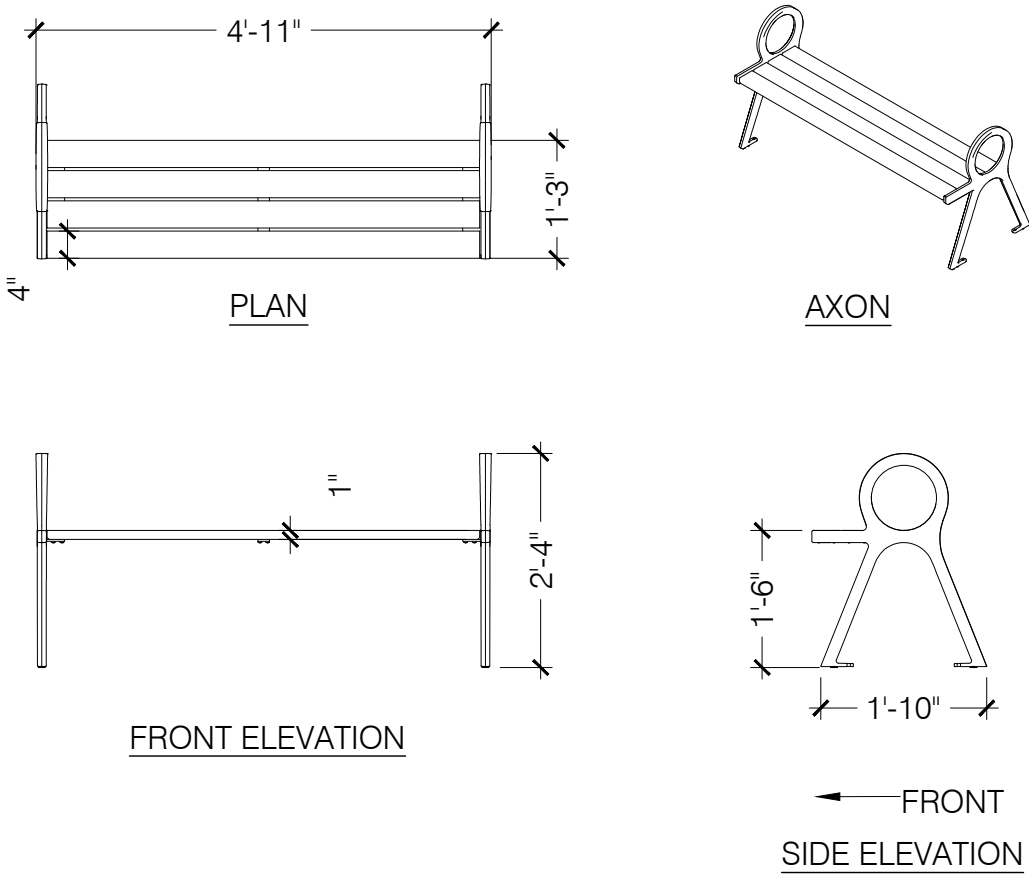
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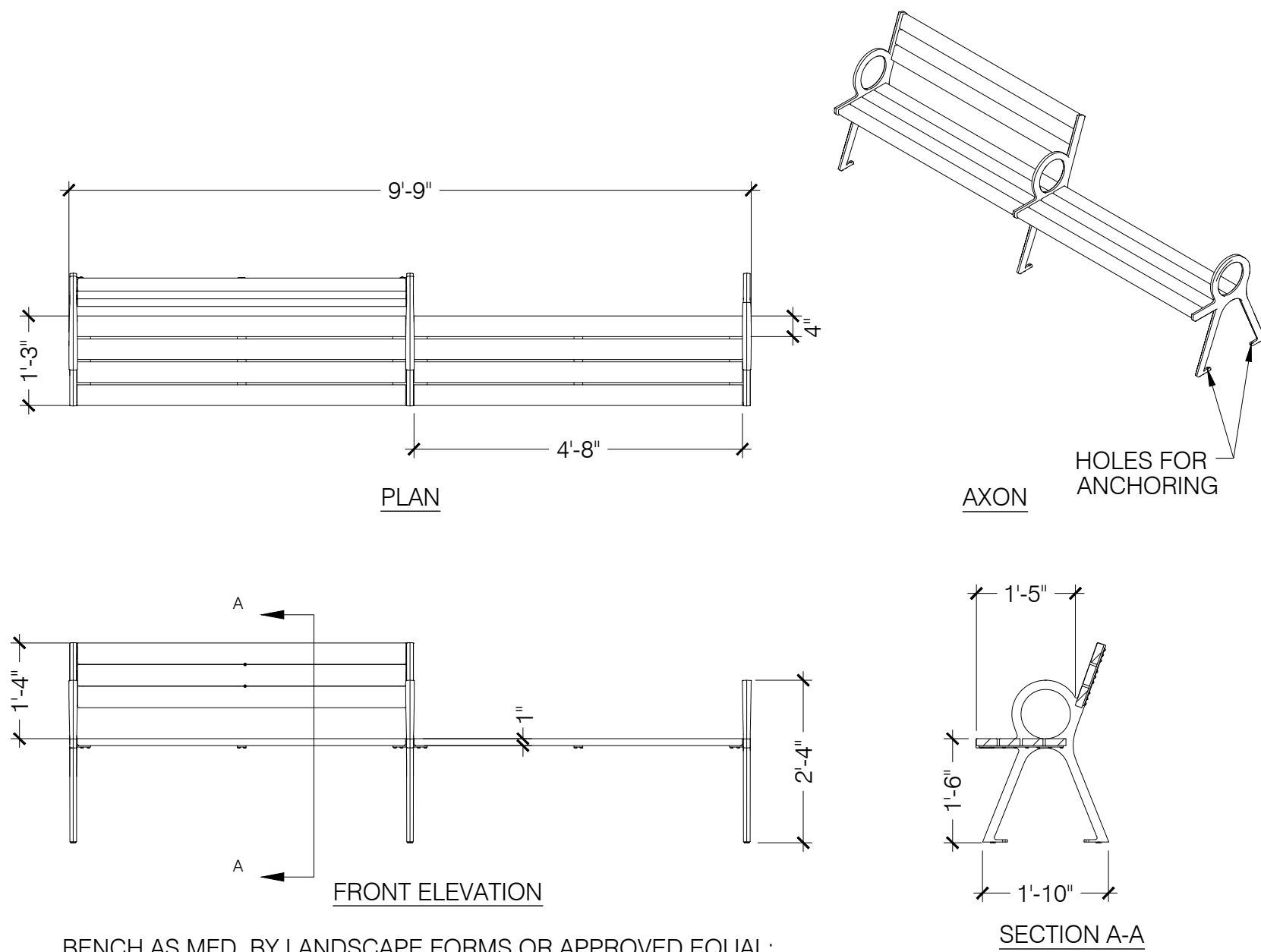
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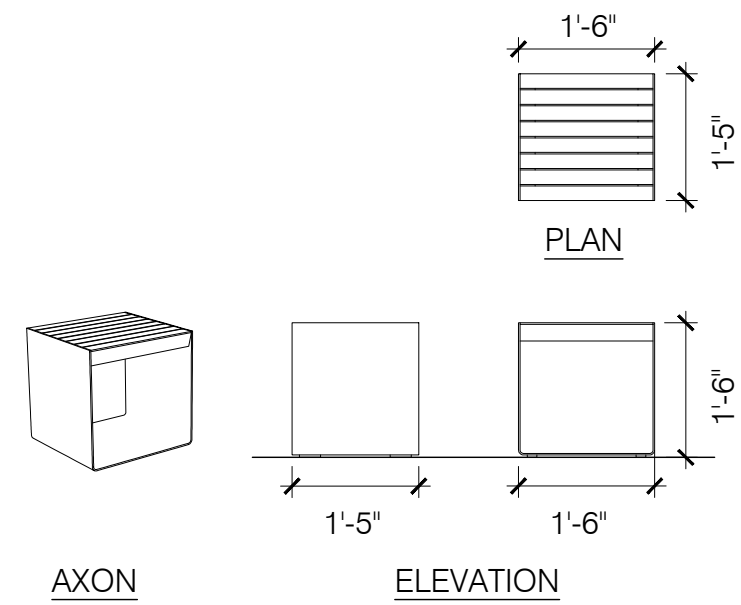
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DATE PRINTED: 9/10/2020 1:39 PM



