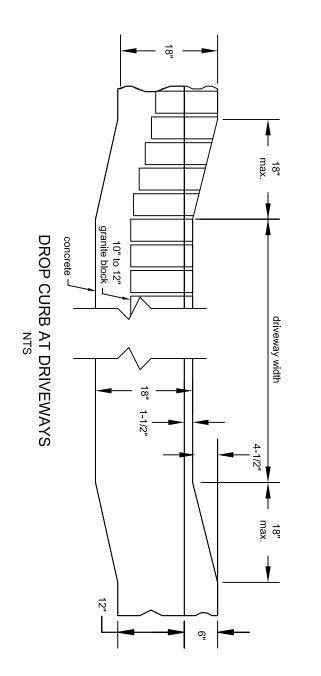


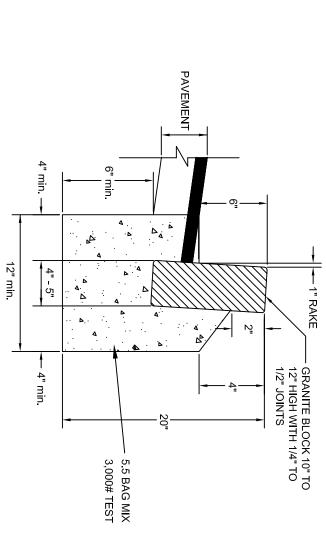
Tree

Protection Detail

Iting materials shall be healthy and of normal growth, well rooted and free of disents shall conform to the American Society of Nurseryman Standards. It is shall not be installed during the months of December, January, or February. Its shall be watered immediately after planting.

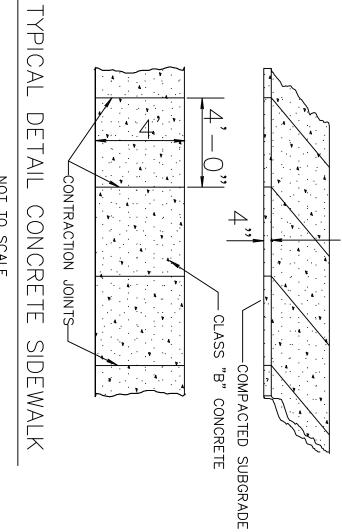
In & planting areas shall be graded to a smooth, even, & uniform plane with notic tor shall provide a minimum of 6" of topsoil in all landscaped areas.





VERTICAL GRANITE : 1. CONCRETE TO BE NJDOT CLASS "B" (AIR ENTRAINED).

2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB
20' - 0" APART AND SHALL BE FILLED WITH PREFORMED,
BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE
REQUIREMENTS OF AASHTO M-213, RECESSED 1/4" FROM THE FRONT FACE
AND TOP OF THE CURB. **BLOCK CURB**

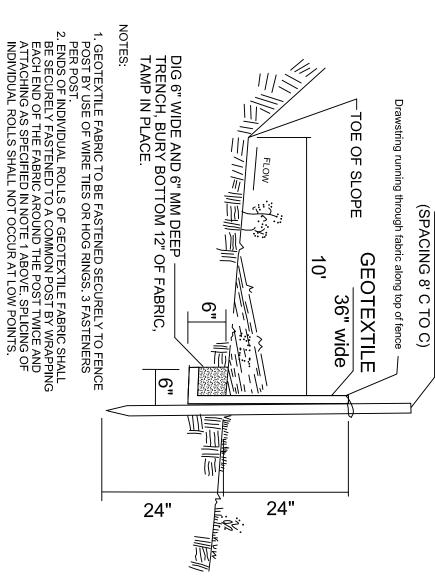


1. PREFORMED BITUMINOUS EXPANSION JOINTS,1/2" THICK SHALL BE INSTALLED EVERY 20 FEET. CONTRACTION JOINTS SHALL BE INSTALLED EVERY 4 FEET.

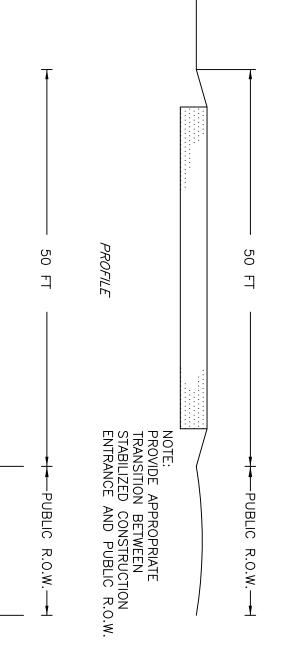
2. CONCRETE SHALL BE CLASS "B" PORTLAND CEMENT HAVING A 28 DAY STRENGTH OF 4000 PSI.

