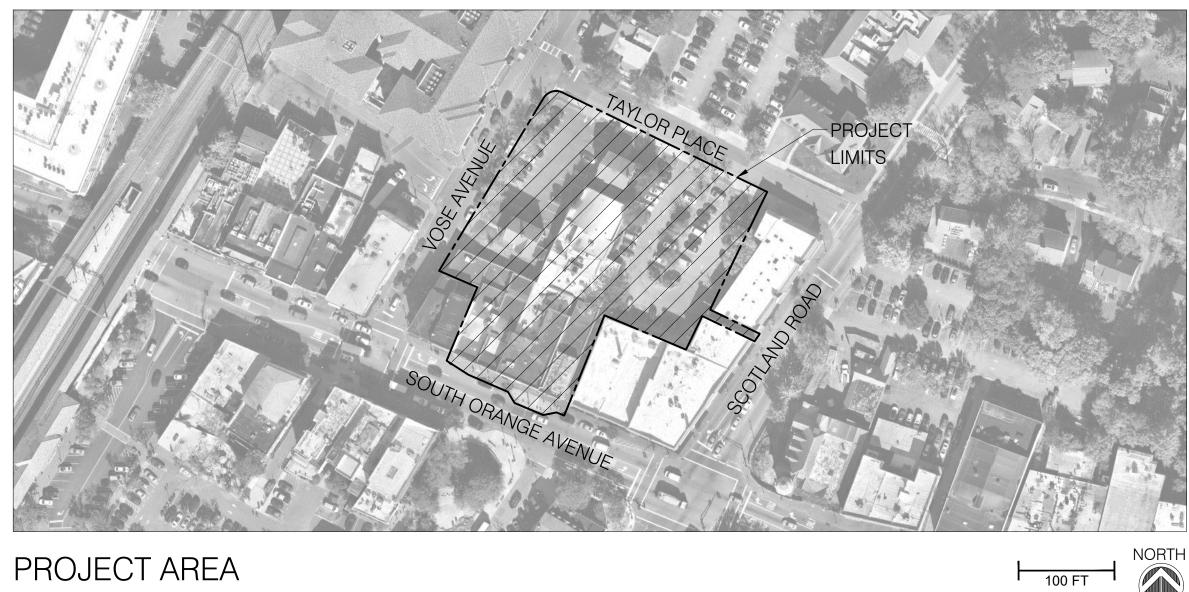
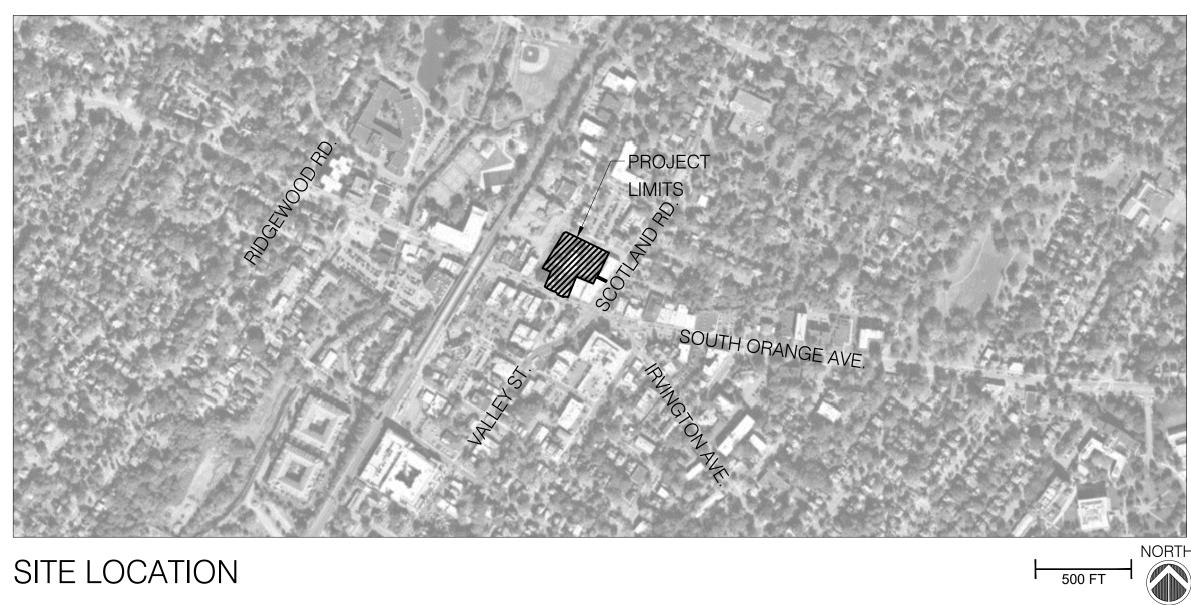
PRELIMINARY AND FINAL SITE PLAN FOR: TAYLOR & VOSE DEVELOPMENT

Block: 1006, Lots: 1,2,3,9,10,11,13,14 Village of South Orange. Essex County. New Jersey July 7, 2020





* THE CONTRACTOR SHALL CONTACT NJ ONE CALL AT 1-800-272-1000 PRIOR TO THE START OF CONSTRUCTION. ALL EXISTING UTILITIES SHALL BE MARKED OUT BY THE RESPECTIVE UTILITY COMPANIES PRIOR TO ANY EXCAVATION WORK.

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| STREETSCAPE LIGHTING PLA |
| SECOND FLOOR COURTYARE |
| FIFTH FLOOR ROOF TERRACE |
| CONSTRUCTION DETAILS |
| |



Landscape Architect:



507 Bloomfield Avenue, 2nd Floor Montclair, New Jersey 07042 USA www.ArterialStreets.com Tel / Fax 973 320 9123 info@arterialstreets.com

PREPARED FOR:

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TAYLOR & VOSE DEVELOPMENT South Orange, NJ

PRELIMINARY AND FINAL SITE PLAN SUBMISSION Client:

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Landscape Architect



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Issue

No. Date 08/06/2020

Updated Preliminary & Final Site Plan Set 08/21/2020 Updated Preliminary & Final Site Plan Set 09/11/2020 Updated Preliminary & Final Site Plan Set

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AN RD PLAN CE PLAN

GENERAL NOTES

- 1. THE INFORMATION SHOWN CONCERNING THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
- 2. THE CONTRACTOR SHALL CONTACT NJ ONE CALL AT 1-800-272-1000 PRIOR TO THE START OF CONSTRUCTION. ALL EXISTING UTILITIES SHALL BE MARKED OUT BY THE RESPECTIVE UTILITY COMPANIES PRIOR TO ANY EXCAVATION WORK.
- 3. ANY DAMAGE TO UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL COST FOR REPAIRS SHALL BE BORNE BY THE CONTRACTOR.
- ALL CONSTRUCTION SHOWN HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE, SHALL BE IN ACCORDANCE WITH THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2007 AS AMENDED.
- 5. ALL PROPERTY CORNERS OR MONUMENTS REMOVED DURING CONSTRUCTION SHALL BE REPLACED BY A NEW JERSEY LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF THE EXCESS MATERIALS EXCAVATED OF WHATEVER NATURE AT THEIR OWN EXPENSE. THE OWNER IS NOT OBLIGATED TO SUPPLY A DISPOSAL SITE.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING OF STORAGE AND STAGING AREAS AT NO ADDITIONAL COST TO THE OWNER.
- 8. APPROPRIATE CONSTRUCTION SIGNING SHALL BE INSTALLED FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. SIGNAGE SHALL BE MAINTAINED DURING CONSTRUCTION AND SHALL BE BAGGED DURING PERIODS OF INACTIVITY.
- 9. ALL UTILITY STRUCTURES (UTILITY BOXES, OIL FILL CAPS, WATER VALVES, GAS VALVES, BILLCO DOORS, ELECTRICAL VAULTS AND ANY OTHER APPURTENANCES) WITHIN THE PROPOSED SIDEWALK RECONSTRUCTION SHALL BE RESET TO CONFORM TO THE PROPOSED FINISHED GRADE.
- 10. CONTRACTOR IS RESPONSIBLE FOR SURVEYING AND STAKING THE PROPOSED CENTERLINE STATIONING AND ALL PROPOSED ELEMENTS AT NO ADDITIONAL COST TO THE OWNER. THE COST FOR THIS SHOULD BE BUILT INTO THE RELATED ITEMS.
- 11. CONTRACTOR'S FIELD STAKEOUT SURVEYOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND NOTING ANY DISCREPANCIES BETWEEN SITE FIELD CONDITIONS AND STAKING PLAN PRIOR TO CONSTRUCTION. SHOULD ANY DISCREPANCIES EXIST, CONTRACTOR'S SURVEYOR SHALL NOTIFY OWNER IN WRITING PRIOR TO COMMENCEMENT OF WORK. TOWNSHIP AND CONSULTANT TEAM ASSUME NO RESPONSIBILITY FOR WORK PERFORMED PRIOR TO FIELD VERIFICATION OF STAKING PLAN.
- 12. THIS PLAN IS A REPRESENTATION OF DESIGN INTENT ONLY AND AS SUCH DENOTES VERTICAL AND HORIZONTAL RELATIONSHIPS, MATERIALS AND FINISHES. CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT SHOP DRAWINGS INDICATING STRUCTURAL DESIGN, AS WELL AS PLANS AND ELEVATIONS, APPROPRIATE TO ENSURE DESIGN INTENT IS MET.
- 13. CONTRACTOR SHALL TAKE CARE TO PROTECT FROM CONSTRUCTION ALL EXISTING TREES, STRUCTURES UNDER/ABOVE GROUND SURFACE THAT ARE TO REMAIN. ANY DAMAGE DONE TO THESE DURING CONSTRUCTION MUST BE REPLACED AT CONTRACTOR'S OWN COST WITHIN THE CONSTRUCTION PERIOD.
- 14. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY FOR CONSTRUCTION FROM THE APPROPRIATE LOCAL, STATE AND FEDERAL AGENCIES.
- 15. CONTRACTOR SHALL LEAVE THE SITE EACH DAY IN AN ORDERLY FASHION AND SHOULD REMOVE ALL LITTER, REFUSE, DEBRIS AND HAZARDOUS MATERIALS FROM THE SITE DAILY, IN COMPLIANCE WITH APPROPRIATE LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR SHALL TAKE MEASURES TO LIMIT THE AMOUNT OF SOIL LEAVING THE SITE ON EQUIPMENT. ANY DEBRIS ON ROAD SURFACES OR SIDEWALK SHOULD BE CLEANED DAILY.
- 16. IF APPLICABLE, THE CONTRACTOR MUST PROVIDE A PORTABLE RESTROOM UNIT FOR THE DURATION OF THE PROJECT IN A LOCATION APPROVED BY THE OWNER.
- 17. CONTRACTOR SHALL BE REQUIRED TO SAFELY SECURE THE SITE THROUGHOUT THE DURATION OF CONSTRUCTION AND FINAL APPROVAL. ALL COSTS ASSOCIATED WITH SECURING THE SITE, INCLUDING TEMPORARY FENCING, SHALL BE INCLUDED IN THE VARIOUS ITEMS ABOVE. ANY DAMAGE OF VANDALISM (SUCH AS FOOTSTEPS/HAND PRINTS IN SIDEWALK, BROKEN AND DAMAGED FURNITURE, ETC.) THAT OCCURS DURING THE CONSTRUCTION PERIOD WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND CONSIDERED DUE TO LACK OF SECURED SITE. ALL COSTS ASSOCIATED WITH WORK TO REMEDY THE DAMAGE SHALL BE BORNE BY THE CONTRACTOR.
- 18. ALL DISTURBED SHRUBS, FENCING, SIGNS, MAIL BOXES, DRIVES, ETC. SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS RESTORATION, UNLESS SPECIFIED ELSEWHERE.
- 19. ALL STREET LIGHTS AND LIGHT BOLLARDS SHALL TIE INTO TOWNSHIP STREET LIGHT METER.