- BENCH AS MFD. BY LANDSCAPE FORMS OR APPROVED EQUAL;
- MODEL: PARASPHERE BENCH
 - STYLE: 59" BENCH BACKLESS
 - IPE WOOD SLATS
 - FRAME COLOR: MATTE BLACK



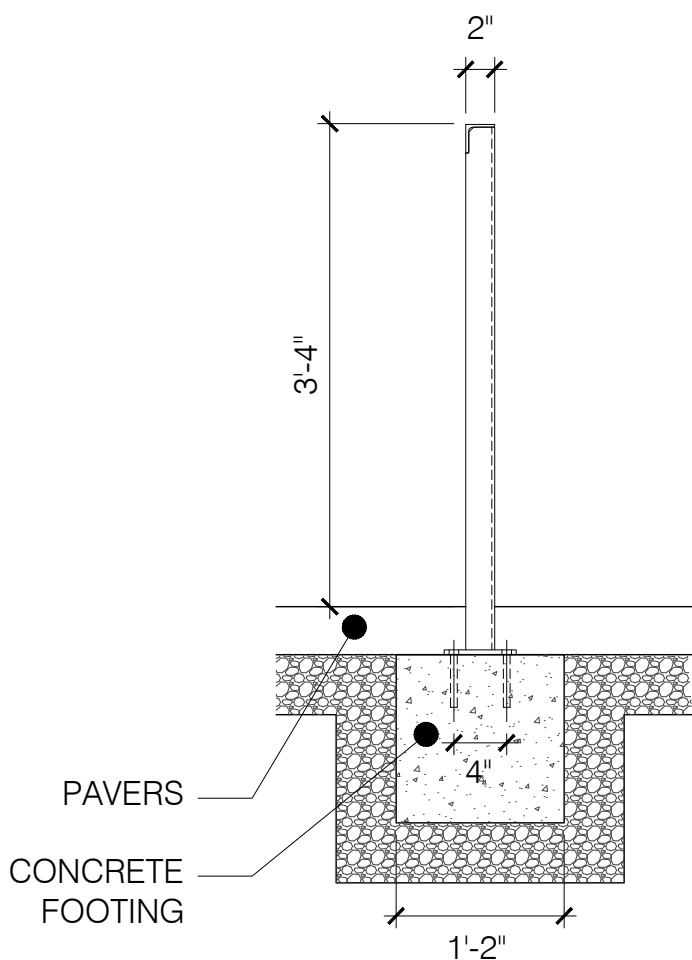
- BENCH AS MFD. BY LANDSCAPE FORMS OR APPROVED EQUAL;
- MODEL: PARASPHERE BENCH
 - STYLE: 117" BENCH, LEFT BACKED, RIGHT BACKLESS
 - IPE WOOD SLATS
 - FRAME COLOR: MATTE BLACK



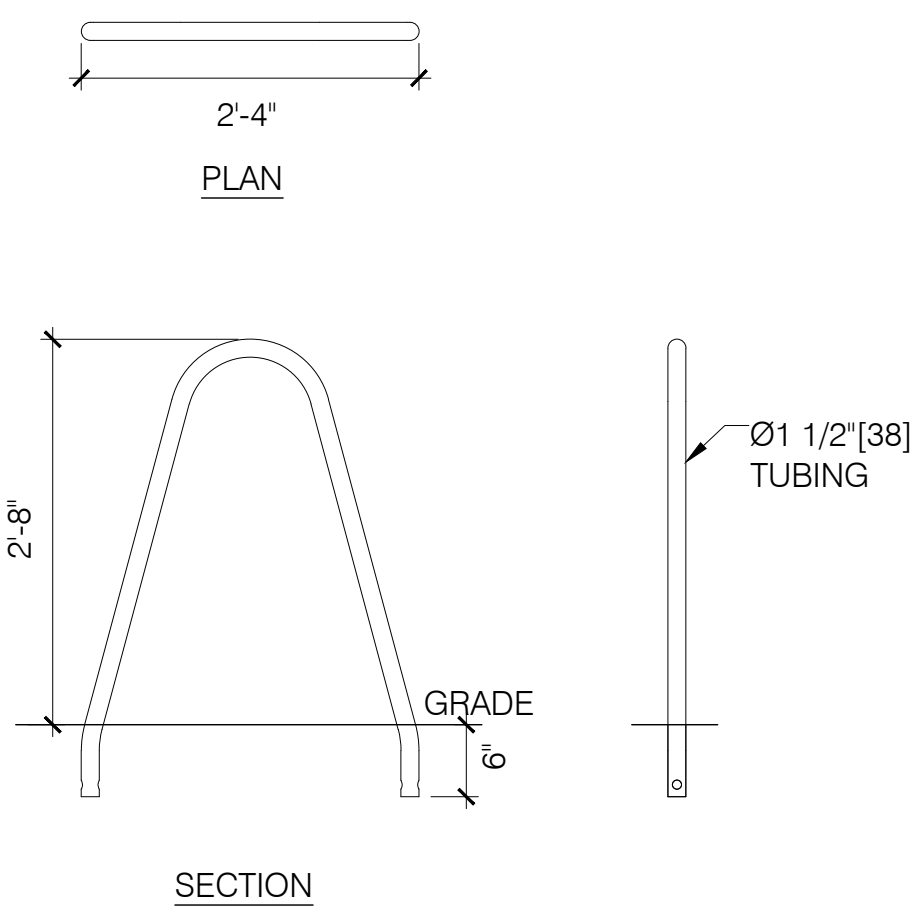
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- MODEL: LRA115T RADIIUM