3. HANDICAP RAMPS SHALL HAVE A LIGHT BROOM FINISH WITH THE STRIATIONS PERPENDICULAR TO TRAFFIC.

4. SIDEWALKS SHALL BE 6" THICK AT DRIVEWAYS NOTES:

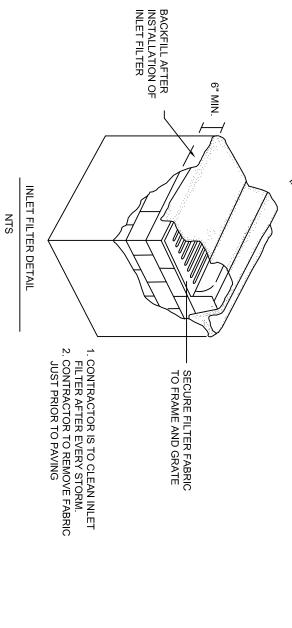


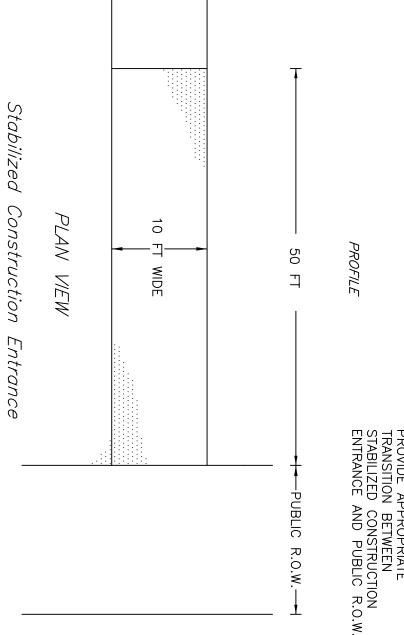
NOT TO SCALE

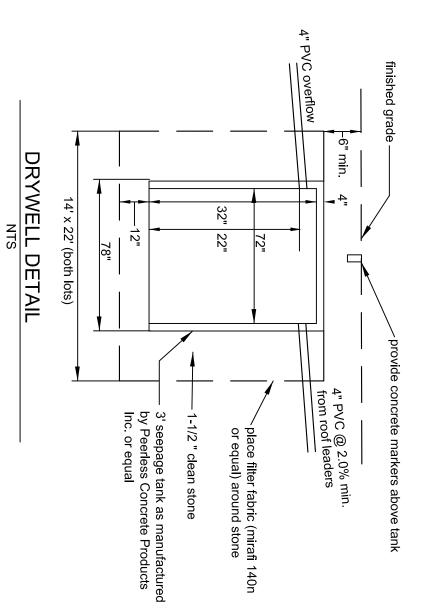


INLET FILTER INSTALLATION WITHOUT FRAME AND GRATE

WIRE SUPPORT MOULD 6x6," 5/5GA.49#/100 SQ FT. WELDED WIRE SUPPORT. EXTEND 6" AT SIDES







DRYWELL DESIGN:

LOT 37 REQUIRED:

Prop. Roof Area = 1920 SF x 3" Runoff = ...

PROVIDED:

VOLUME IN DRYWELL TANK = 2.67 x 3.14 x 3.00² = 75.5 CF

VOLUME IN STONE (40% VOIDS) = 0.4[14 x 22 x 4.0 - (3.0 x 3.14 x 3.25²)] = 4

TOTAL = 75.5 + 452.9 = 528.4 CF 480.0 CF

LOT 38 REQUIRED:
Prop. Roof Area = 2002 SF x 3" Runoff = 500.5 CF
Provided: same as above)] = 452.9 CF

Total Existing Impervious Area = 7267 SF
Total Proposed Impervious Area = 7263 SF
Resulting in a 4 SF net decrease in impervious area.
Therefore the 2 proposed drywells exceed any storm management requirements.

2" x 2" FENCE POST (SPACING 8' C TO C)

1. All soil erosion and sediment control practices on this plan will be constructed in accordance with the "New Jersey Standards for Soil Erosion and Sediment Control" 7th Edition last revised December 2017. These permanent be installed prior to any major soil disturbance or in their proper sequence and maintained until permanent protection is established.