MATERIALS & LAYOUT NOTES

- 1. ALL CONSTRUCTION SHOWN HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE, SHALL BE IN ACCORDANCE WITH THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2007 AS AMENDED.
- CONTRACTOR SHALL LAYOUT AND STAKE IN THE FIELD THE ALIGNMENT OF ALL CURBS, PAVEMENTS AND OTHER IMPROVEMENTS FOR REVIEW BY THE OWNER. CONTRACTOR MAY NOT PROCEED WITH CONSTRUCTION OF IMPROVEMENTS UNTIL FINAL APPROVAL OF THE LAYOUT IS GRANTED BY THE OWNER.
- 3. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, BOTH ABOVE AND BELOW THE SURFACE. ANY DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER IN WRITING, PRIOR TO COMMENCING WORK. DO NOT WILLFULLY PROCEED WITH WORK IF ANY DISCREPANCIES ARE DISCOVERED, OTHERWISE. ALL COSTS ASSOCIATED WITH THIS WORK SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES OR STRUCTURES.
- 5. NO CHANGES SHALL BE MADE TO THE DESIGN OR LAYOUT WITHOUT THE WRITTEN APPROVAL OF THE OWNER. LAYOUT THE WORK AS DIMENSIONED OR STATIONED ON THE PLANS. WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE DISTANCES.
- 6. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
 - 6.1 ALL CURB RAMPS SHALL BE ADA COMPLIANT.
 - 6.2 SPECIAL CARE SHOULD BE TAKEN TO ENSURE THAT CURB RAMPS ARE NOT LOCATED AT LOW POINTS. PAVEMENT AT THE BASE OF THE CURB RAMP SHALL BE SLOPED HORIZONTALLY AT 1% MINIMUM AWAY FROM THE CURB RAMP AND TOWARDS INLETS. THIS IS TO ENSURE THAT PUDDLING IS AVOIDED AT CURB RAMPS.
 - 6.3 CURB RAMPS AND SIDEWALKS THAT ARE NOT CONSTRUCTED IN COMPLIANCE WITH ADA ACCESSIBILITY REQUIREMENTS INCLUDING MAXIMUM RUNNING SLOPES, MAXIMUM CROSS SLOPES, LANDING AREA LOCATION AND SIZE, DIVERGING SIDEWALK DROP OFF PROTECTION, BLENDED TRANSITIONS, BLENDED TRANSITION RUNNING SLOPES AND CROSS SLOPES, FLARE WIDTHS, GRADE BREAKS AND GRADE BREAK DIRECTIONS, CLEAR SPACE SIZE AND LOCATION, WILL NOT BE ACCEPTED.
 - 6.4 BIDS THAT TAKE ADVANTAGE OF ANY ERRORS AND/OR OMISSIONS IN THE CONTRACT DRAWINGS OR DISCREPANCIES WITH THE SPECIAL PROVISIONS WILL NOT BE ACCEPTED. IN THE EVENT ANY SUCH ERROR, OMISSION, OR DISCREPANCIES ARE DISCOVERED, IMMEDIATELY NOTIFY THE ENGINEER. FAILURE TO NOTIFY THE ENGINEER WILL CONSTITUTE A WAIVER OF ALL CLAIMS FOR MISUNDERSTANDINGS, AMBIGUITIES, OR OTHER SITUATIONS RESULTING FROM THE ERROR, OMISSION, OR DISCREPANCY.
 - 6.5 ALL MINIMUM AND MAXIMUM DIMENSIONS CONTAINED IN THE CONTRACT DRAWINGS ARE ABSOLUTE. ACCEPTANCE WILL NOT BE ISSUED IF ANY NEWLY CONSTRUCTED RAMP DOES NOT COMPLY WITH THE APPROVED DRAWINGS. CONSTRUCTION STANDARDS AND SPECIFICATIONS.
 - 6.6 ALTERATIONS TO EXISTING FACILITIES MUST MEET THE ADA REQUIREMENTS TO THE MAXIMUM EXTENT FEASIBLE. FOR ALTERATIONS WHERE IT IS TECHNICALLY INFEASIBLE TO MEET THE ADA REQUIREMENTS, A TECHNICALLY INFEASIBLE DOCUMENT MUST BE SUBMITTED TO THE TOWNSHIP TO DOCUMENT THAT ACCESS HAS BEEN PROVIDED TO THE MAXIMUM EXTENT FEASIBLE. DO NOT BEGIN CONSTRUCTION OF THE CURB RAMP OR DRIVEWAY CROSSING UNTIL APPROVAL OF TECHNICAL INFEASIBLE DOCUMENT IS OBTAINED FROM THE OWNER.
- 7. ALL SITE FURNITURE LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 8. ALL SIDEWALKS SHALL HAVE A RUNNING SLOPE OF NO GREATER THAN 5% AND A CROSS SLOPE NO GREATER THAN 2% (PER ADAAG) UNLESS NOTED OTHERWISE ON GRADING PLAN.
- 9. ALL NEW CURBS AND PAVEMENTS SHALL MEET EXISTING CURBS & PAVEMENTS SMOOTH AND FLUSH.
- 10. NEW CURBS, WALLS, AND PAVEMENTS SHALL BE BUILT TO A SMOOTH EVEN FINISH WITH A CONSISTENT TOP AND PROFILE WITHOUT WAVES OR IRREGULARITIES. ANY WORK NOT MEETING THIS QUALITY STANDARD SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 11. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN OBSTRUCTIONS AND /OR GRADE DIFFERENCES EXISTS THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. DO NOT PROCEED WITH CONSTRUCTION AND ORDERING MATERIALS WHEN INFORMATION IS INCOMPLETE OR OTHER DISCREPANCIES MAY EXIST. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE TOWNSHIP OF SUCH CONDITIONS. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- 12. CONTRACTOR IS RESPONSIBLE FOR POWER AND WATER NEEDED DURING CONSTRUCTION.

PLANTING NOTES

- 1. DO NOT WILLFULLY PROCEED WITH PLANTING OPERATIONS AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- 2. ALL TREES SHALL BE TAGGED BY THE LANDSCAPE ARCHITECT AT A NURSERY SELECTED BY THE CONTRACTOR
- 3. IF CONFLICTS ARISE BETWEEN THE ACTUAL SIZE OF PLANTING AREAS ON THE SITE AND THE DRAWINGS, CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- 4. GROUNDCOVERS AND SHRUBS ARE TO BE TRIANGULARLY SPACED UNLESS OTHERWISE INDICATED ON THE DRAWINGS
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANT MATERIAL FREE OF PESTS OR PLANT DISEASES. PRE-SELECTED OR "LANDSCAPE ARCHITECT -TAGGED" PLANT MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S OBLIGATION TO WARRANTY ALL PLANT MATERIAL PER THE SPECIFICATIONS.
- 6. THE ACTUAL LOCATION OF PLANT MATERIAL MAY VARY DUE TO FIELD CONDITIONS. FINAL PLACEMENT OF PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PITS ARE DUG. NO PLANTS SHALL BE PUT INTO GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE OWNER.
- 7. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY OR MORE OFTEN DURING THE FIRST GROWING SEASON. THE CONTRACTOR SHALL REFER TO CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 8. ANY PLANT DEEMED NOT AVAILABLE BY THE CONTRACTOR SHALL BE NOTED IN THE BID AS A CONDITION OF BID. FAILURE TO QUALIFY AVAILABILITY OF SPECIFIED MATERIAL SHALL MAKE THE CONTRACTOR RESPONSIBLE FOR SUPPLYING ALL MATERIALS AS SPECIFIED.

PROPOSED ELEMENTS

LEGEND

| | CONCRETE SIDEWALK |
|--|---------------------------------|
| | BRICK PAVERS |
| | DECORATIVE PAVERS - |
| | DECORATIVE PAVERS - |
| | BENCH |
| 0 | TRASH RECEPTACLE |
| _ | BIKE RACK |
| D | BOLLARD |
| • | LIGHT BOLLARD |
| Ø | STREET LIGHT |
| + | TREE |
| \odot | ORNAMENTAL TREE |
| $\begin{array}{cccccccccccccccccccccccccccccccccccc$ | GROUNDCOVERS/ GRA PERENNIALS |
| | LAWN |
| | |

EXISTING ELEMENTS

TYPE 1 TYPE 2

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U.G. GAS

| UTILITY VALVE |
|------------------------|
| GAS METER |
| SIGN |
| INLET |
| EXISTING TREE |
| PARKING METER |
| TRAFFIC SIGNAL |
| MANHOLE (M.H.) |
| MONITORING WELL |
| FENCE |
| PROPERTY LINE/ROW LINE |
| U.G. STORM |
| U.G. SANITARY |
| U.G. WATER |

ABBREVIATIONS

| — — E — | | U.C | G. ELECTRIC |
|---|--|--|-------------------------|
| <u> </u> | - | U.C | G. FIBER OPTIC |
| | _ | U.C | G. UNKNOWN |
| OH | | OV | ERHEAD WIRES |
| | | UTI | ILITY POLE |
| | ≺ | UTI | ILITY POLE GUY WIRE |
| | • | UTI | ILITY POLE WITH LIGHT |
| ₩ | | LIG | ίΗT |
| TC BC TDC NO N.T.S. DET. MAX. TEMP. TYP. REF. EQ. DIA. DWG. TW BW H.P. L.P. CL LA F.O.C. P.T. P.C. L R C.W. S.W. P.W. B.W. E.O.P. L.S.A. | BOT TOP NUM NOT DET, MAX TEM TYPI REFI EQU DIAM DRA TOP BOT HIGH LOW CEN LAN FAC POIN FAC POIN SLA ² PAVI BRIC EDG | IMUM PORARY CAL ERENCE IAL METER WING OF WALI TOM OF V POINT I POINT I POINT I POINT I TERLINE DSCAPE I OF CUF I OF TAI I OF CU I OF STA | CURB P CURB _ |

TAYLOR & VOSE DEVELOPMENT South Orange, NJ

PRELIMINARY AND FINAL SITE PLAN SUBMISSION

Client: VOSE AVE. APTS. URBAN RENEWAL, L.L.C. 447 Northfield Avenue, Suite 200 West Orange, NJ 07052 Tel 973 731 2791