BENCH - TYPE 3

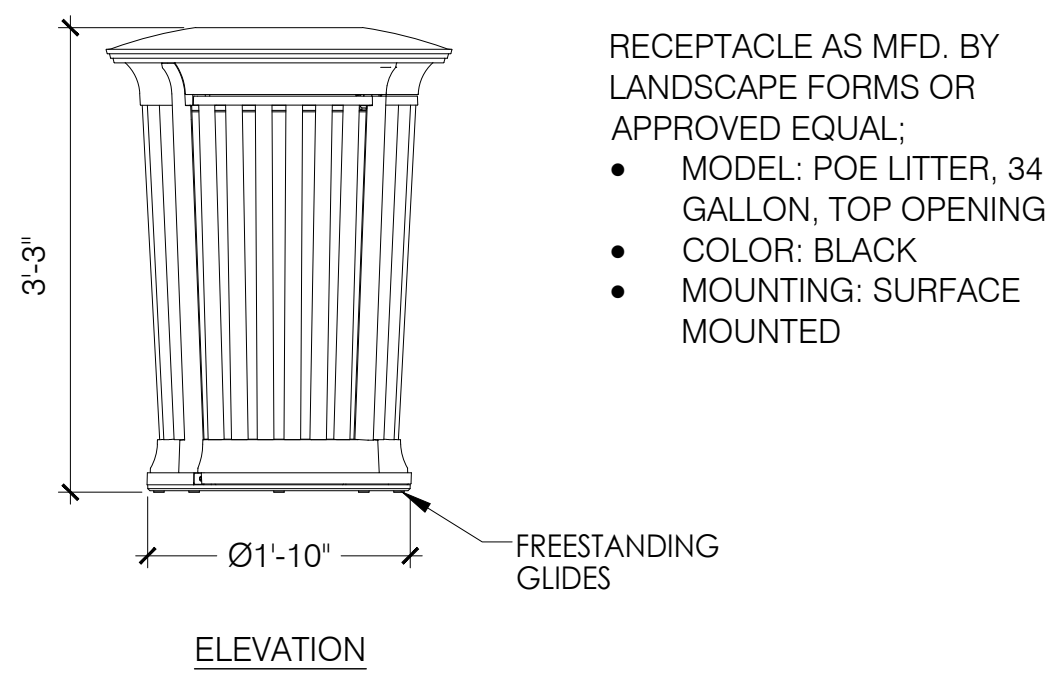
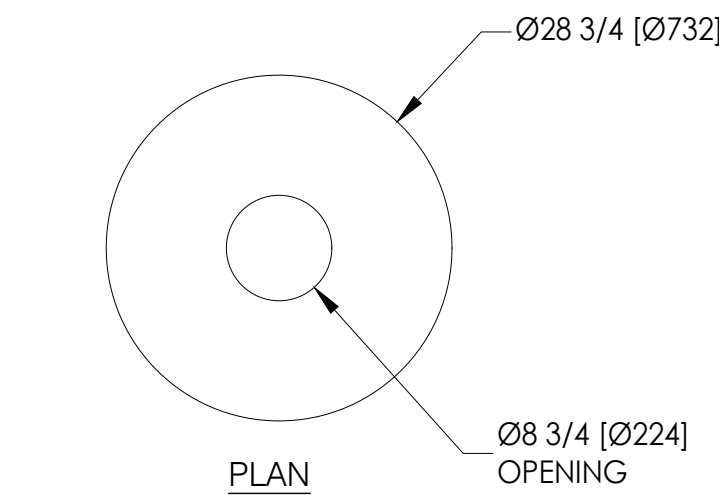
SCALE: N.T.S.



- BIKE RACK AS MFD BY:
- MMCITE - LOT (SL100)
 - POWDER COATED BLACK
 - EMBEDDED MOUNT TO CONCRETE FOOTING BELOW BRICK PAVERS
 - CONCRETE FOOTING TO BE 4,000 PSI CLASS B CONCRETE



- BIKE RACK AS MFD BY:
- LANDSCAPE FORMS - BOLA BIKE RACK
 - POWDER COATED COLOR T.B.D.
 - EMBEDDED MOUNT TO CONCRETE SUBBASE BELOW PAVERS



TRASH RECEPTACLE

SCALE: 3/4" = 1'-0"

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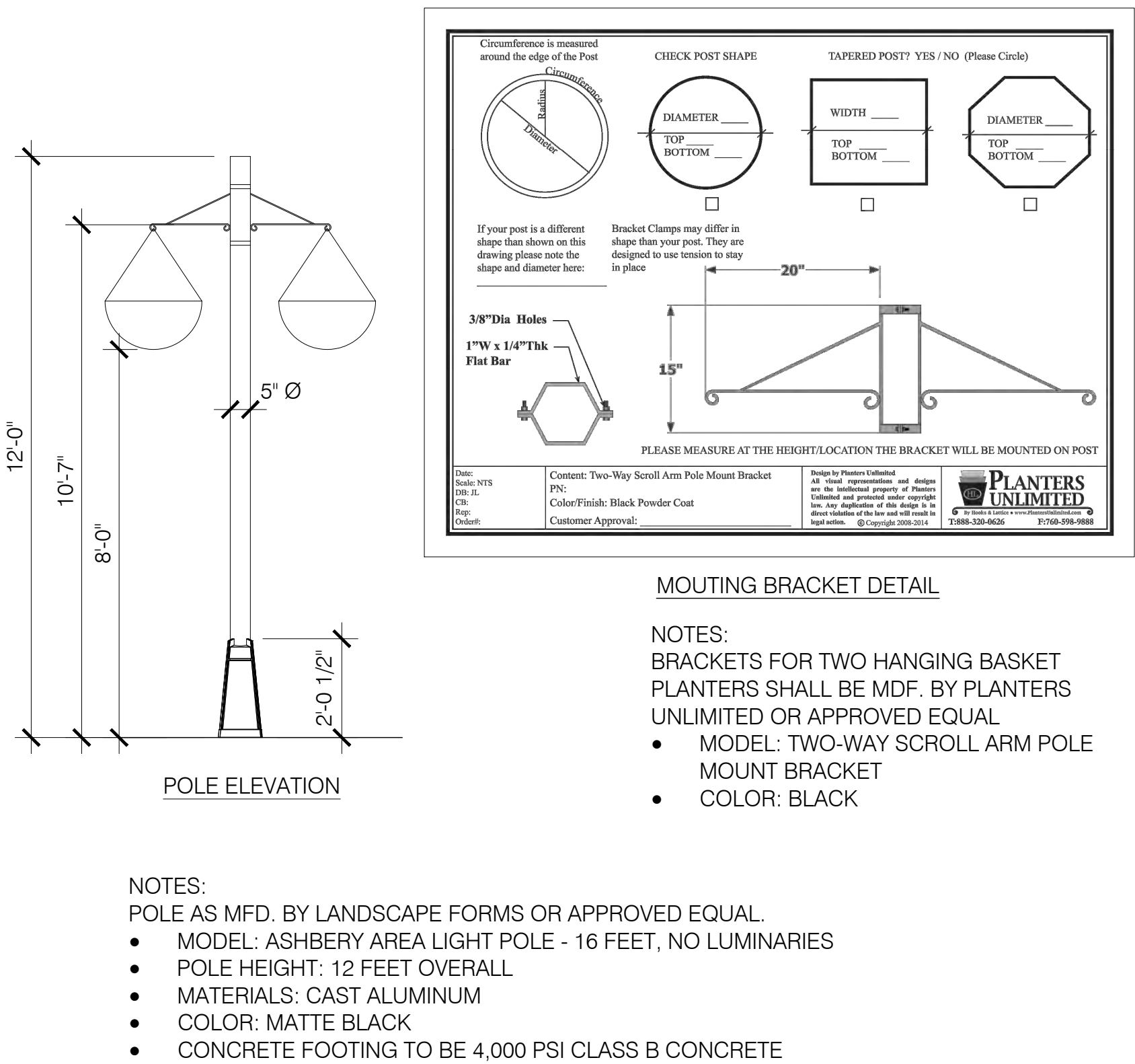
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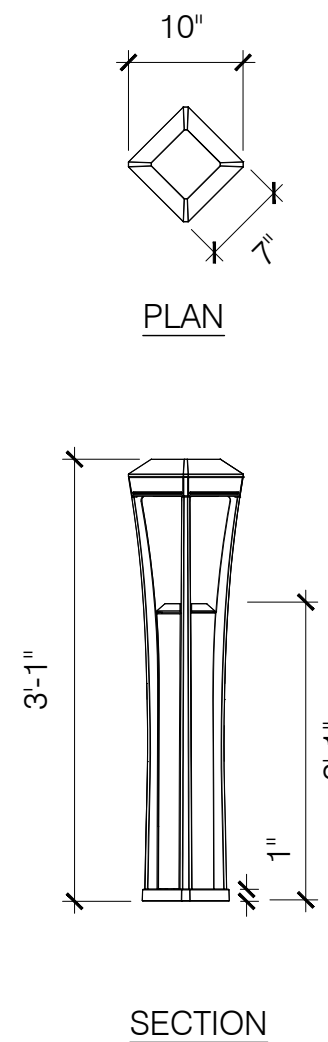
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DATE PRINTED: 9/10/2020 1:39 PM