SOIL EROSION AND SEDIMENT CONTROL NOTES (To be included on the signed erosion control plan sheet)

2. All soil to be exposed or stockpiled for a period of greater than 14 days, and not under active construction, will be temporarily seeded and hay mulched or otherwise provided with vegetative cover. This temporary cover shall be maintained until such time whereby permanent restabilization is established.

<u>Seeding Dates:</u> The following seeding dates are recommended to best establish pern ithin most locations in the HEPSCD: <u>Spring - 3/1-5/15</u> and <u>Fall - 8/15 - 10/1</u>

Sediment fences are to be properly trenched and ma

ed until permanent vegetative cover is established

9. The applicant must obtain a District issued Report-of-Compliance prior to applying for the Certificate of Occupancy or Temporary Certificate of Occupancy from the respective municipality, NJ - DCA or any other controlling agency. Contact the District at 862-333-4505 to request a Final Inspection, giving advanced notice upon completion of the restabilization measures. A performance deposit may be posted with the District when winter weather or snow cover prohibits the proper application of seed, mulch, fertilizer or hydro-seed.

8. The Hudson-Essex-Passaic Soil Conservation District will be notified in writing at least 48 hours prior to any soil disturbing activities. Fax - (862) 333-4507 OR email - INFORMATION@HEPSCD.ORG

All erosion control devices shall be periodically inspected, maintained and corrected by the contractor. Any mage incurred by erosion shall be rectified immediately.

5. All storm drainage inlets shall be protected by one of the practices accepted in the Standards, and protection shall remain until permanent stabilization has been established. Storm drainage outlet points shall be protected as required before they become functional.

Mulch materials shall be un-rotted small grain straw applied at the rate of 70 to 90 pounds per 1,000 square feet anchored with a mulch anchoring tool, liquid mulch binders, or netting tie down. Other suitable materials may used if approved by the Soil Conservation District.

11. All surfaces having lawn or landscaping as final cover are to be provided topsoil prior to re-seeding, sodding or planting. A depth of 5.0 inches, firmed in place, is **required**, as per the Standards for Topsoiling and Land Grading, last revised December 2017.

10. Paved roadways must be kept clean at all times. Do not utilize a fire or garden hose to clean roads unless the runoff is directed to a properly designed and functioning sediment basin. Water pumped out of the excavated areas contains sediments that must be removed prior to discharging to receiving bodies of water using removable pumping stations, sump pits, portable sedimentation tanks and/or silt control bags.

12. All plan revisions must be subm

tted to the District for proper review and approval.

<u>IIS</u>

FENCE

N.T.S.

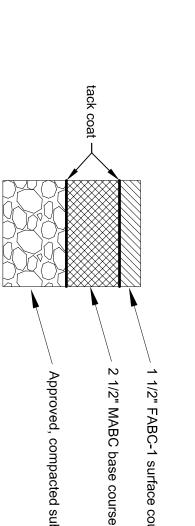
14. Steep slopes incurring disturbance may require additional stabilization measures. These "special" shall be designed by the applicant's engineer and be approved by the Soil Conservation District.

3. A crushed stone wheel cleaning tracking-pad is to be installed at all site exits using 2 ½ -1" crushed angular one (ASTM 2 or 3) to a minimum length of 50 feet and minimum depth of 6". All driveways must be provided ith crushed stone until paving is complete.

15. The Hudson-Essex-Passaic Soil Conservation District shall be notified, in writing, for the sale of any portion of the project or for the sale of individual lots. New owners' information shall be provided.

Additional measures deemed necessary by District officials shall be implemented as conditions warrant.

http://hepsoilnj.org HEPSCD251SESCNOTES_7THEDREV2017



N. Ridgewood Rd. Pavement Detail

access. (Day 1)
ces. (Day 2 to Day 30)
s. (Day 31)

SEQUENCE OF CONSTRUCTION

1. Install silt fence & stabilized construction access. (Day 2 to 2. Demolish existing dwelling & appurtenances. (Day 2 to 2. Strip topsoil & temporarily stockpile same. (Day 31)

3. Regrade site. (Day 32)

4. Construct dwelling. (Day 33 - Day 133)

5. Restore entire area with a permanent seeding and remove all soil erosion measures as final item.

Minor Subdivision Development Plan Construction Details

LOTS 37 & 38

⊒.

Block 1303

Essex County Township of South Orange Village

New Jersey

DAVID E. FANTINA, П

shown Professional Engineer 15 Sunset Drive, Bernardsville, NJ 07924 Date 11/05/2020 167 N Ridgewood Rd.dwg

Per Board Engineer Item(s)

Ву