Landscape Architect



507 Bloomfield Ave., 2nd Floor Montclair, New Jersey 07042 USA COFA #MH000044

www.arterialstreets.com Tel / Fax 973 320 9123 info@arterialstreets.com

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David I. Lustberg New Jersey Licensed Landscape Architect NJ LLA# AS00851

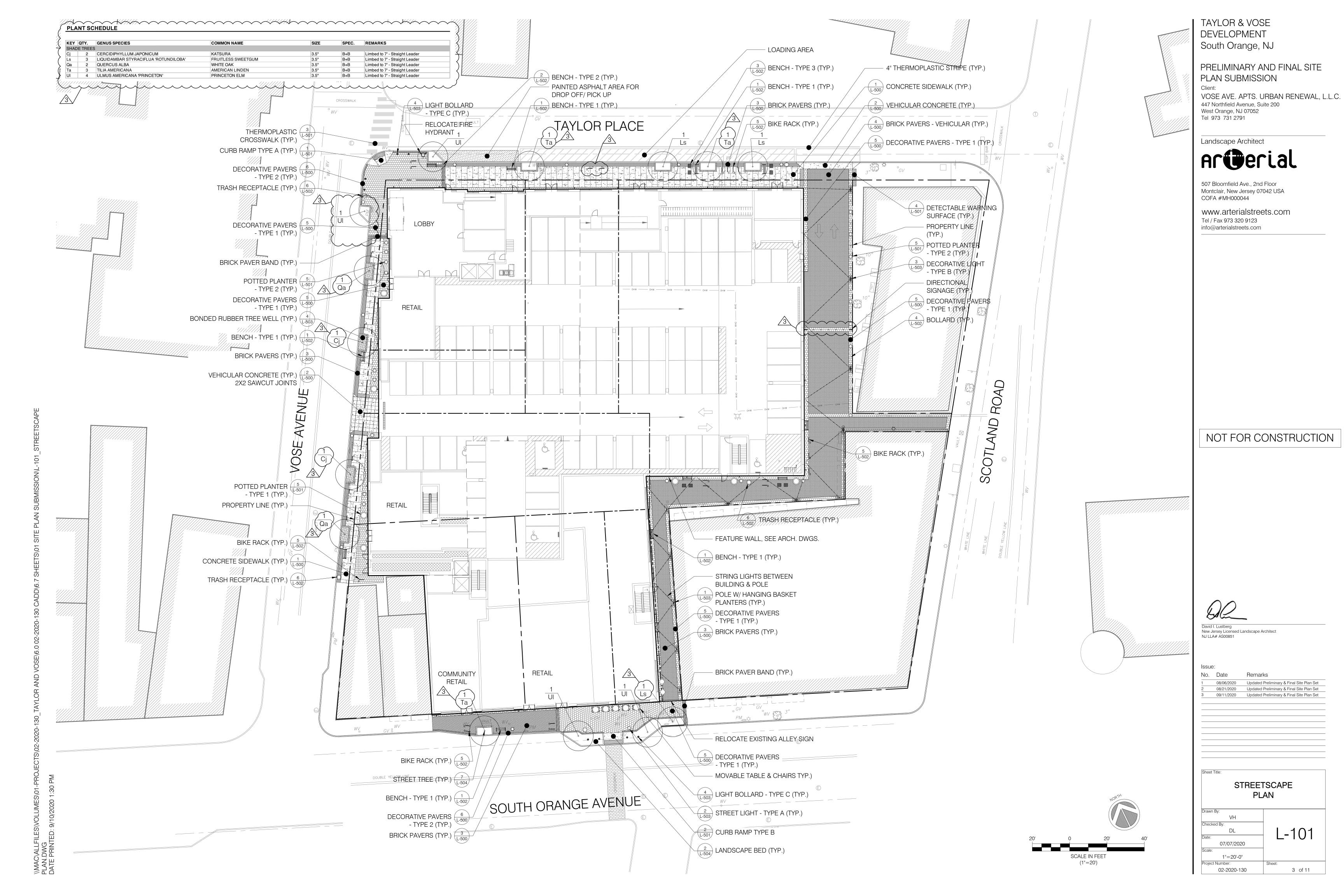
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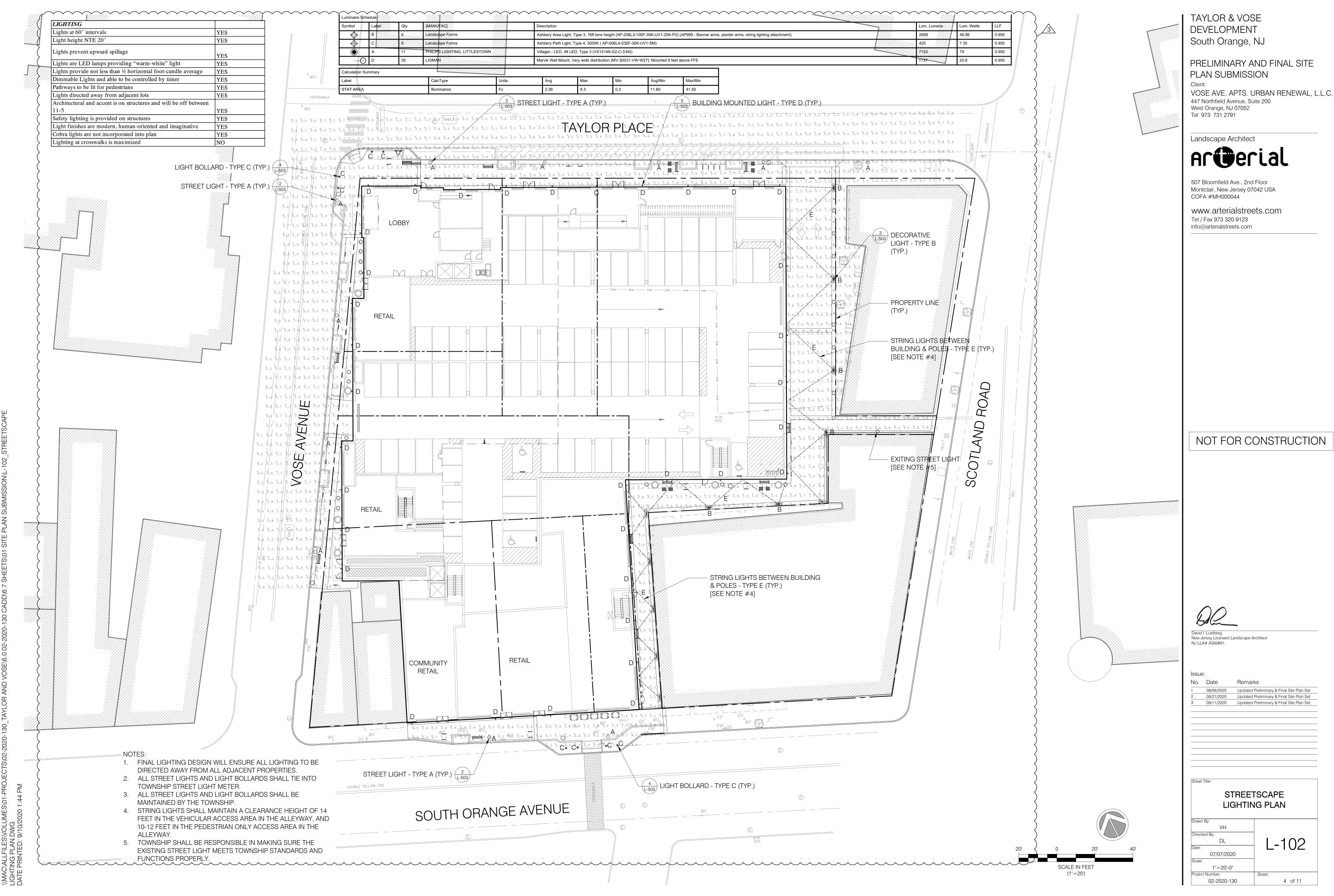
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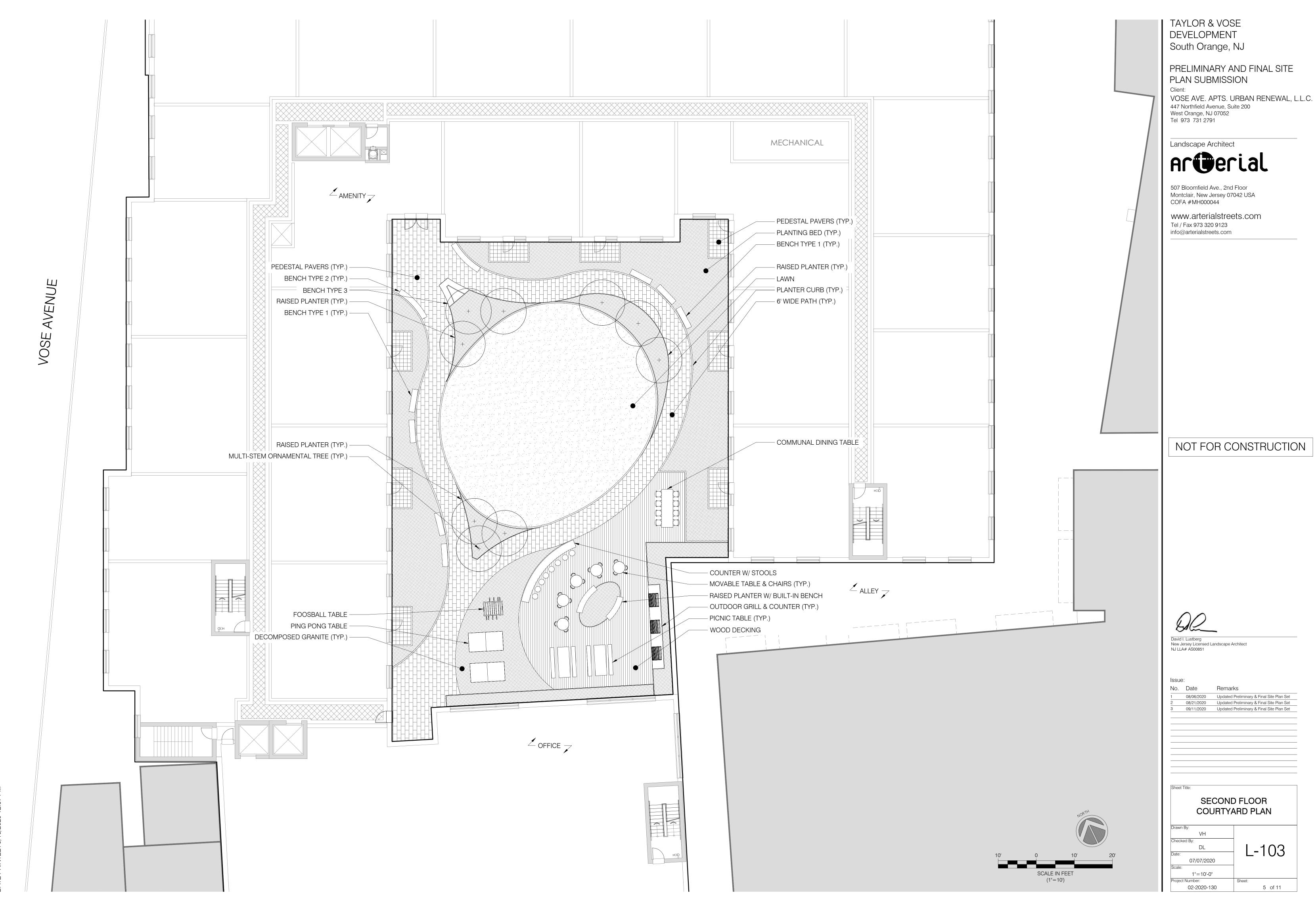
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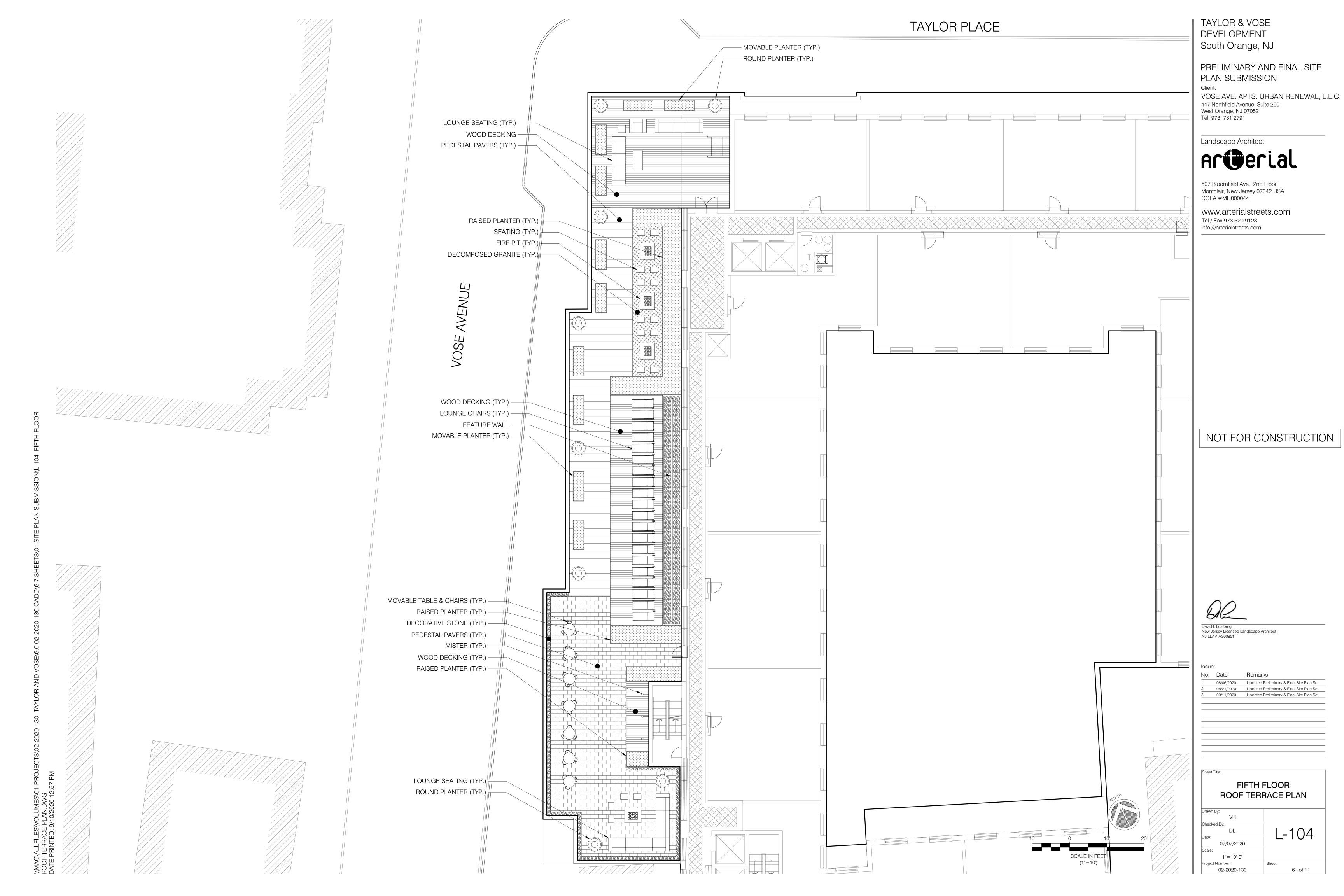
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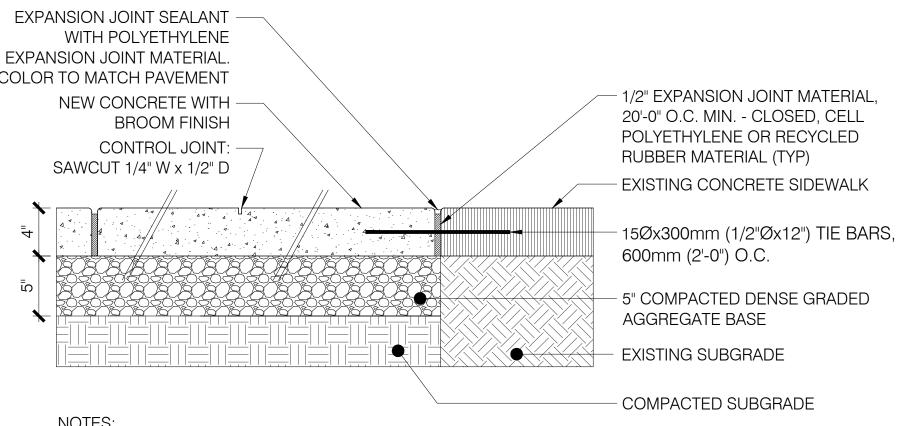


