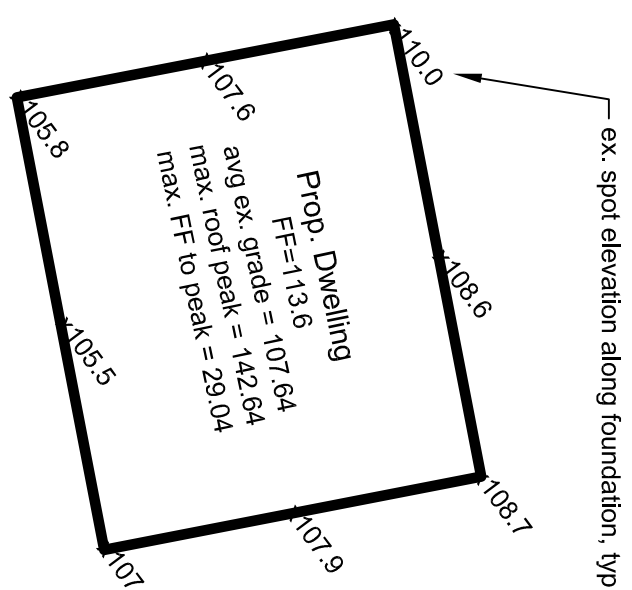
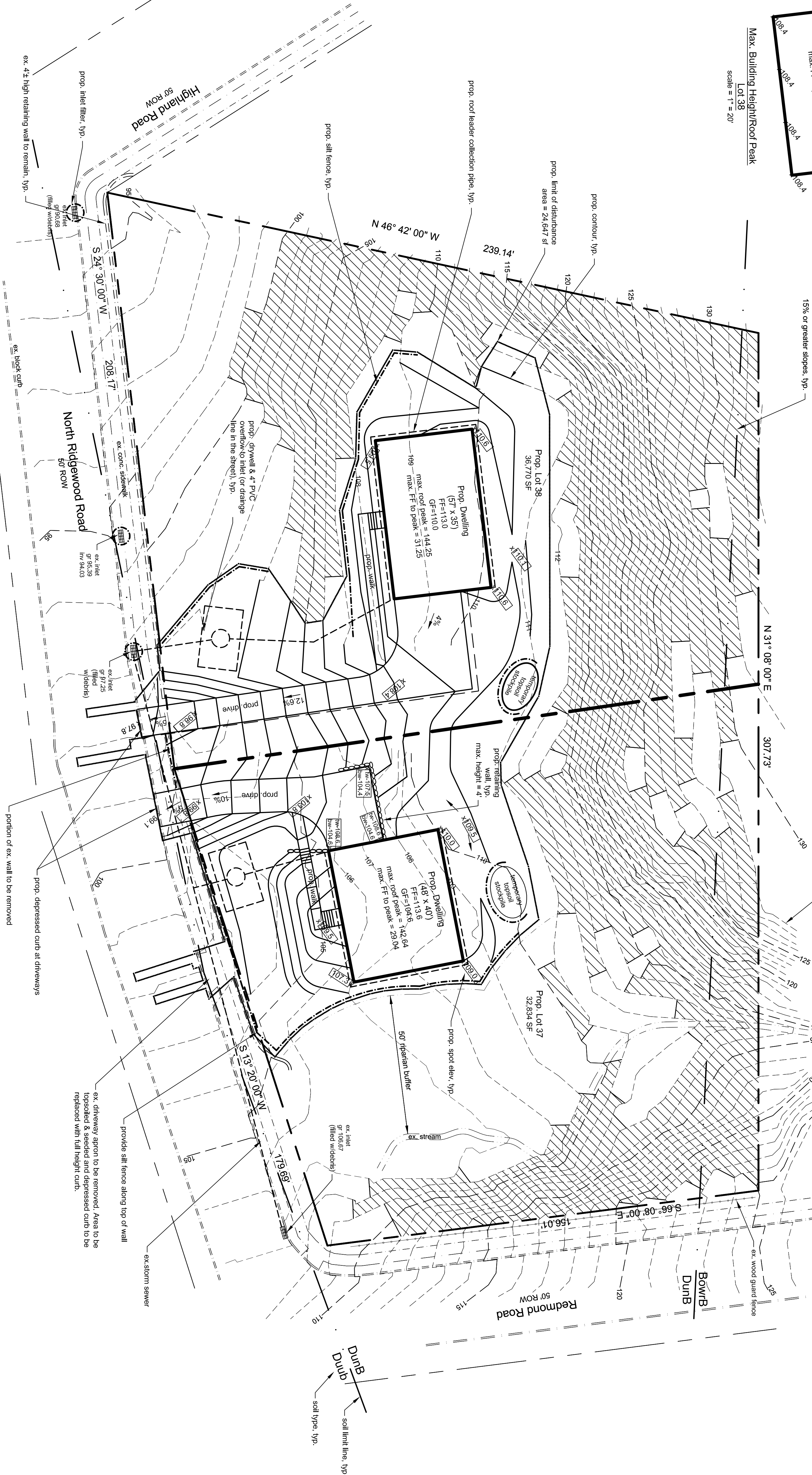
