

# ZONING ANALYSIS

Zoning District: University (U)  
UNIVERSITY CENTER ADDITION AND RENOVATION

Block 901  
Lot 3

REGULATION	SECTION	University District (U)	EXISTING	PROPOSED	VARIANCE OR WAIVER REQUIRED
Permitted Uses: Principal Uses	\$185-162 (Schedule 1, Schedule of District Use Regulations)	Resident colleges and universities, including buildings, structures, uses and activities normally associated with institutions of higher learning, such as classroom and laboratory buildings, dormitories, libraries, student centers, multiunit faculty residence buildings, auditoriums, gymnasiums and athletic facilities.	University Center	University Center	NO
Lot Area:	\$185-165 (Schedule 2)	50 acres	2,481,216 sf (56.96 acres)	2,481,216 sf (56.96 acres)	NO
Lot Width:	\$185-165 (Schedule 2)	--	N/A	N/A	NO
Maximum Building Height:	\$185-165 (Schedule 2)	30 ft	H < 75 ft / 3 stories	Top of Roof at Main Entry: 72.43 ft Top of Cross: 77.23 ft	NO
	\$185-167.G	The height provisions of this Part 13 shall not apply to the erection of building appendances such as church spires, cupolas or towers designed exclusively for ornamental purposes and shall not apply to antennas, chimneys, flues, bulkheads, elevator enclosures, water tanks or similar accessory structures occupying an aggregate of 10% or less of the area of the roof on which they are located, and further provided that such structures do not exceed the height limitation by more than 10 feet.	Complies	Complies (77.23 ft < 85 ft) (75 ft + 10 ft = 85 ft)	NO
Minimum Yard Requirements: (See Note 3)					
Front:	\$185-165 (Schedule 2)	30 ft (from all property boundaries)	124.0 ft	124.0 ft	NO
Side (Each):	\$185-165 (Schedule 2)	30 ft (from all property boundaries)	477.4 ft	477.4 ft	NO
Corner:	\$185-165 (Schedule 2)	30 ft (from all property boundaries)	387.4 ft	387.4 ft	NO
Rear:	\$185-165 (Schedule 2)	30 ft (from all property boundaries)	1005.1 ft	1006.8 ft	NO
Maximum Lot Coverage:	\$185-165 (Schedule 2)	30% (Maximum building coverage)	28.52%	28.64%	NO
Maximum Floor Area Ratio	\$185-165 (Schedule 2)	0.65	0.532	(See Note 4)	NO
Parking Standards	\$185-113.B.(1)	9 ft (minimum width)	9 ft x 18 ft	9 ft x 18 ft	NO
Stall Sizes:	\$185-113.B.(3). (b)	Compact Spaces: 8 ft (wide) x 16 ft (long)	N/A	N/A	NO
Number of Spaces:	\$185-174.A (Schedule 3)	0.25 spaces for each full- and part-time student and full- and part-time employee (See Note 1) Min. = 8,400 x 0.25 = 2,100 required Calc. = 7,996 x 0.25 = 1,999	2,935 (See Note 2)	2,922	NO
Loading:	\$185-114.B	Each such loading space shall not be less than 12 feet in width and 35 feet in length, depending on the functions to be performed. 12 ft (minimum floor-to-ceiling clear-height distance)	Complies	Complies/No Change	NO
	\$185-114.B	Except for required buffered areas, each such loading space may occupy any required side or rear yard but shall not be located in the required front yard. When adjoining a residential use, institutional use or place of general assembly, a suitably screened or landscaped buffer shall be provided.	Complies	Complies/No Change	NO
Signs:	\$185-144.A.	One ground sign identifying a school, university, or public building located a minimum of five feet back from the street property line and not exceeding 40 square feet shall be permitted.	Complies	Complies/No Change	NO

- Notes:
1. For purposes of this calculation, a minimum aggregate total of 8,400 shall be used as the campus population.
  2. Updated existing parking space count as of 09-24-2020.
  3. Setbacks referenced to University Center building.
  4. Refer to Building Data Summary Table below.

## BUILDING DATA SUMMARY

Building Name	Existing Lot / Building Coverage SF	Proposed Lot/Building Coverage SF	Existing Floor Area SF	Proposed Floor Area SF
Heating Plant	5,350	5,350	1,322	1,322
Art Center	2,670	2,670	4,342	4,342
Fahy Hall	20,350	20,350	50,362	50,362
Schwartz Hall (formerly Nursing)	25,665	25,665	42,174	42,174
Arts & Sciences* University Center	62,070	63,454	80,767	79,986
Metal Storage Building	1,120	1,120	1,120	1,120
Duffy Hall	11,360	11,360	21,063	21,063
Boland Hall	33,080	34,708	122,732	126,061
Ichitoku Hall	25,640	25,640	73,453	73,453
Jubilee Hall	24,698	24,698	84,402	84,402
Mooney Hall	8,150	8,150	32,224	32,224
Regan Rec. Center	86,926	86,926	120,917	120,917
Stafford Hall	7,599	7,599	12,985	12,985
Presidents Hall	6,750	6,750	19,896	19,896
Chapel	4,541	4,541	4,366	4,366
Lewis Hall	21,028	21,028	57,295	57,295
Alumni Hall	3,183	3,183	6,051	6,051
Alfieri Hall	7,088	7,088	12,044	12,044
McQuaid Hall	7,636	7,636	19,261	19,261
Bayley Hall	10,779	10,779	20,377	20,377
Corrigan Hall	14,950	14,950	31,611	31,611
Aquinas Hall	27,238	27,238	84,901	84,901
Xavier Hall	26,150	26,150	93,430	93,430
Public Safety	1,672	1,672	2,836	2,836
Generty Hall	4,546	4,546	12,561	12,561
Walsh Gym	34,120	34,120	72,372	72,372
Marshall Hall	3,315	3,315	4,530	4,530
Serra Hall	9,346	9,346	21,116	21,116
Neumann Hall	9,346	9,346	20,844	20,844
Cabrini Hall	9,265	9,265	31,680	31,680
Facilities Engineer	5,066	5,066	8,728	8,728
Walsh Library	38,375	38,375	120,725	120,725
Parking Deck	115,870	115,870		
Athletic Field	6,314	6,314	1,670	1,670
Bethany Hall (Welcome Center)	26,365	26,365	26,201	26,201
TOTAL (SF)	707,621	710,633	1,319,858	1,320,705
NET INCREASE (SF)		3,012		847
NOTES: Arts & Sciences building coverage included in Schwartz Hall.				
ZONING COVERAGE				
ITEM	REQUIREMENT	EXISTING	PROPOSED	REMAINING
Min. Lot Area	50 AC.	56.96 AC	no change	N/A
		2,481,216	2,481,216	N/A
Max. Bldg. Coverage	30.00%	28.52%	28.64%	1.36%
		(707621 SF / 2,481,216 SF)	(710633 SF / 2,481,216 SF)	33,732
744,365				
Max. Floor Area Ratio	0.65	0.532	0.532	0.118