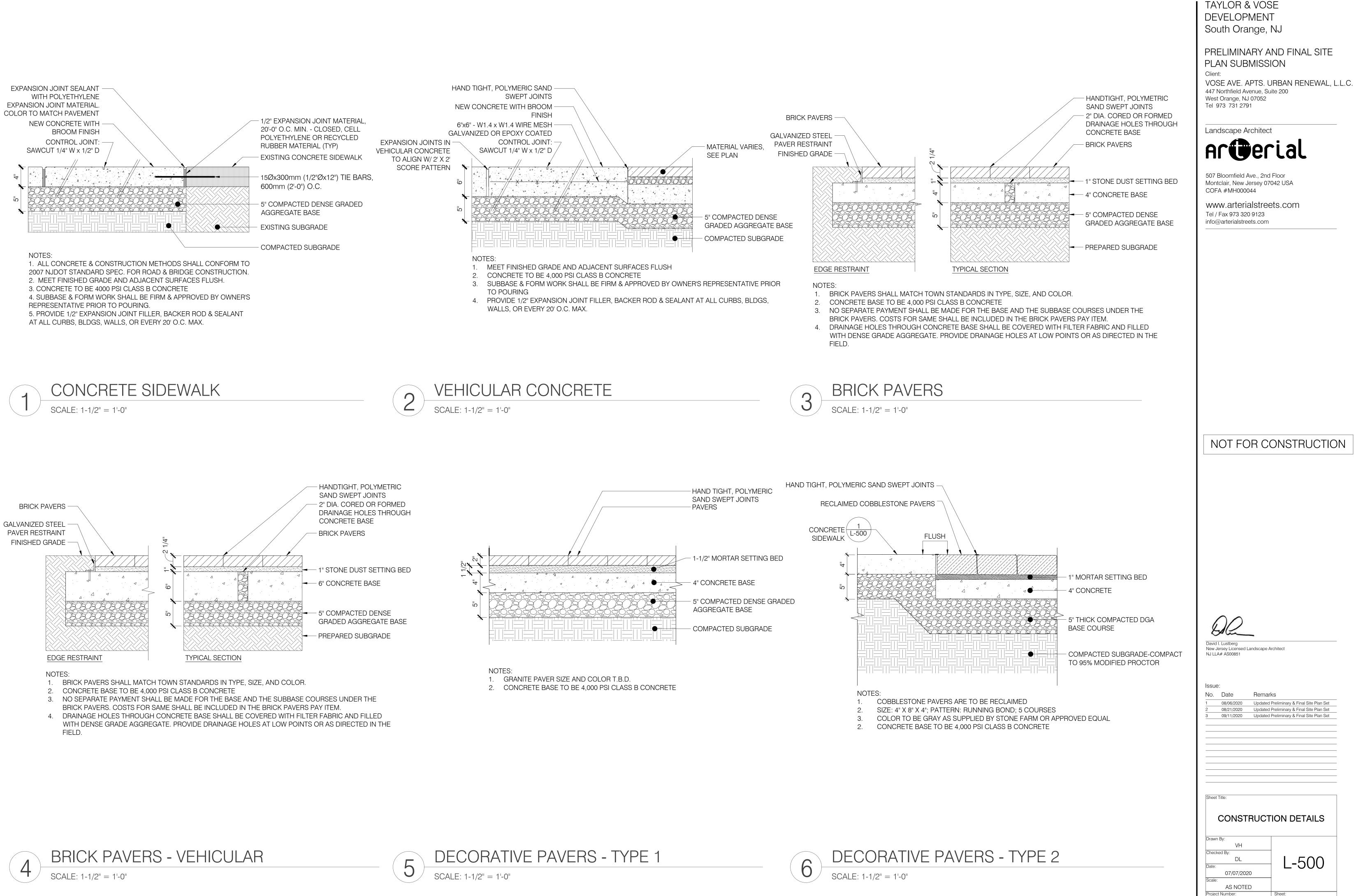


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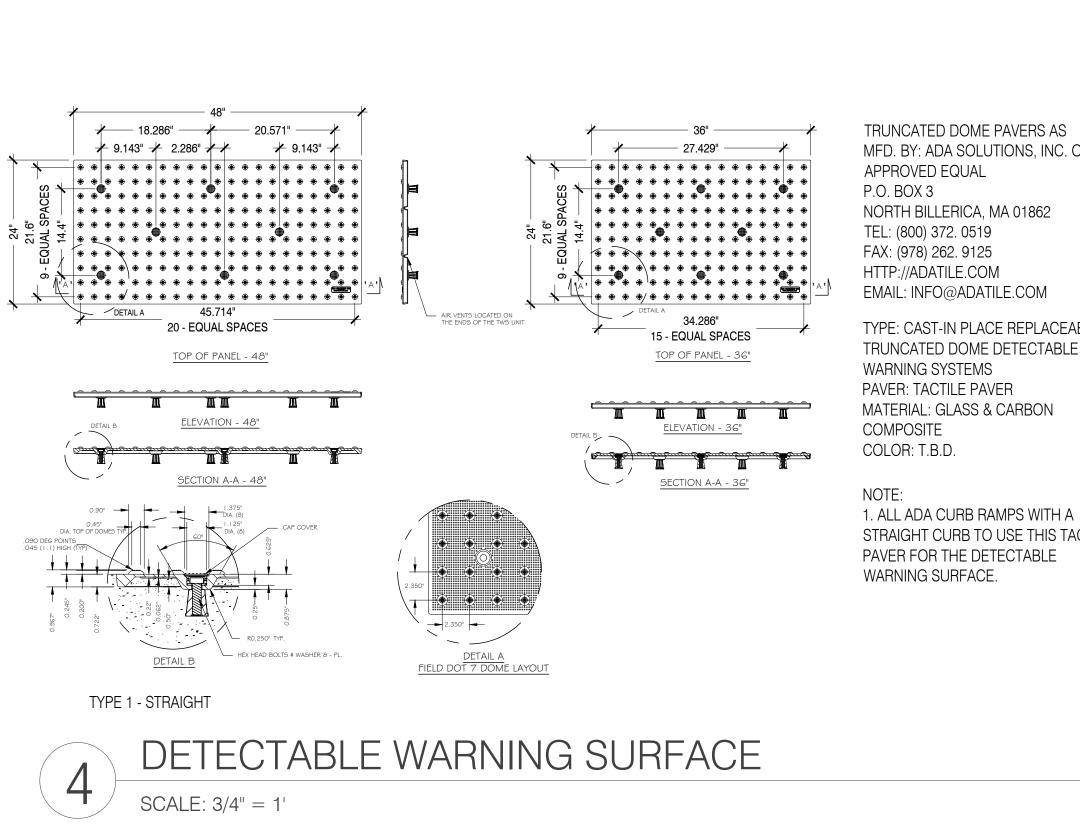