1 POLE W/ HANGING BASKET PLANTERS

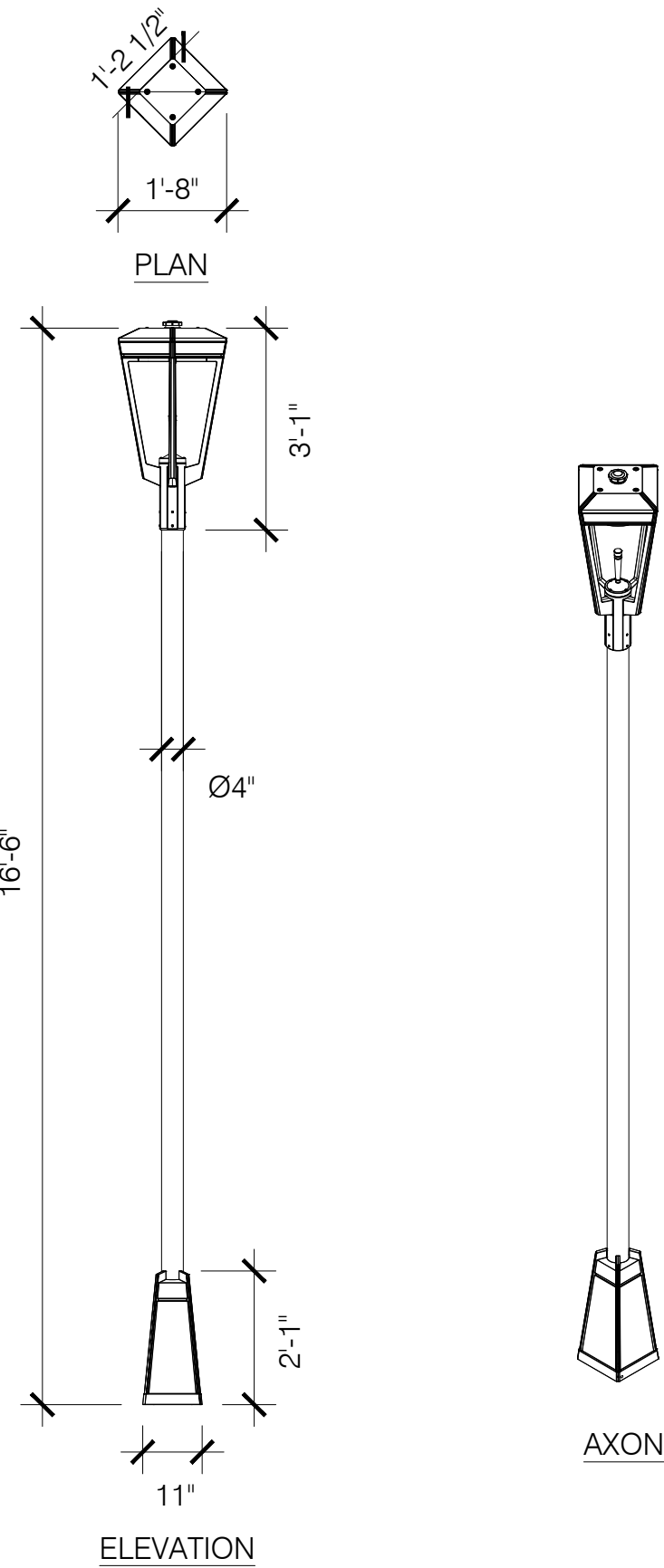
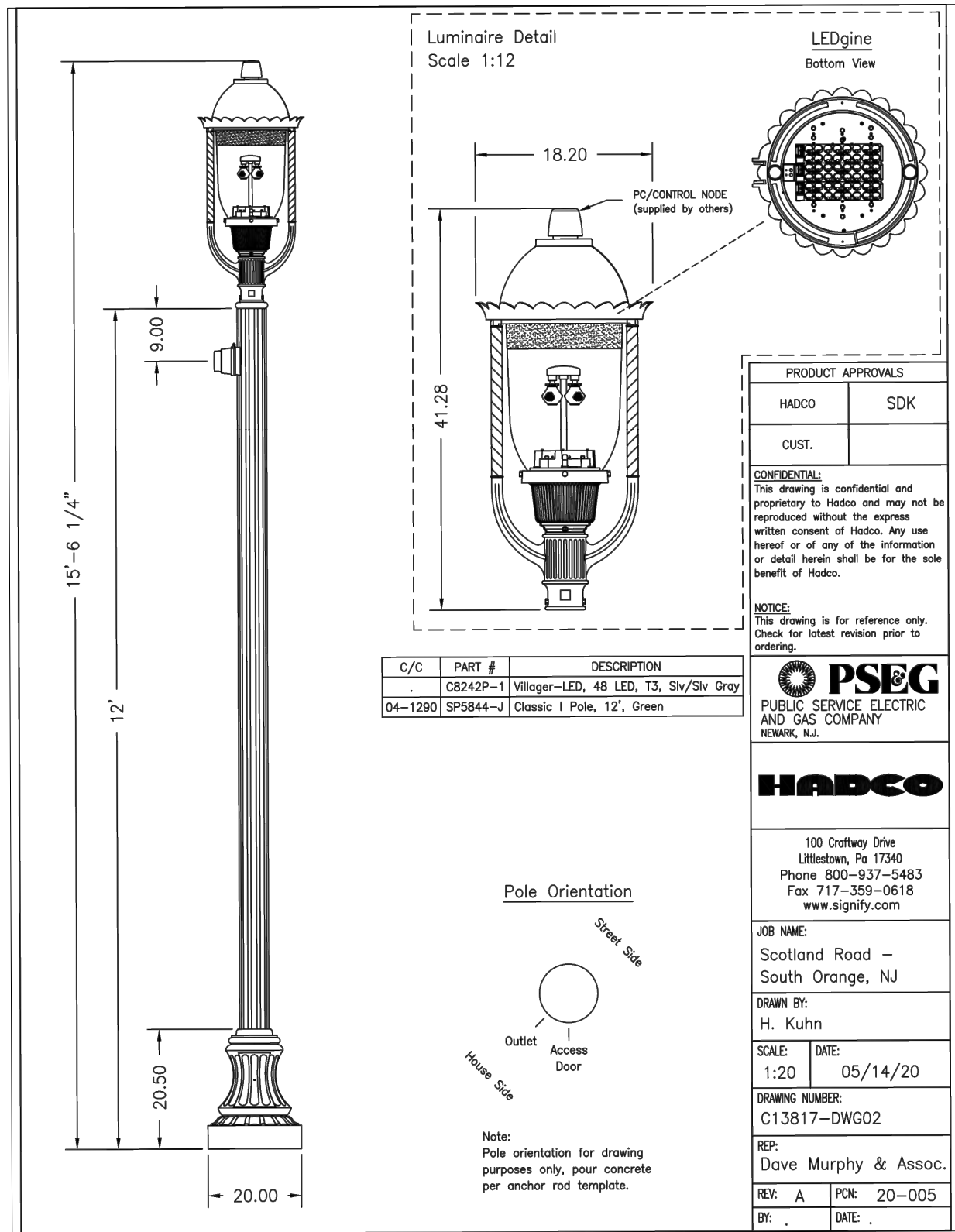
SCALE: 3/8" = 1'-0"



- LIGHT BOLLARD AS MFD BY:
- LANDSCAPE FORMS - ASHBERRY PATH LIGHT
 - LED, TYPE 4 DISTRIBUTION, 3000 K, DIMMABLE
 - POWDER COATED COLOR MATTE BLACK
 - CONCRETE FOOTING TO BE 4,000 PSI CLASS B CONCRETE