		(1319858 SF / 2,481,216 SF)	(1320705 SF / 2,481,216 SF)	292,085
1,612,790				

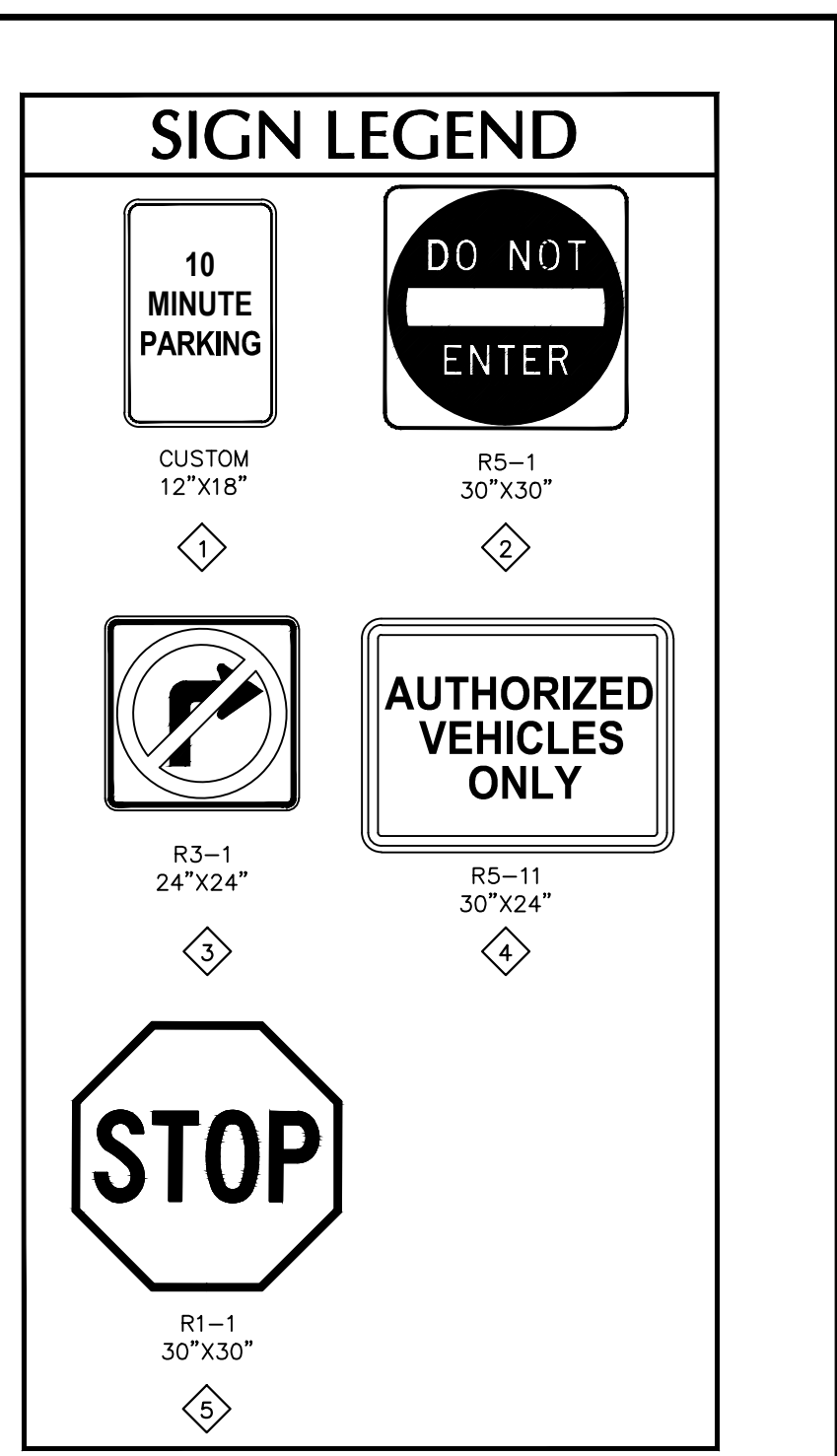
## TOWNSHIP OF SOUTH ORANGE

PROPERTY ID	LOCATION	CLASS	OWNER NAME & ADDRESS	PROPERTY ID	LOCATION	CLASS	OWNER NAME & ADDRESS
602 25	311 CENTRE STREET	2	LIPSON, LISA & FRED, JANNA 211 CENTRE STREET SOUTH ORANGE, NJ 07079	901 25	127 CENTRE STREET SOUTH	2	PERAZZINI, JOY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
602 26	303 CENTRE STREET	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079	901 21	133 CENTRE STREET SOUTH	2	FELIX, GEORGE, JEAN COX 133 SOUTH CENTER STREET SOUTH ORANGE, NJ 07079
602 27	395 TURRELL AVENUE	1	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079	901 22	137 CENTRE ST S	2	CAPARE, VINCENT 10 FOREST DRIVE FLORENZA PARK, NJ 07062
701 1	561 S ORANGE AVE	2	SETON HALL UNIVERSITY 144 SOUTH CENTRE STREET SOUTH ORANGE, NJ	901 23	141 CENTRE STREET SOUTH	2	KEINOSTONE, REBECCA L & LUCA L 141 SOUTH CENTRE STREET SOUTH ORANGE, NJ 07079
701 2	314 CENTRE STREET	2	SETON HALL UNIVERSITY 314 CENTRE STREET SOUTH ORANGE, NJ 07079	901 24	143 CENTRE STREET SOUTH	2	SETON HALL UNIVERSITY 143 SOUTH CENTRE STREET SOUTH ORANGE, NJ 07079
701 3	571 S ORANGE AVE	2	CARVER, GERALDINE 571 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079	901 25	145 CENTRE STREET SOUTH	2	LEE, HOWARD & MARJORIE LEE 145 CENTRE STREET SOUTH ORANGE, NJ 07079
701 18	567 S ORANGE AVE	2	TANIGUCHI, FRANKOY & KELLY A 567 SOUTH ORANGE AVE SOUTH ORANGE, NJ 07079	901 26	161 CENTRE STREET SOUTH	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
701 19	567 SOUTH ORANGE AVENUE	2	JACKSON, DAVINA & COLTRIS, A 561 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079	901 27	163 CENTRE STREET SOUTH	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
701 20	607 SOUTH ORANGE AVENUE	2	O'BRYEN, BRENDA J & SANDRA M 612 VARSITY ROAD SOUTH ORANGE, NJ 07079	901 28	446 WILDEN PLACE	15C	ESSEX COUNTY PARK COMMISSION 115 CLIFTON AVENUE WOOD RIDGE, NJ 07072
701 21	607 SOUTH ORANGE AVENUE	2	RENNETT, WINSTON C & PATRICIA 612 VARSITY ROAD SOUTH ORANGE, NJ 07079	901 29	441 WILDEN PLACE	15B	SETON HALL UNIVERSITY 400 NORTHORANGE AVENUE SOUTH ORANGE, NJ 07079
801 16	612 VARSITY ROAD	2	BIRNIS, NEELANNA & WILHELMINE 576 VARSITY ROAD SOUTH ORANGE, NJ 07079	901 30	439 WILDEN PLACE	2	MACOY, GERALD 439 WILDEN PLACE SOUTH ORANGE, NJ 07079