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APPROVED EQUAL P.O. BOX 3 NORTH BILLERICA, MA 01862 TEL: (800) 372. 0519 FAX: (978) 262. 9125 HTTP://ADATILE.COM EMAIL: INFO@ADATILE.COM

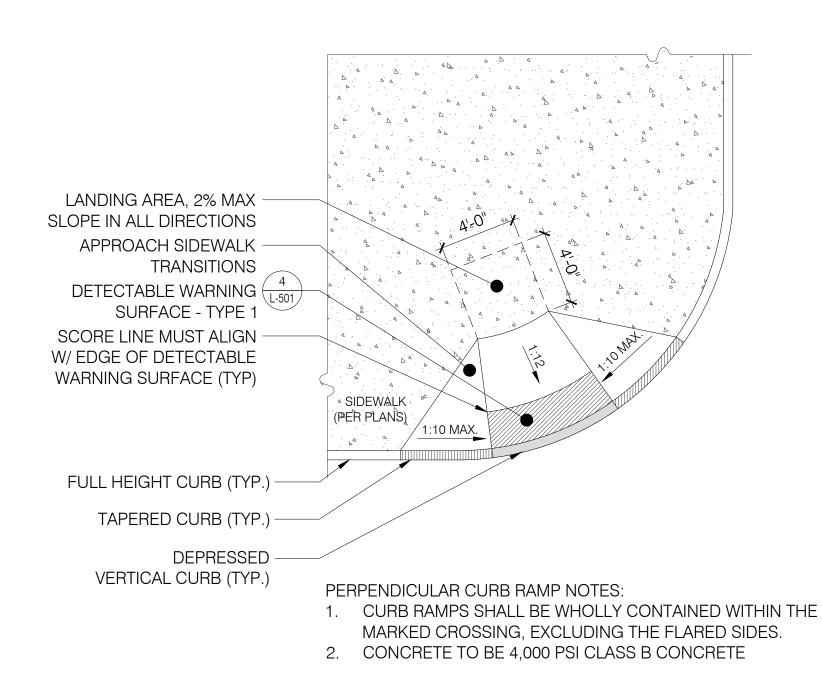
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WARNING SURFACE.

NOTE:

TRUNCATED DOME PAVERS AS MFD. BY: ADA SOLUTIONS, INC. OR

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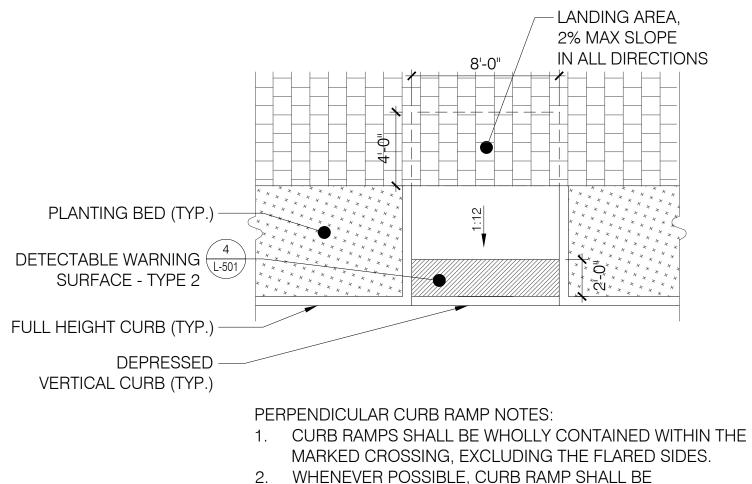


CURB RAMP TYPE A

SCALE: 3/16" = 1'-0"

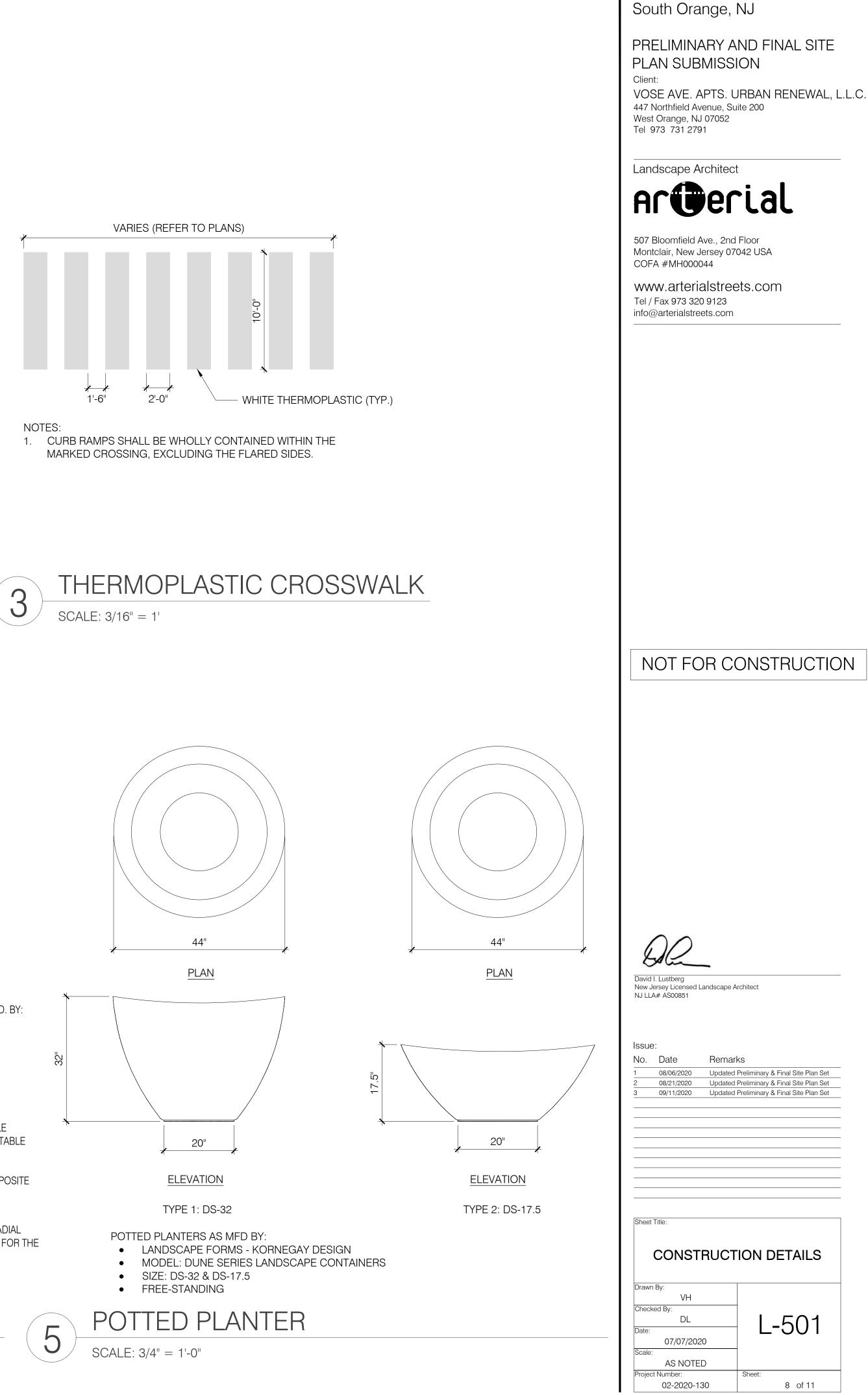
SURFACE - TYPE 2

PLANTING BED (TYP.)



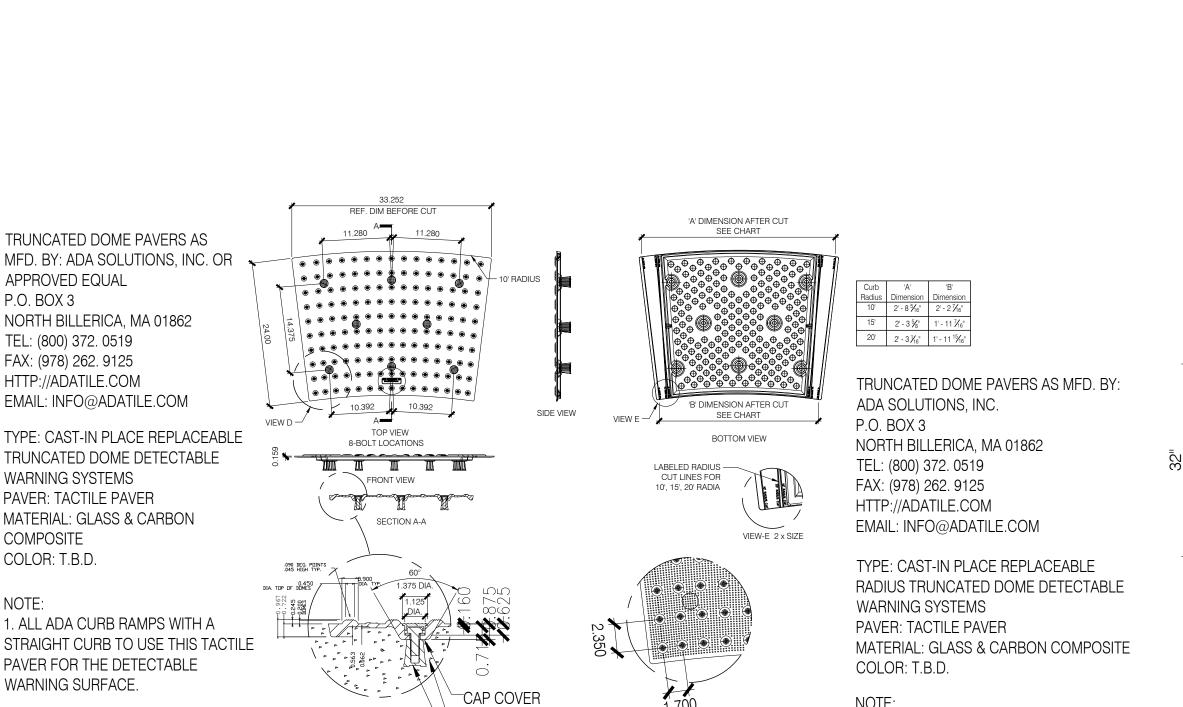


2. CONCRETE TO BE 4,000 PSI CLASS B CONCRETE









TYPE 2 - RADIAL

VIEW - B 3 X SIZE

-R0.250 TYP.