4 LIGHT BOLLARD - TYPE C

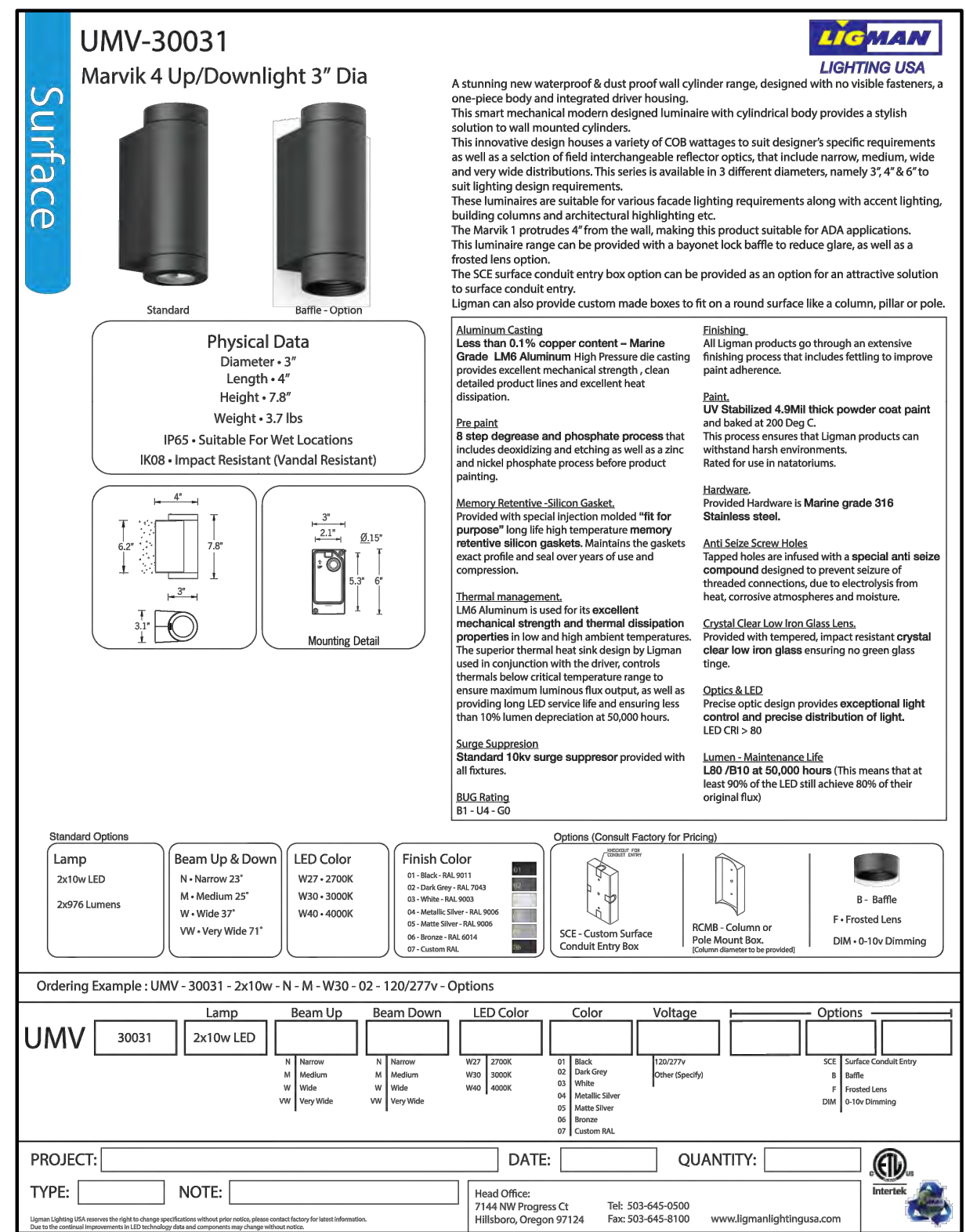
SCALE: 3/4" = 1'-0"



- PEDESTRIAN SCALE LIGHT AS MFD. BY LANDSCAPE FORMS OR APPROVED EQUAL:
- MODEL: ASHBERRY AREA LIGHT - 16 FEET, SINGLE LUMINAIRE
 - LED, TYPE 3 DISTRIBUTION, 3000 K, DIMMABLE
 - OPTIONS: WITH BRACKETS FOR TWO HANGING BASKET PLANTERS & BANNER
 - MATERIALS: CAST ALUMINUM
 - COLOR: MATTE BLACK
 - CONCRETE FOOTING TO BE 4,000 PSI CLASS B CONCRETE

2 STREET LIGHT - TYPE A

SCALE: N.T.S.



- LIGHT AS MFD BY:
- LIGMAN LIGHTING OR APPROVED EQUAL
 - MODEL: UMW 30031
 - BUILDING MOUNTED AT 9 FEET ABOVE FINISH GRADE

5 BUILDING MOUNTED LIGHT - TYPE D

SCALE: N.T.S.

TAYLOR & VOSE
DEVELOPMENT
South Orange, NJ

PRELIMINARY AND FINAL SITE PLAN SUBMISSION

Client:
VOSE AVE. APTS. URBAN RENEWAL, L.L.C.
447 Northfield Avenue, Suite 200
West Orange, NJ 07052
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NOT FOR CONSTRUCTION

David T. Lustberg

David T. Lustberg
New Jersey Licensed Landscape Architect
NJ LLAP AS00851

Issue:

No.	Date	Remarks
1	08/06/2020	Updated Preliminary & Final Site Plan Set
2	08/21/2020	Updated Preliminary & Final Site Plan Set
3	09/11/2020	Updated Preliminary & Final Site Plan Set

Sheet Title:

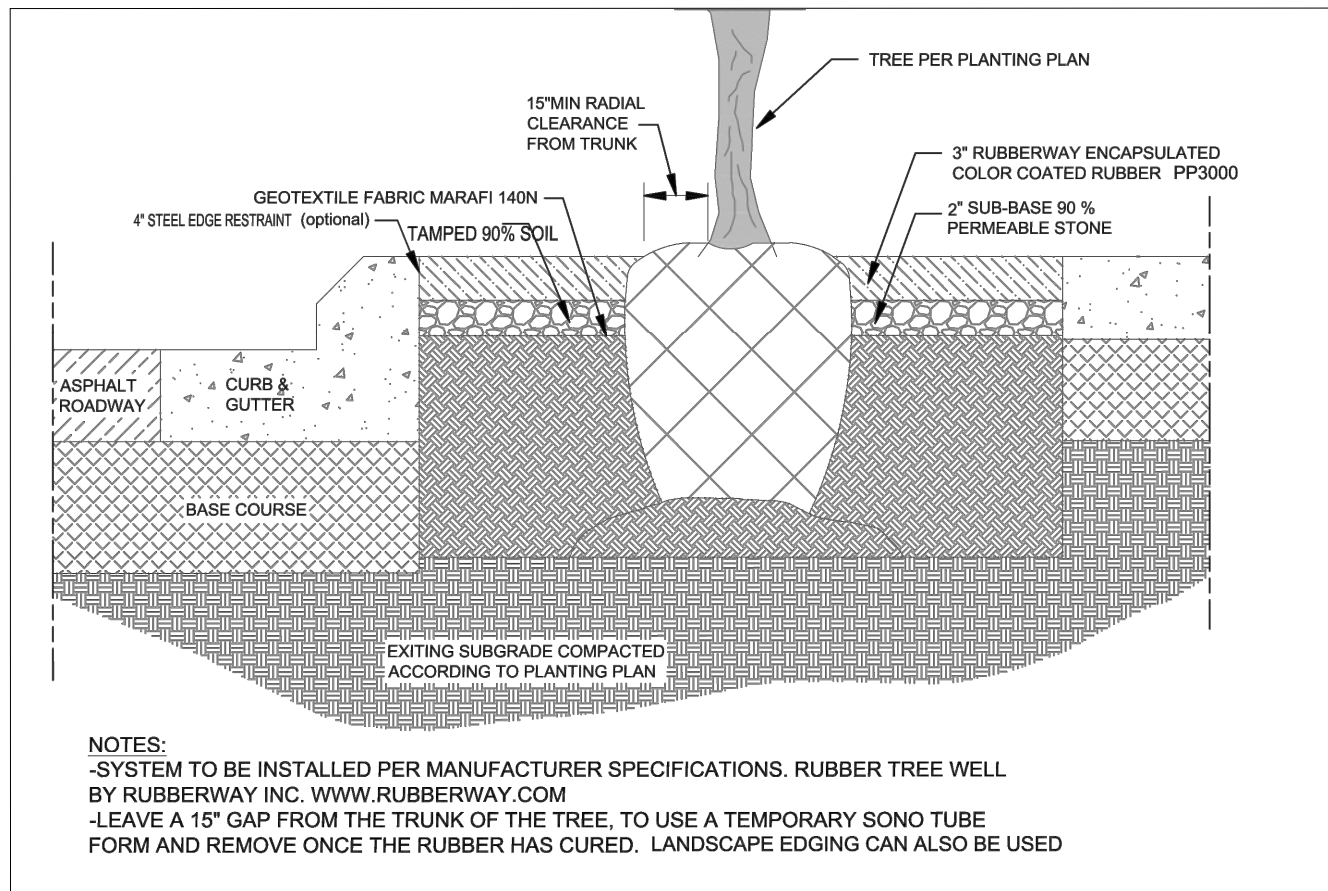
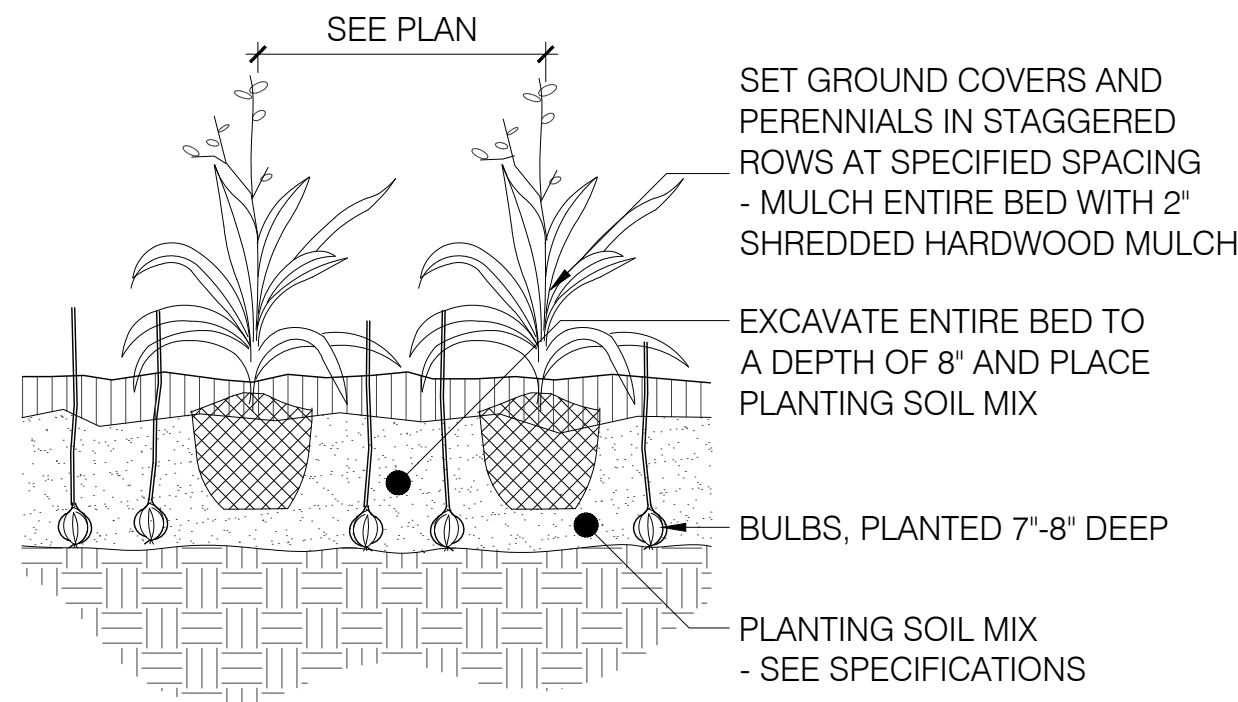
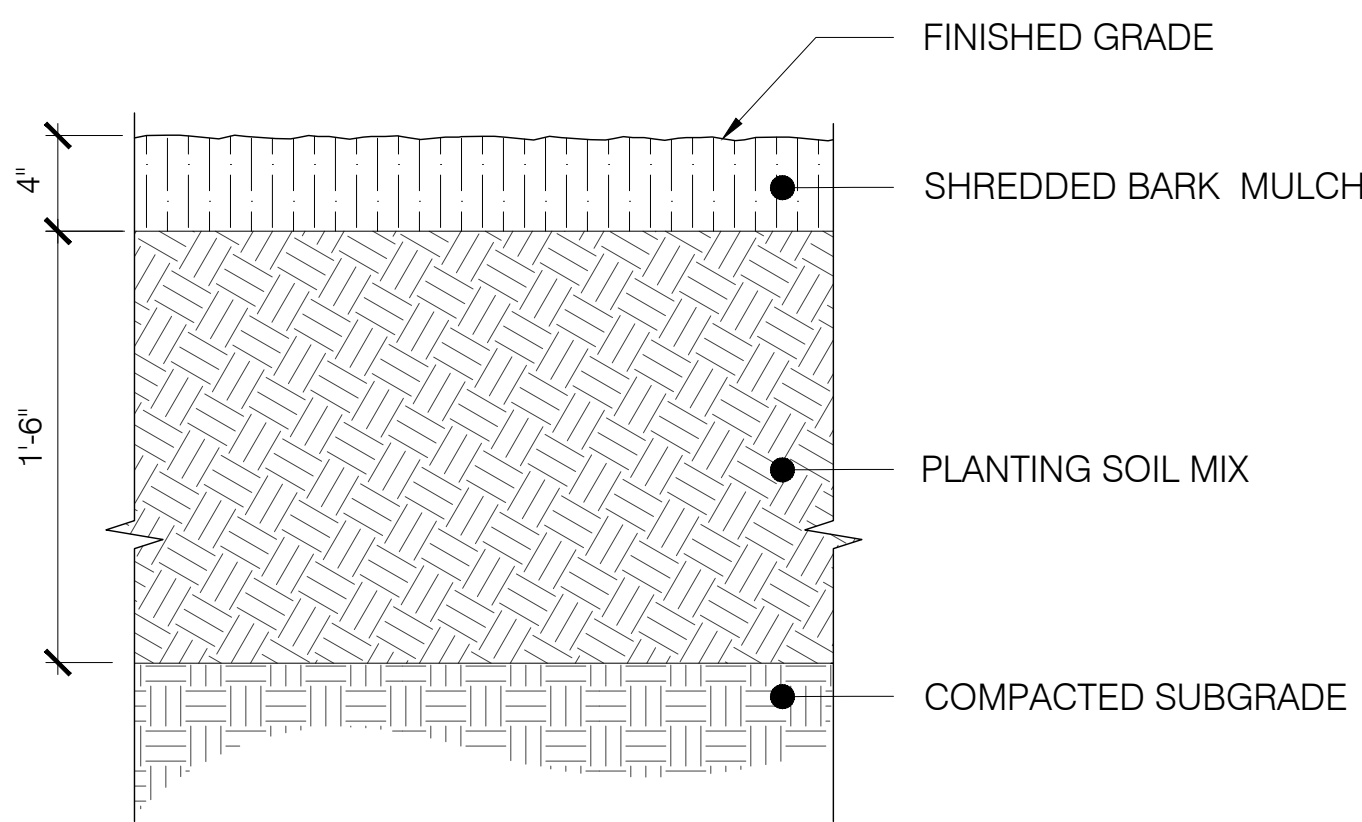
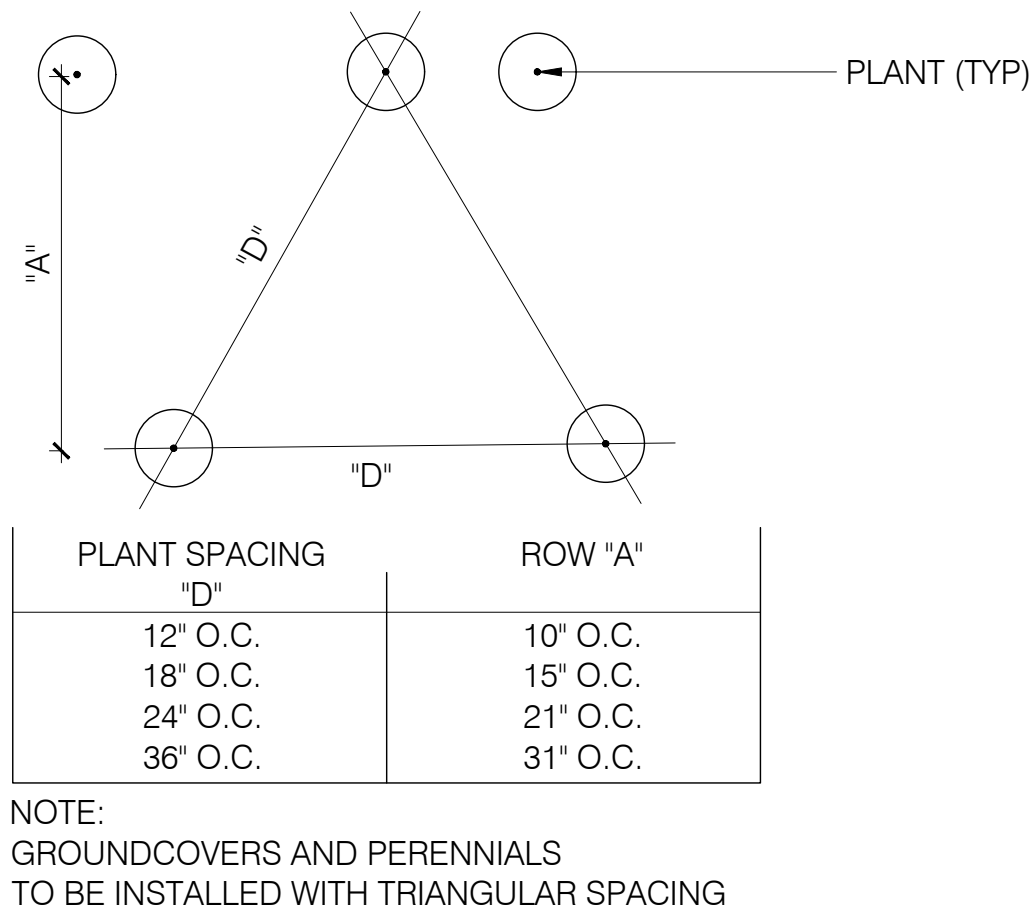
CONSTRUCTION DETAILS