801 17	612 VARSITY ROAD	2	FERRARO, STEVEN & KATIE 574 VARSITY ROAD SOUTH ORANGE, NJ 07079	901 31	439 WILDEN PLACE	2	BERGERMAN, DAVID A & KATHLEEN M 439 WILDEN PLACE SOUTH ORANGE, NJ 07079
801 18	612 VARSITY ROAD	2	SCHROEDER, M & BEGER, M 572 VARSITY ROAD SOUTH ORANGE, NJ 07079	901 32	429 WILDEN PLACE	2	HORDON RESIDENTIAL LIAISON SERVICES 1817 OLIVE HOMESTEAD LAN A 101 LANCASTER, PA 17602
801 19	612 VARSITY ROAD	2	TOLES, ALEXANDER & STEPHEN, Y 429 WILDEN PLACE SOUTH ORANGE, NJ 07079	901 33	425 WILDEN PLACE	2	DROBICK, WILLIAM R JR 425 WILDEN PLACE SOUTH ORANGE, NJ 07079
801 20	604 VARSITY RD	2	ANDERSON, PAUL & PATRICIA 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079	901 34	421 WILDEN PLACE	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
801 21	604 VARSITY RD	2	KANTER, LUCK & TESSLER, EDMA 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079	901 35	417 WILDEN PLACE	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
801 22	588 VARSITY ROAD	2	MACOY, GERALD ROBERT JR 588 VARSITY ROAD SOUTH ORANGE, NJ 07079	901 36	409 WILDEN PLACE	2	FOX, MICHAEL & TATIANA 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
801 23	588 VARSITY ROAD	2	WASSERMAN, ROBERT A & GISELA 588 VARSITY ROAD SOUTH ORANGE, NJ 07079	901 37	407 WILDEN PLACE	2	WANDER, ROY WILDER LLC 407 WILDEN PLACE SOUTH ORANGE, NJ 07079
801 24	584 VARSITY ROAD	2	TABERNICK, J & WERBOWITZ, E 406 CENTRE STREET SOUTH ORANGE, NJ 07079	901 38	401 WILDEN PLACE	2	THANE, LAURE 406 CENTRE STREET SOUTH ORANGE, NJ 07079
802 1	148 CENTRE STREET SOUTH	2	DAVIE, BENJAMIN M & GAIL 148 CENTRE STREET SOUTH ORANGE, NJ 07079	901 39	383 WILDEN PLACE	2	BLOCK, SAVITRI 383 WILDEN PLACE SOUTH ORANGE, NJ 07079
802 2	140 CENTRE STREET SOUTH	2	DAVIE, BENJAMIN M & GAIL 148 CENTRE STREET SOUTH ORANGE, NJ 07079	901 40	381 WILDEN PLACE	2	MCNULTY, PAMELA & DETON 381 WILDEN PLACE SOUTH ORANGE, NJ 07079
802 3	140 REYNOLDS PLACE	2	TAYLOR, DOROTHY M 223 VARSITY ROAD SOUTH ORANGE, NJ 07079	901 41	377 WILDEN PLACE	2	CHAPMAN, KALLI & MITCHELL, NICHOLAS 277 WILDEN PLACE SOUTH ORANGE, NJ 07079
805 1	34 CENTRE STREET SOUTH	15F	34 CENTRE, LLC 300 BLOOMFIELD AVE #208 BLOOMFIELD, NJ 07003	901 42	373 WILDEN PLACE	2	CHAPMAN, KALLI & MITCHELL, NICHOLAS 277 WILDEN PLACE SOUTH ORANGE, NJ 07079