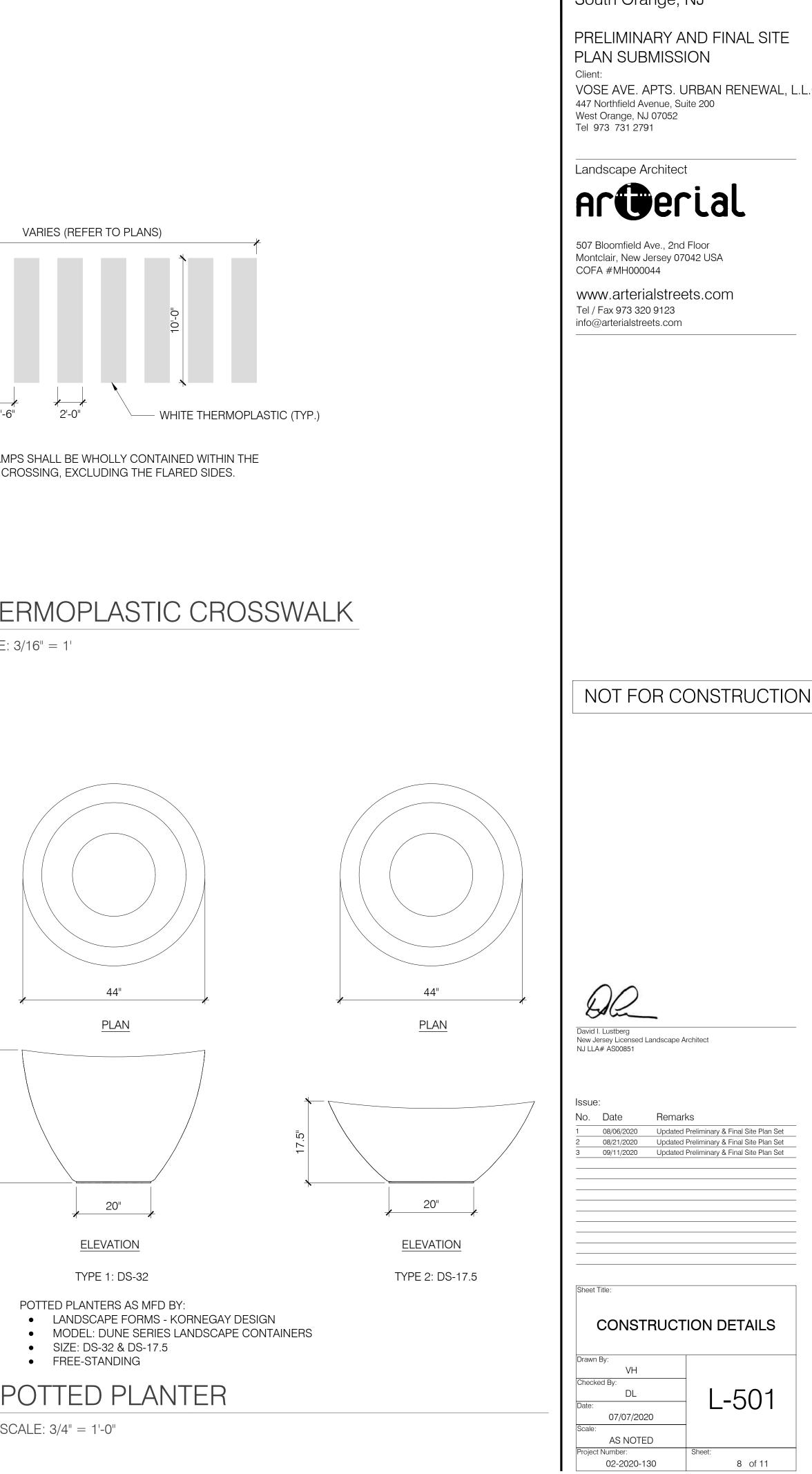
WASHER 8-PL.

1,700 VIEW - "D" 2 X SIZE -HEX HEAD BOLTS & FIELD DOT 13 ON DOME LAYOUT

NOTE:

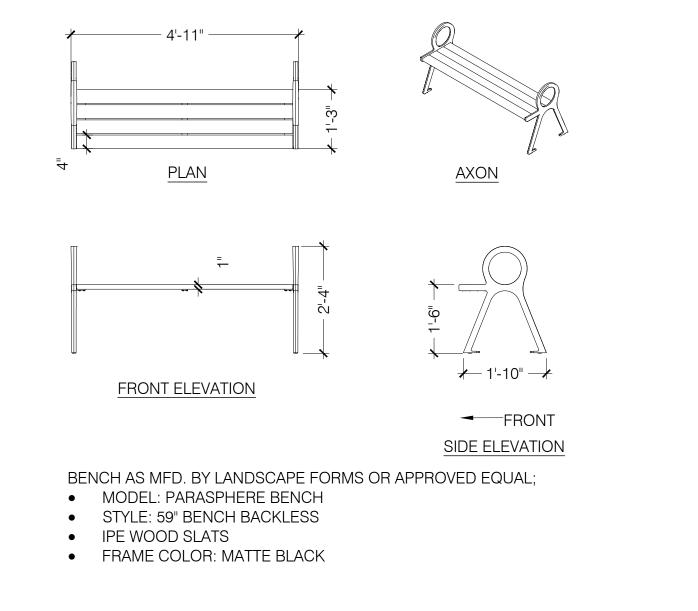
1. ALL ADA CURB RAMPS WITH A RADIAL CURB TO USE THIS TACTILE PAVER FOR THE DETECTABLE WARNING SURFACE.





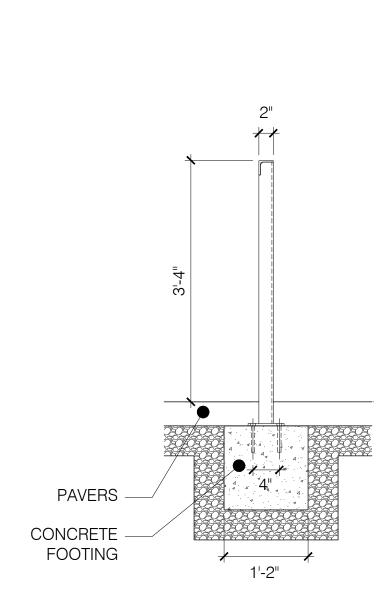
TAYLOR & VOSE

DEVELOPMENT



BENCH - TYPE 1

SCALE: N.T.S.

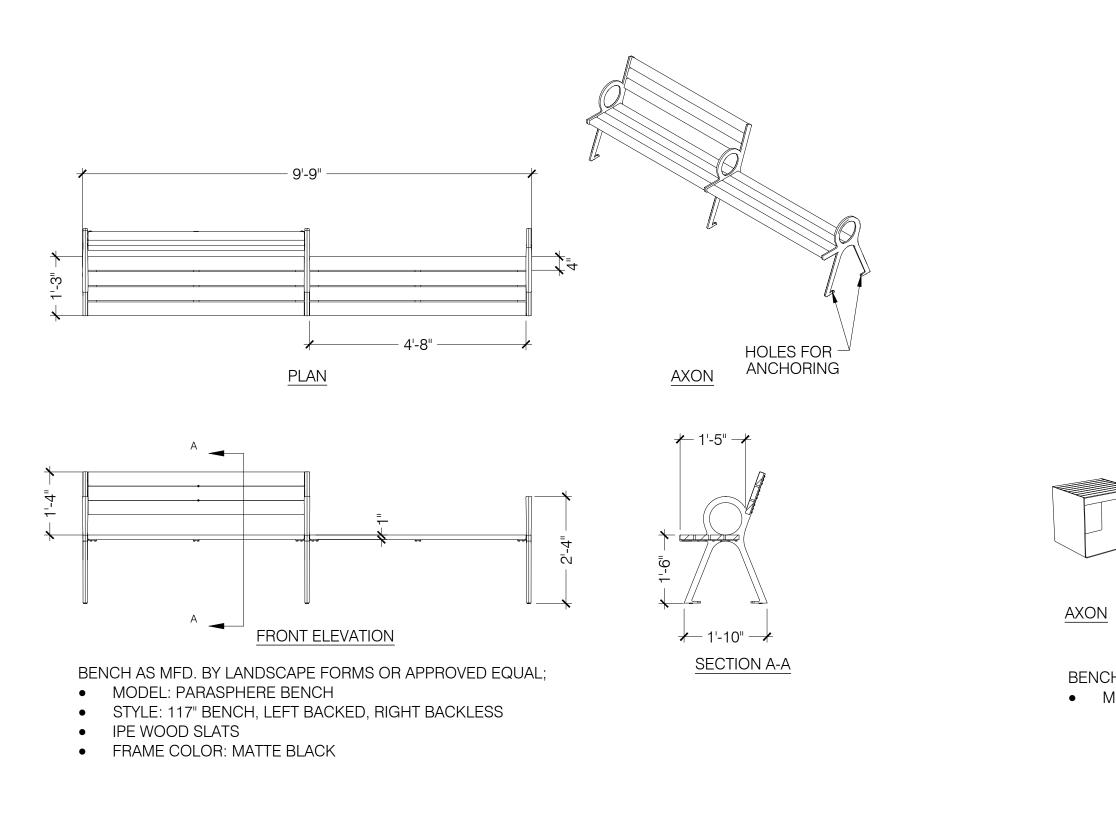


BIKE RACK AS MFD BY: MMCITE - LOT (SL100)

- POWDER COATED BLACK
- EMBEDDED MOUNT TO CONCRETE FOOTING
 - BELOW BRICK PAVERS
- CONCRETE FOOTING TO BE 4,000 PSI CLASS B CONCRETE



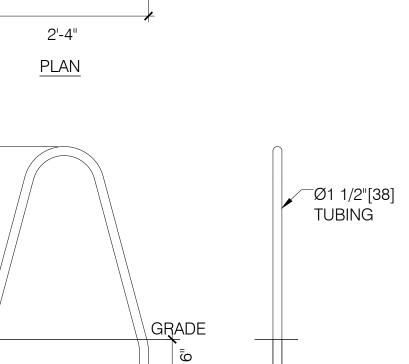
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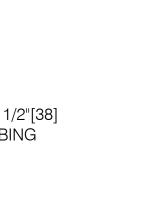
SECTION