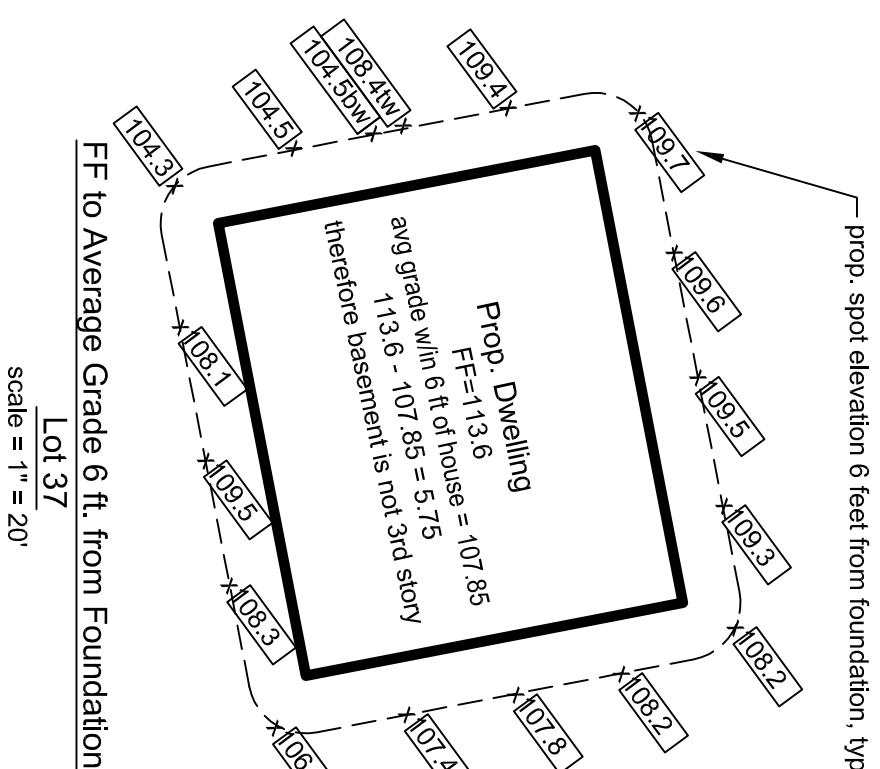