805 2	28 CENTRE STREET SOUTH	2	DAVIE, BENJAMIN M & GAIL 28 CENTRE STREET SOUTH ORANGE, NJ 07079	901 43	371 WILDEN PL	2	CHAPMAN, KALLI & MITCHELL, NICHOLAS 277 WILDEN PLACE SOUTH ORANGE, NJ 07079
805 3	20 CENTRE ST SO	2	DAVIE, BENJAMIN M & GAIL 20 CENTRE ST, SOUTH ORANGE, NJ 07079	901 44	366 WILDEN PLACE	2	DAVIE, JONAH & EILEA 366 WILDEN PLACE SOUTH ORANGE, NJ 07079
805 4	16 CENTRE STREET SOUTH	2	ESPOSITO, JOHANN V & DEANNA 16 SOUTH CENTER ST SOUTH ORANGE, NJ 07079	901 45	359 WILDEN PLACE	2	CARTER, MICHELLE 359 WILDEN PLACE SOUTH ORANGE, NJ 07079
805 5	10 CENTRE STREET SOUTH	2	WILLIAMS, JR, RAULYN N 10 CENTRE STREET SOUTH ORANGE, NJ 07079	901 46	359 WILDEN PLACE	2	CARTER, MICHELLE 359 WILDEN PLACE SOUTH ORANGE, NJ 07079
805 6	2 CENTRE STREET SOUTH	2	RAY, KAREN & TERRY 2 CENTRE STREET SOUTH ORANGE, NJ 07079	902 1	4 UNIVERSITY COURT	2	VALDINO, VINCENT 4 UNIVERSITY COURT SOUTH ORANGE, NJ 07079
901 1	96 WARD PLACE	2	MUSE, ROBERT B 7 LINCOLN AVENUE WEST ORANGE, NJ 07062	902 2	14 UNIVERSITY COURT	2	BUSCH, JOSEPH & MICHELLE 14 UNIVERSITY COURT SOUTH ORANGE, NJ 07079
901 2	90 WARD PLACE	2	SABOIN, ROBERT & MARGARET 9 EDER TERRACE SOUTH ORANGE, NJ 07079	902 3	11 ELM COURT	2	EASTERN, JANEY 11 ELM COURT SOUTH ORANGE, NJ 07079
901 3	400 SOUTH ORANGE AVENUE	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079	902 13	5 ELM COURT	2	FREDERICK, LEROY & DEYANNA 5 ELM COURT SOUTH ORANGE, NJ 07079
901 4	1 CENTRE STREET SOUTH	2	WANDER, ROY WILDER LLC 75 SOUTH ORANGE AVE #218 SOUTH ORANGE, NJ 07079	902 14	400 SOUTH ORANGE AVENUE	2	FULWELLER, JOHN H & PATRICIA 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
901 5	21 CENTRE STREET SOUTH	2	WATKINS, POL, ERNE & WILSON M 21 CENTRE STREET SOUTH ORANGE, NJ 07079	902 15	401 SOUTH ORANGE AVENUE	2	HALL, RICHARD B & JERELYN M, MACLAREN 401 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
901 6	25 CENTRE STREET SOUTH	2	WELLS, JENNIFER E & DAVID, ANDRE E 25 SOUTH CENTRE ST SOUTH ORANGE, NJ 07079	902 16	447 S ORANGE AVE	2	MACDONELL, PATRICIA 447 S ORANGE AVE SOUTH ORANGE, NJ 07079
901 7	29 CENTRE STREET SOUTH	2	JEFFREY, ROBERT A 29 CENTRE STREET SOUTH ORANGE, NJ 07079	902 17	443 S ORANGE AVE	2	BRIFRE, JOHN G & PIPATRICK, MAUREEN 443 S ORANGE AVE SOUTH ORANGE, NJ 07040
901 8	33 CENTRE STREET SOUTH	2	KALANICK, R & CARSON, BROOKE & JOSEPH 33 SO. CENTRE ST SOUTH ORANGE, NJ 07079	902 18	439 SOUTH ORANGE AVENUE	2	BRIFRE, JOHN G & PIPATRICK, MAUREEN 439 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07040