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5

BIKE RACK AS MFD BY: • LANDSCAPE FORMS - BOLA BIKE RACK • POWDER COATED COLOR T.B.D. EMBEDDED MOUNT TO CONCRETE SUBBASE BELOW PAVERS



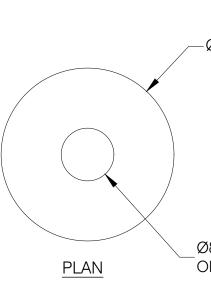


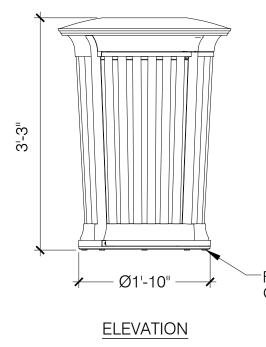
















-Freestanding Glides

APPROVED EQUAL; • MODEL: POE LITTER, 34 GALLON, TOP OPENING

MOUNTING: SURFACE

• COLOR: BLACK

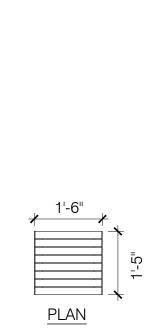
MOUNTED

RECEPTACLE AS MFD. BY LANDSCAPE FORMS OR

Ø8 3/4 [Ø224] OPENING

BENCH AS MFD. BY MMCITE OR APPROVED EQUAL; MODEL: LRA115T RADIUM

1'-6" PLAN / / 1



1'-6"

ELEVATION

1'-5"



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NOT FOR CONSTRUCTION

DR

David I. Lustberg New Jersey Licensed Landscape Architect NJ LLA# AS00851

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| 3 | 09/11/2020 | Updated Preliminary & Final Site Plan Set |

Sheet Title:

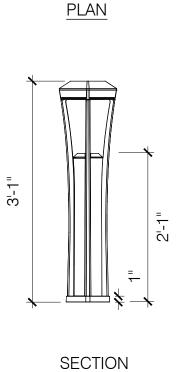
| CONSTRUCTION DETAILS | | |
|----------------------|---------|--|
| Drawn By: | | |
| VH | | |
| Checked By: | | |
| DL | L-502 | |
| Date: | - L-JUZ | |
| 07/07/2020 | | |
| Scale: | | |
| AS NOTED | | |
| Project Number: | Sheet: | |
| 02-2020-130 | 9 of 11 | |
| | | |



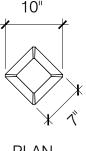


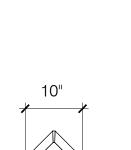
- LED, TYPE 4 DISTRIBUTION, 3000 K, DIMMABLE POWDER COATED COLOR MATTE BLACK • CONCRETE FOOTING TO BE 4,000 PSI CLASS B
- LANDSCAPE FORMS ASHBERY PATH LIGHT
- LIGHT BOLLARD AS MFD BY:





CONCRETE









POLE AS MFD. BY LANDSCAPE FORMS OR APPROVED EQUAL

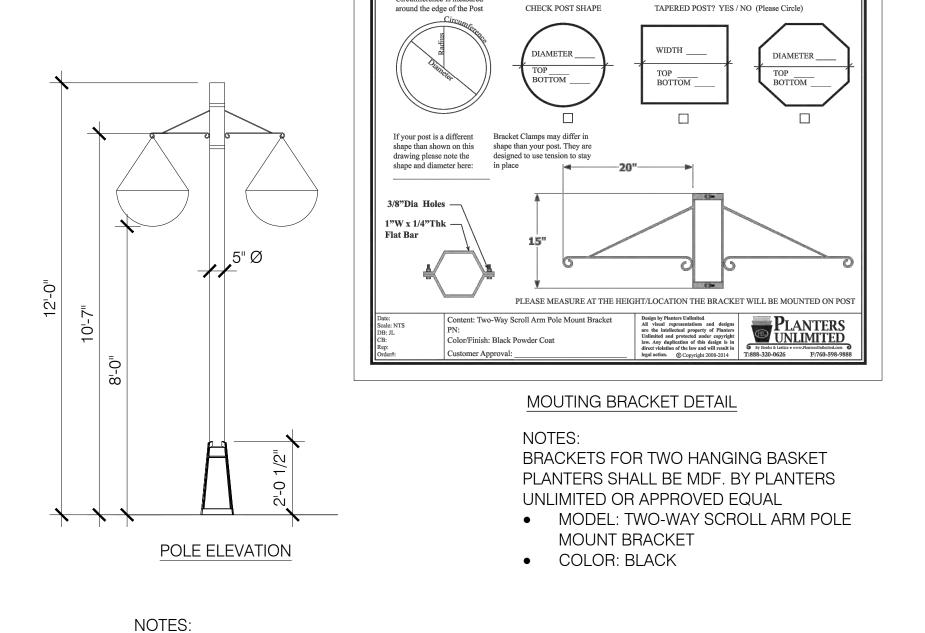
CONCRETE FOOTING TO BE 4,000 PSI CLASS B CONCRETE

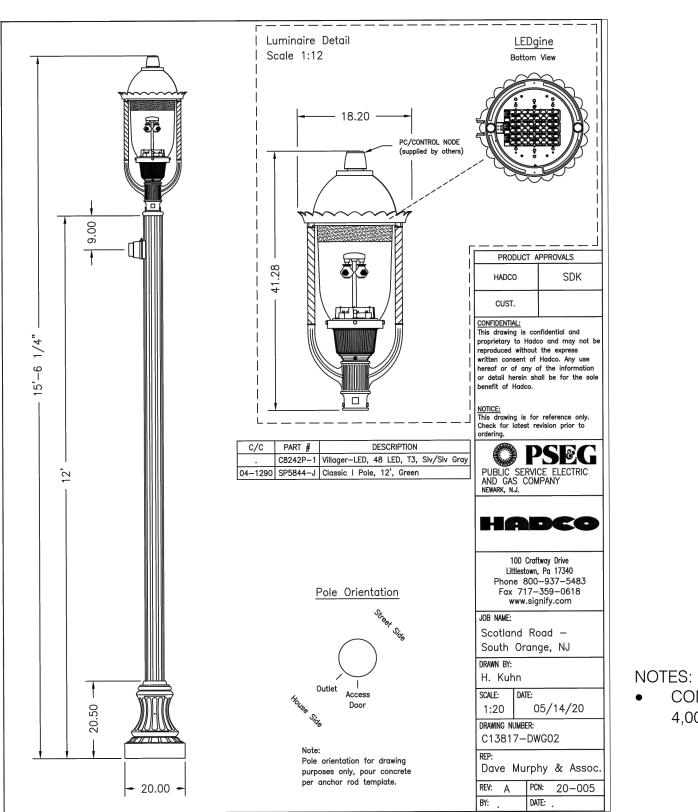
POLE HEIGHT: 12 FEET OVERALL

MATERIALS: CAST ALUMINUM

COLOR: MATTE BLACK

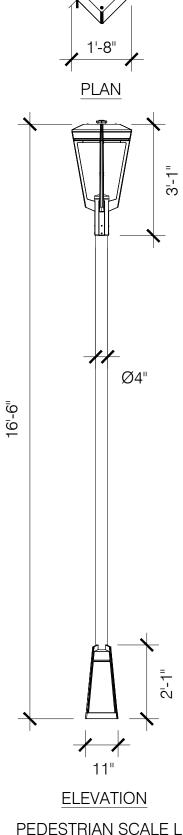
• MODEL: ASHBERY AREA LIGHT POLE - 16 FEET, NO LUMINARIES





CONCRETE FOOTING TO BE

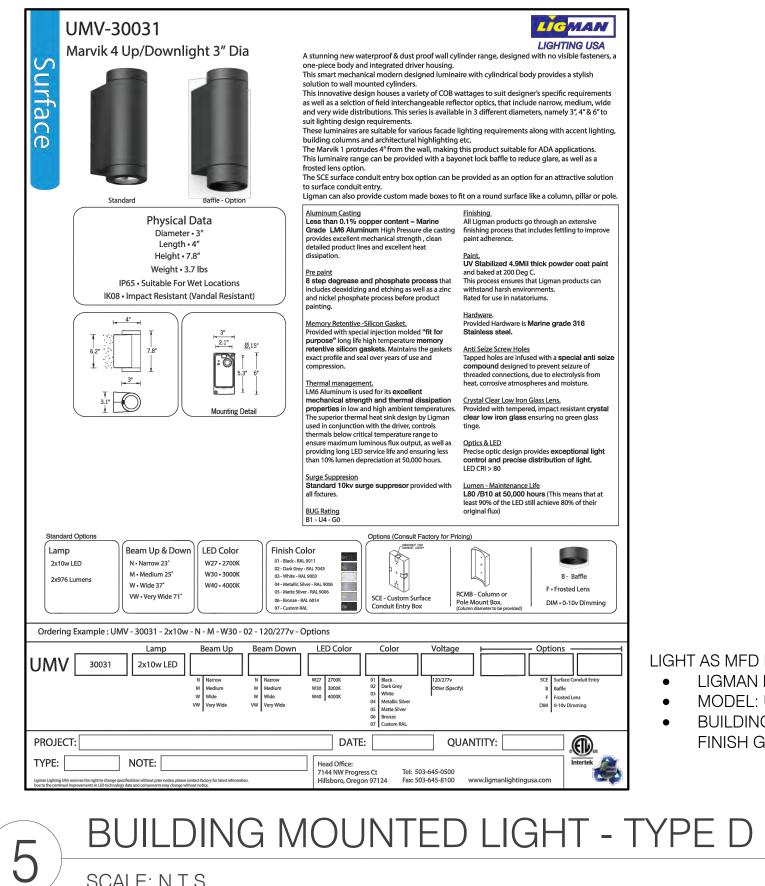
4,000 PSI CLASS B CONCRETE



- APPROVED EQUAL:

- PLANTERS & BANNER
- MATERIALS: CAST ALUMINUM
- COLOR: MATTE BLACK



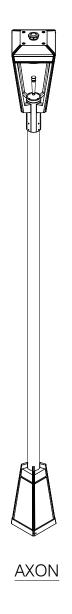


- LIGHT AS MFD BY:
- FINISH GRADE
- LIGMAN LIGHTING OR APPROVED EQUAL
- MODEL: UMV 30031 • BUILDING MOUNTED AT 9 FEET ABOVE

SCALE: N.T.S.

STREET LIGHT - TYPE A

SCALE: N.T.S.