Drawn By:	VH	L-503
Checked By:	DL	
Date:	07/07/2020	
Scale:	AS NOTED	
Project Number:	02-2020-130	Sheet:
		10 of 11

PRELIMINARY AND FINAL SITE
PLAN SUBMISSION

Client:
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- NOTES:
1. RUBBER TREE WELL SYSTEM SHALL BE PROVIDED BY RUBBERWAY OR APPROVED EQUAL.
 2. TYPE: SINGLE LAYER PREMIUM RUBBER SHRED TREE WELL
 3. COLOR: MAHOGONY
 4. SEE PRODUCT SHEETS PROVIDED FOR MORE INFORMATION

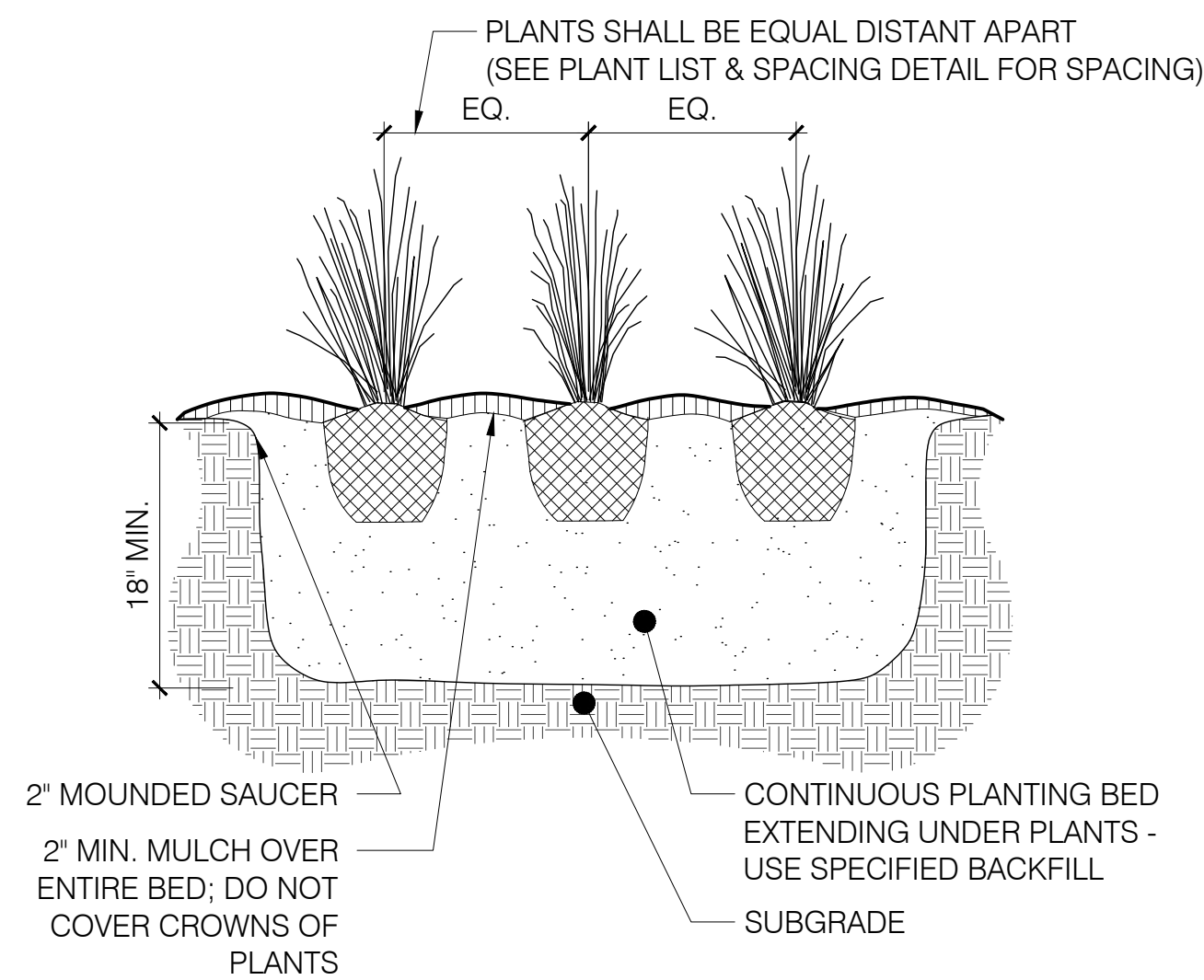
1 PLANT SPACING
SCALE: 3/4" = 1'-0"