901 9	37 CENTRE STREET SOUTH	2	HALL, V & J, BOO TRUSTEES 37 SO. CENTRE ST SOUTH ORANGE, NJ 07079	902 19	437 SOUTH ORANGE AVENUE	2	BRIFRE, JOHN G & PIPATRICK, MAUREEN 437 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
901 10	69 CENTRE STREET SOUTH	2	BURRITT, CELSO 69 CENTRE STREET SOUTH ORANGE, NJ 07079	902 20	11 WARREN COURT	2	CLIFTON, ROBERT 11 WARREN COURT SOUTH ORANGE, NJ 07079
901 11	66 CENTRE ST S	2	DEGANNE, DENNIS & YVETTE, IRAM S 66 CENTRE STREET SOUTH ORANGE, NJ 07079	902 21	9 WARREN COURT	2	DAVIS, ROBERTA 9 WARREN COURT SOUTH ORANGE, NJ 07079
901 12	69 CENTRE STREET SOUTH	2	SANZONI, ROBERT & EABELLE J 69 CENTRE STREET SOUTH ORANGE, NJ 07079	902 22	497 SOUTH ORANGE AVENUE	2	WANDON, BRIAN 497 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
901 13	75 CENTRE STREET SOUTH	2	LEE, STEPHEN & KAPUR, LORA 75 CENTRE STREET SOUTH ORANGE, NJ 07079	902 17	491 SOUTH ORANGE AVENUE	15C	JUDICIAL/CHRISTIAN STUDIES FOUNDATION 491 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
901 14	101 CENTRE STREET SOUTH	2	WANDER, ROY WILDER LLC 101 CENTRE STREET SOUTH ORANGE, NJ 07079	902 18	483 SOUTH ORANGE AVENUE	2	WANDER, ROY WILDER LLC 483 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
901 15	105 CENTRE ST S	2	FRATIERI, ROBERTA LLC 1-OLD MILL ROAD 20 HARTMAN DRIVE SOUTH ORANGE, NJ 07079	902 19	2 ELM COURT OR OFFICE/FLAT	2	WANDER, ROY WILDER LLC 483 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
901 16	109 CENTRE STREET SOUTH	2	WANDER, ROY WILDER LLC 109 S. CENTRE ST SOUTH ORANGE, NJ 07079	902 20	10 ELAT COURT	2	DAVIE, JONAH & EILEA 10 ELAT COURT SOUTH ORANGE, NJ 07079
901 17	115 CENTRE STREET SOUTH	2	CLIFTON, ROBERT & ROBERT J 115 SOUTH CENTRE STREET SOUTH ORANGE, NJ 07079	904 14	384 TURRELL AVENUE	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
901 18	119 CENTRE ST S	2	LEAHY, DOUG, DEBRA 119 S CENTRE ST SOUTH ORANGE, NJ 07079	904 15	525-535 SO ORANGE AVENUE	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
901 19	125 CENTRE STREET SOUTH	2	ANDERSON, JILL & WALTER, GREGORY G 125 SOUTH CENTRE ST SOUTH ORANGE, NJ 07079	904 16	501 SOUTH ORANGE AVENUE	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079

## TOWNSHIP OF SOUTH ORANGE

PROPERTY ID	LOCATION	CLASS	OWNER NAME & ADDRESS