Max. Building Height/Roof Peak  
Lot 38  
scale = 1" = 20'



Lot 37  
scale = 1" = 20'



Lot 37  
scale = 1" = 20'



**Note:** Existing features to be removed are not shown for clarity.

**Note:** Provide 50' stabilized construction access at each driveway entrance during construction. Not shown for clarity. See detail, sheet 4.

Proposed Impervious Coverage

Dwelling = 1920 sf  
 Driveway = 1160 sf  
 Porch & walk = 188 sf  
Total = 3268 sf

Total = 3268 sf

Lot 38  
Dwelling = 2002 sf  
Driveway = 1764 sf  
Dwelling = 2002 sf

**Note:** Prior to the commencement of any land-disturbing activity on this project, the applicant shall apply for and obtain certification from the Hudson-Essex-Passaic Soil Conservation District.

12/10/20	Per Board Engineer	By	
Date	Item(s)	By	
<b>Revisions</b>			

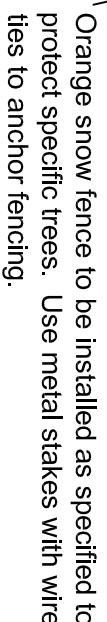
Minor Subdivision Development Plan Grading & Soil Erosion Control Plan LOTS 37 & 38 in Block 1303 Township of South Orange Village Essex County New Jersey				
<b>DAVID E. FANTINA, P. E.</b> Professional Engineer 15 Sunsea Drive, Bernardsville, NJ 07924				
Scale	Date	File	Sheet	
1"=20'	10/02/20	167 N Ridgewood Rd.dwg	2 of 4	
N.J.P.E. Lic#232395				







FILL HOLE WITH WATER  
BACKFILL WITH 1 PART  
PEATMOSS & 5 PARTS  
TOPSOIL



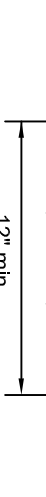
## Tree Protection Detail

## INTRODUCTION

1. All planting materials shall be healthy and of normal growth, well rooted and free of disease.
2. All plants shall conform to the American Society of Nurseryman Standards.
3. Plants shall not be installed during the months of December, January, or February.
4. All plants shall be watered immediately after planting.
5. All bare root planting areas shall be graded to a smooth, even, and uniform plane with no abrupt change of surface.
6. Contractors shall provide a minimum of 6" of topsoil in all landscaped areas.



NTS



- NOTES: 1. CONCRETE TO BE M20 CLASS "B" (AIR ENTRAINMENT),  
2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB  
20" - 0" APART AND SHALL BE FILLED WITH PREFORMED,  
BITUMINOUS-IMPREGATED FIBER JOINT FILLER, COMPLYING WITH THE  
REQUIREMENTS OF AASHTO M-213, RECESSED 1/4" FROM THE FRONT FACE  
AND TOP OF THE CURB.

## VERTICAL GRANITE BLOCK CURE

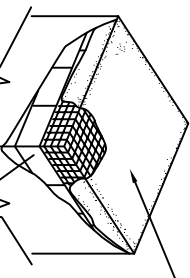
NTS



## TYPICAL DETAIL CONCRETE SIDEWALK

NOT TO SCALE

4. SIDEWALKS SHALL BE 6" THICK AT DRIVEWAYS



—WIRE SUPPORT Mould 6x6, 5/5GA, 49#/100 SQ F  
WELDED WIRE SUPPORT, EXTEND 6" AT SIDES

TO FRAME AND GRATE

CONTRACTOR IS TO CLEAN INLET  
FILTER AFTER EVERY STORM.  
CONTRACTOR TO REMOVE FABRIC  
JUST PRIOR TO PAVING

NTS



## DRYWELL DETAIL

NTS



Drawstring running through fabric along top of fence

### 7. COEFFICIENT OF SLOPE

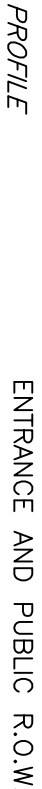
1156

8" WIDE AND 8" DEEP  
TRENCH, BURY BOTTOM 12" OF FABRIC  
TAMP IN PLACE.

1. GEOTEXTILE FABRIC TO BE FASTENED SECURELY TO FENCE POST BY USE OF WIRE TIES OR HOG RINGS. 3 FASTENERS PER POST.
2. ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE FABRIC SHALL BE SECURELY FASTENED TO A COMMON POST BY WRAPPING EACH END OF THE FABRIC AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.

## SILT FENCE

N.T.S.



NOTE:  
PROVIDE APPROPRIATE  
TRANSITION BETWEEN  
STABILIZED CONSTRUCTION  
ENTRANCE AND PUBLIC R.O.W

## PLAN VIEW

### Stabilized Construction Entrances



N. Ridgewood Rd. Pavement Detail  
NTS

# MTS

## SEQUENCE OF CONSTRUCTION

1. Install silt fence & stabilized construction access. (Day 1)
2. Demolish existing dwelling & appearances. (Day 2 to Day 30)
3. Strip topsoil & temporarily stockpile same. (Day 31)
3. Regrade site. (Day 32)
4. Construct dwelling. (Day 33 - Day 133)
5. Restore entire area with a permanent seeding and remove all soil erosion measures as final item.

DAVID E. FANTINA, P. E.