PEDESTRIAN SCALE LIGHT AS MFD. BY LANDSCAPE FORMS OR

 MODEL: ASHBERY AREA LIGHT - 16 FEET, SINGLE LUMINAIRE LED, TYPE 3 DISTRIBUTION, 3000 K, DIMMABLE OPTIONS: WITH BRACKETS FOR TWO HANGING BASKET

CONCRETE FOOTING TO BE 4,000 PSI CLASS B CONCRETE

DECORATIVE LIGHT - TYPE B

TAYLOR & VOSE DEVELOPMENT South Orange, NJ

PRELIMINARY AND FINAL SITE PLAN SUBMISSION Client:

VOSE AVE. APTS. URBAN RENEWAL, L.L.C. 447 Northfield Avenue, Suite 200 West Orange, NJ 07052 Tel 973 731 2791

Landscape Architect



507 Bloomfield Ave., 2nd Floor Montclair, New Jersey 07042 USA COFA #MH000044

www.arterialstreets.com Tel / Fax 973 320 9123 info@arterialstreets.com

NOT FOR CONSTRUCTION

QQ

David I. Lustberg New Jersey Licensed Landscape Architect NJ LLA# AS00851

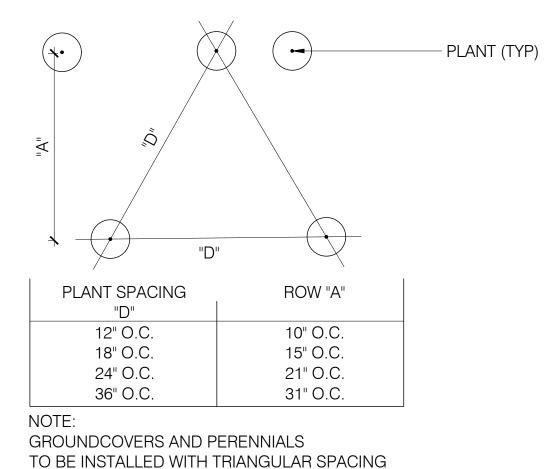
Issue:

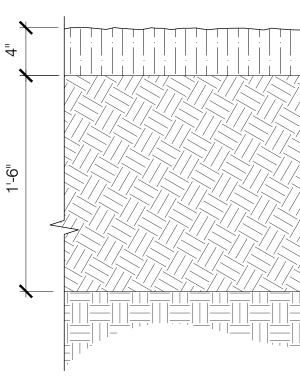
No. Date

Remarks 08/06/2020 Updated Preliminary & Final Site Plan Set 08/21/2020 Updated Preliminary & Final Site Plan Set 09/11/2020 Updated Preliminary & Final Site Plan Set

| Sheet | Title |
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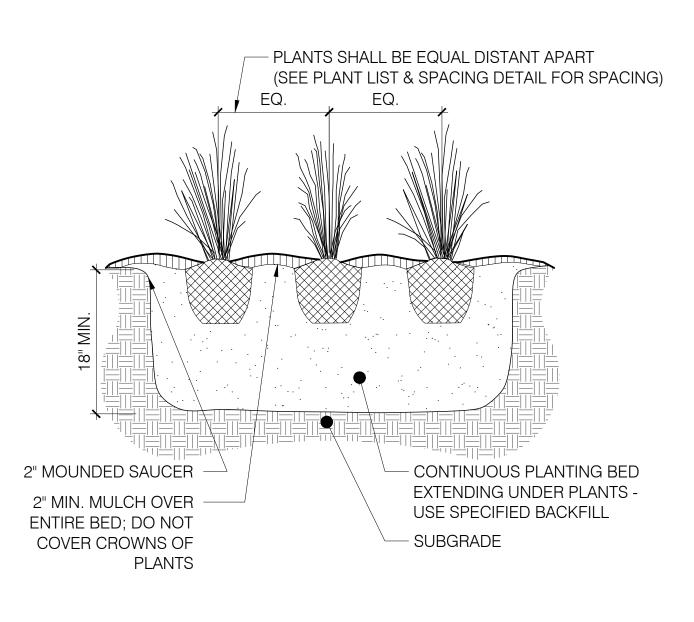
| CONSTRUCTION DETAILS | | |
|----------------------|----------|--|
| Drawn By: | | |
| VH | | |
| Checked By: | | |
| DL | L-503 | |
| Date: | L-303 | |
| 07/07/2020 | | |
| Scale: | | |
| AS NOTED | | |
| Project Number: | Sheet: | |
| 02-2020-130 | 10 of 11 | |
| | | |





PLANT SPACING SCALE: 3/4" = 1'-0"

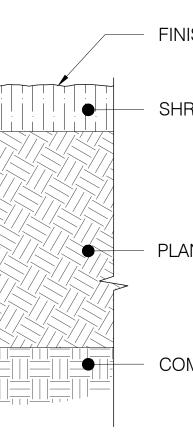




GRASS/PERENNIAL PLANTING 5 SCALE: 1" = 1'-0"



6

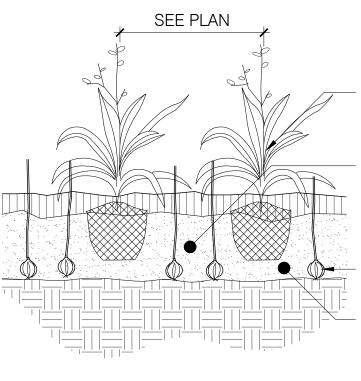


FINISHED GRADE

- SHREDDED BARK MULCH

— PLANTING SOIL MIX

COMPACTED SUBGRADE

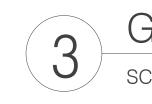


SET GROUND COVERS AND PERENNIALS IN STAGGERED ROWS AT SPECIFIED SPACING - MULCH ENTIRE BED WITH 2" SHREDDED HARDWOOD MULCH

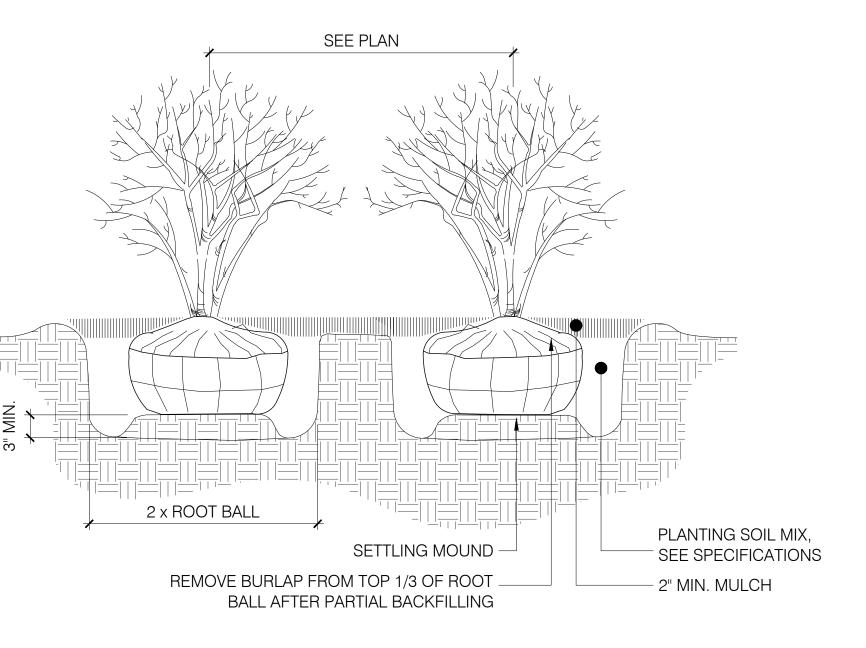
EXCAVATE ENTIRE BED TO A DEPTH OF 8" AND PLACE PLANTING SOIL MIX

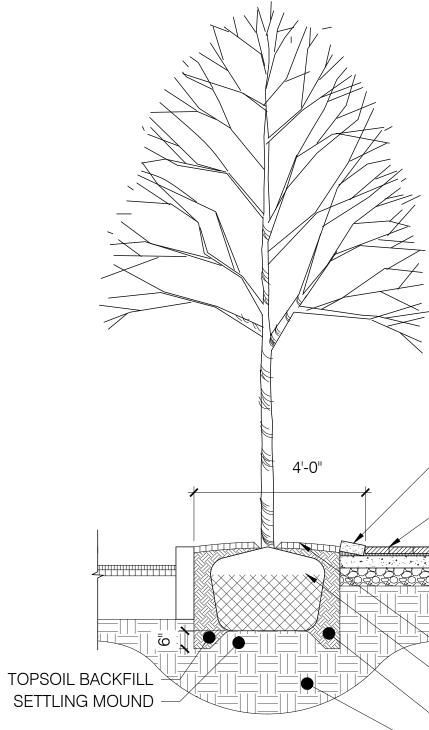
BULBS, PLANTED 7"-8" DEEP

- PLANTING SOIL MIX - SEE SPECIFICATIONS



GROUNDCOVER PLANTING SCALE: 1" = 1'-0"

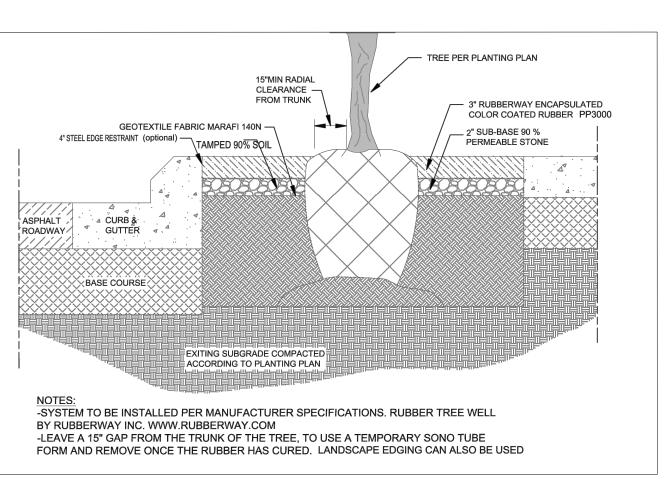






SHRUB PLANTING

SCALE: 1" = 1'-0"



NOTES:

3

4

1. RUBBER TREE WELL SYSTEM SHALL BE PROVIDED BY RUBBERWAY OR APPROVED EQUAL

2. TYPE: SINGLE LAYER PREMIUM RUBBER SHRED TREE WELL COLOR: MAHOGONY

4. SEE PRODUCT SHEETS PROVIDED FOR MORE INFORMATION

BONDED RUBBER TREE WELL

SCALE: N.T.S.

COBBLESTONE PAVERS, SET AT AN ANGLE

- MATERIAL AS PER PLANS

— 2" MULCH ROOTBALL, REMOVE BURLAP DOWN FROM TOP 1/3 OF BALL - TOPSOIL BACKFILL - EXISTING SUBGRADE

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NOT FOR CONSTRUCTION



David I. Lustberg New Jersey Licensed Landscape Architect NJ LLA# AS00851

Issue:

| No. | Date |
|-----|-------|
| 1 | 08/06 |
| 2 | 08/21 |
| 3 | 09/11 |
| | |

Remarks 6/2020 Updated Preliminary & Final Site Plan Set Updated Preliminary & Final Site Plan Set /2020 Updated Preliminary & Final Site Plan Set

| Sheet | Title |
|-------|-------|
| | |