90 10	127 CENTRE STREET SOUTH	2	HERNDON, JODY V 127 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079
90 11	138 CENTRE STREET SOUTH	2	FLECK, DEBORAH JEAN COX 137 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079
90 12	137 CENTRE ST S	2	CARRINO, VINCENT L 141 FOREST DRIVE TORMA PARK, NJ 07062
90 13	141 CENTRE STREET SOUTH	2	HERNDON, REBECCA L & LUCIA L 141 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079
90 14	143 CENTRE STREET SOUTH	2	WITKIE, JAMES A & JENNIFER FRIEND 143 SOUTH CENTRE STREET SOUTH ORANGE, NJ 07079
90 15	146 CENTRE STREET SOUTH	2	LEE, RONALD & MARION ETHEL LEE 146 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079
90 16	161 CENTRE STREET SOUTH	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
90 17	165 CENTRE STREET SOUTH	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
90 18	446 WILDEN PLACE	15C	1555 COUNTRY PARK CONDOMINIUM 115 CULFORTH AVENUE NEWARK, NJ 07102
90 19	441 WILDEN PLACE	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
90 20	439 WILDEN PLACE	2	MCDOY, GERALD 439 WILDEN PLACE SOUTH ORANGE, NJ 07079
90 21	433 WILDEN PLACE	2	HERDMAN, WALTER & KATHLEEN M 433 WILDEN PLACE SOUTH ORANGE, NJ 07079
90 22	421 WILDEN PLACE	2	HENDERSON RESIDENTIAL LOAST SERVING 8011 BUCKINGHAM ROAD LAKE 101 LANCASTER, PA 17601
90 23	420 WILDEN PLACE	2	HERDMAN, WILFRED M, JR 420 WILDEN PLACE SOUTH ORANGE, NJ 07079
90 24	421 WILDEN PLACE	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
90 25	417 WILDEN PLACE	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
90 26	409 WILDEN PLACE	2	FOX, MIC C & TAYLOR K 409 WILDEN PLACE SOUTH ORANGE, NJ 07079
90 27	401 WILDEN PLACE	2	WANDER, 401 WILDEN LLC 100 SOUTH ORANGE AVE #218 SOUTH ORANGE, NJ 07079
90 28	401 WILDEN PLACE	2	WONG, CLAY 298 GLEN AVENUE SHIRAZ PHELPS, NJ 07076
90 29	382 WILDEN PLACE	2	WILSON, SCOTT 380 WILDEN PLACE SOUTH ORANGE, NJ 07079
90 30	381 WILDEN PLACE	2	WILSON, RANDOLPH & WILSON 381 WILDEN PLACE SOUTH ORANGE, NJ 07079
90 31	377 WILDEN PLACE	2	CHAPMAN, KATHY & MICHAEL, NICHOLAS 377 WILDEN PLACE SOUTH ORANGE, NJ 07079
90 32	373 WILDEN PLACE	2	BRIDCE, LEE PO BOX 201 ROSELAND, NJ 08068
90 33	371 WILDEN PLACE	2	RODRIGUEZ, JASON R & JOHANNE 371 WILDEN PLACE SOUTH ORANGE, NJ 07079
90 34	366 WILDEN PLACE	2	OWENS, JOHN & ERIKA 366 WILDEN PLACE SOUTH ORANGE, NJ 07079