2 LANDSCAPE BED
SCALE: 1 1/2" = 1'-0"

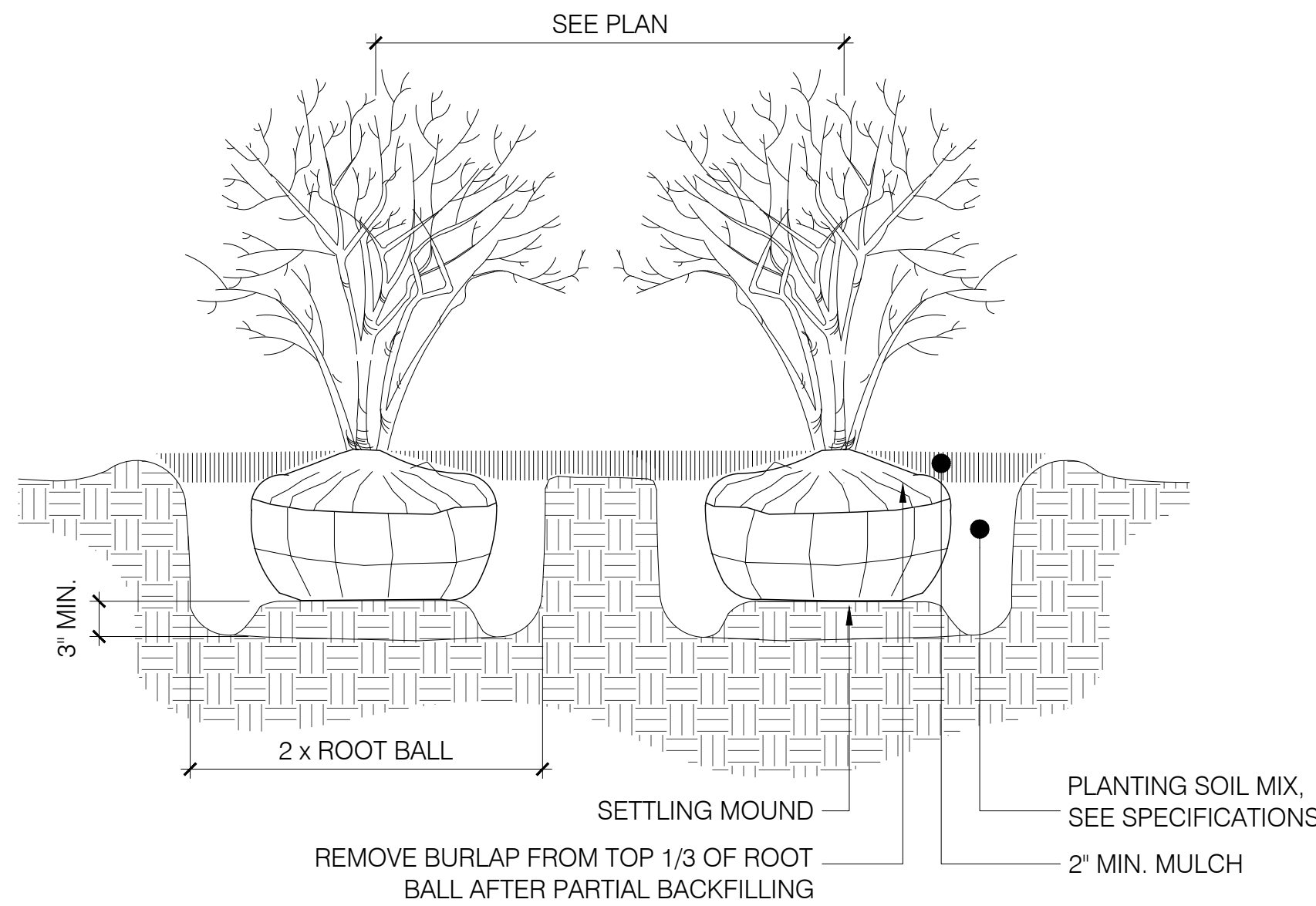
3 GROUNDCOVER PLANTING
SCALE: 1" = 1'-0"

4 BONDED RUBBER TREE WELL
SCALE: N.T.S.

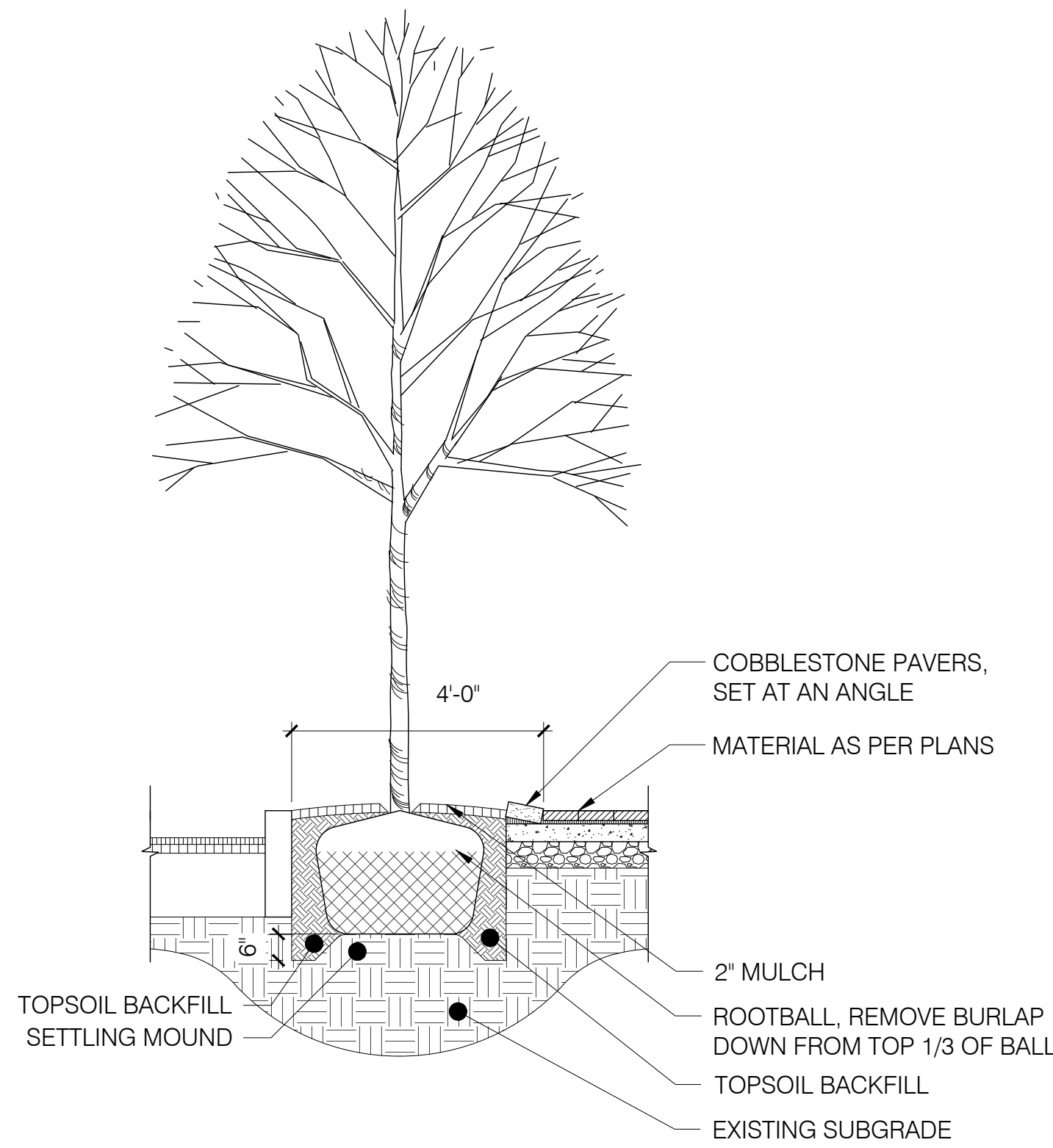
NOT FOR CONSTRUCTION



5 GRASS/PERENNIAL PLANTING
SCALE: 1" = 1'-0"



6 SHRUB PLANTING
SCALE: 1" = 1'-0"



7 STREET TREE
SCALE: 3/8" = 1'-0"

DL
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New Jersey Licensed Landscape Architect
NJ LLAP # AS00851

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