90 35	366 WILDEN PLACE	2	CARTER, MICHELLE 366 WILDEN PLACE SOUTH ORANGE, NJ 07079
90 36	4 UNIVERSITY COURT	2	MCGRATH, WENDY 4 UNIVERSITY COURT SOUTH ORANGE, NJ 07079
90 37	14 UNIVERSITY COURT	2	RODRIGUEZ, JOSEPH & MICHELLE 14 UNIVERSITY COURT SOUTH ORANGE, NJ 07079
90 38	11 ELM COURT	2	FASTERBERG, JANET 11 ELM COURT SOUTH ORANGE, NJ 07079
90 39	5 ELM COURT	2	PERINTE, LEE HIGH & DEYANNA 5 ELM COURT SOUTH ORANGE, NJ 07079
90 40	620 SOUTH ORANGE AVENUE	2	DEWILDER, JOHN W & PATRICIA 620 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
90 41	451 SOUTH ORANGE AVENUE	2	HALL, RICHARD B. & JERILEY M. MACLAREN 451 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
90 42	447 S ORANGE AVE	2	MCDOONELL, PATRICIA 447 S ORANGE AVE SOUTH ORANGE, NJ 07079
90 43	445 S ORANGE AVENUE	2	SHIFFRIN, JONAS C & PATRICIA, MADRIEN 20 SOUTH CENTRE SOUTH ORANGE, NJ 07066
90 44	438 SOUTH ORANGE AVENUE	2	SHIFFRIN, JONAS C & PATRICIA, MADRIEN 20 SOUTH CENTRE SOUTH ORANGE, NJ 07066
90 45	437 SOUTH ORANGE AVENUE	2	SHIFFRIN, JONAS C & PATRICIA, MADRIEN 20 SOUTH CENTRE SOUTH ORANGE, NJ 07066
90 46	11 WARREN COURT	2	CRUTCH, ROBERT N 11 WARREN COURT SOUTH ORANGE, NJ 07079
90 47	9 WARREN COURT	2	KOZAK, BARBARA 9 WARREN COURT SOUTH ORANGE, NJ 07079
90 48	497 SOUTH ORANGE AVENUE	2	HANCOCK, BRIAN 497 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
90 49	491 SOUTH ORANGE AVENUE	15B	LOUGER, CHRISTINA STONES FOUNDATION 491 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
90 50	482 SOUTH ORANGE AVENUE	2	AGAG HOLDING, LLC 2 AGAG HOLDING COURT WOODLAND PARK, NJ 07424
90 51	2 ELM COURT DRYFOTD FLAT	2	POSSONNET, MARIE L & DENISE L 2 ELM COURT SOUTH ORANGE, NJ 07079
90 52	10 ELM COURT	2	NAV, JOHN & BELINDA, CHRISTINE F 10 ELM COURT SOUTH ORANGE, NJ 07079
90 53	384 TUNNELL AVENUE	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
90 54	525-525 SO ORANGE AVENUE	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079
90 55	521 SOUTH ORANGE AVENUE	15B	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079

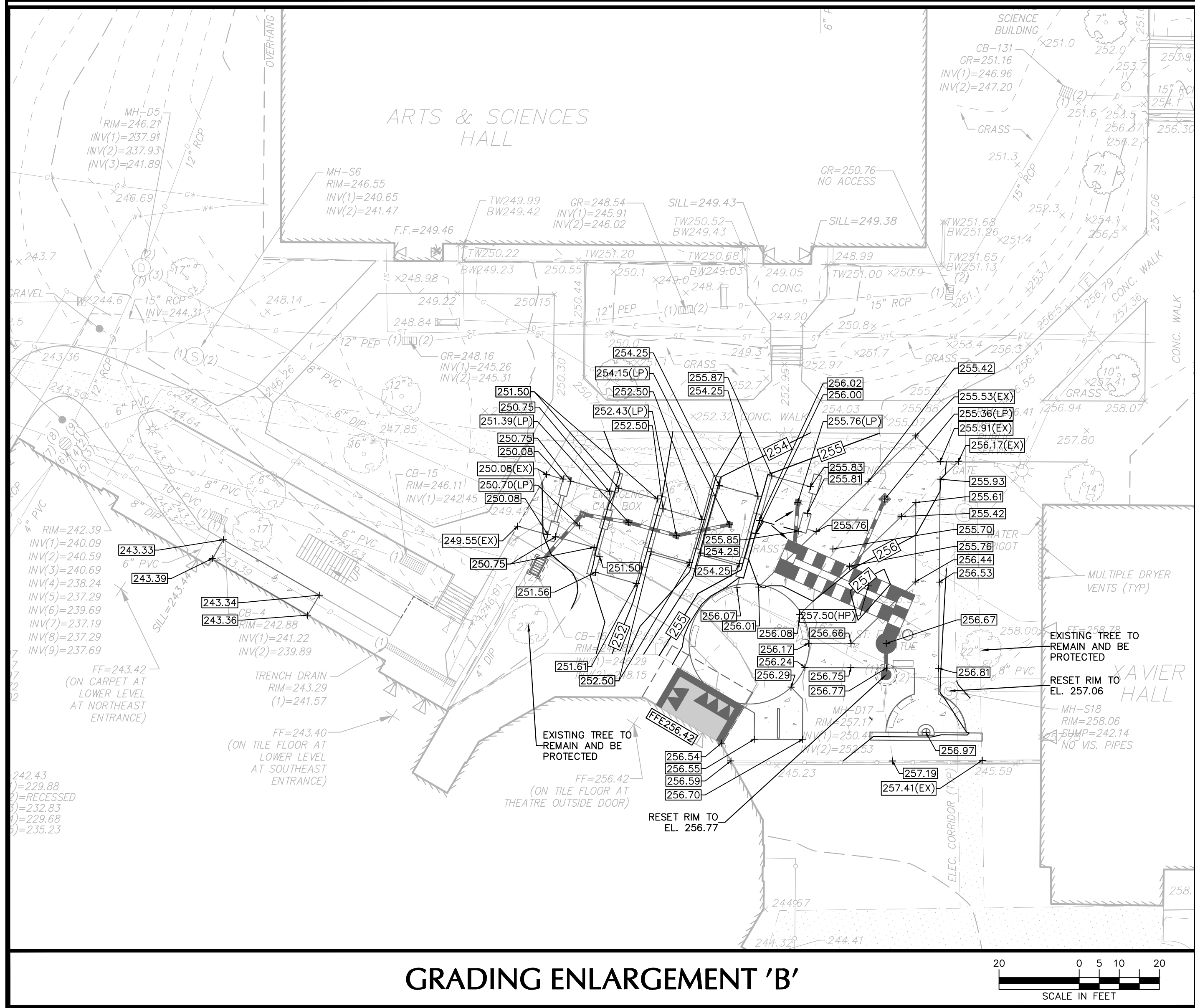




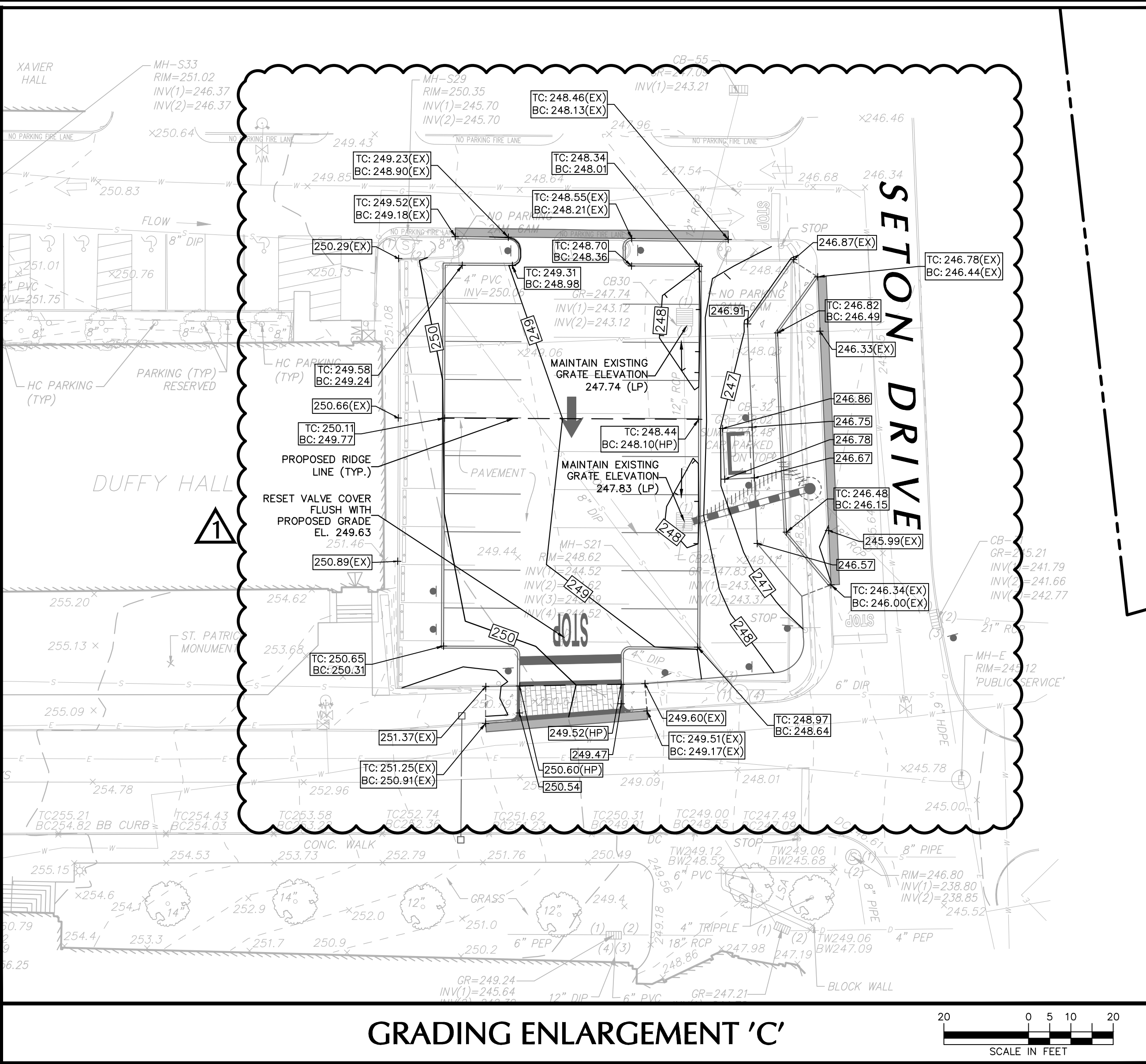
IMPERVIOUS COVERAGE SUMMARY	
PROPOSED INCREASE IN IMPERVIOUS COVERAGE (PHASE 1 - 2017):	0.18 AC
ADDITIONAL INCREASE IN IMPERVIOUS COVERAGE (PHASE 2 - 2021):	0.12 AC
TOTAL INCREASE IN IMPERVIOUS COVERAGE: 0.30 AC	
NOTES:	
1. DUFFY HALL PARKING LOT IMPROVEMENTS RESULT IN A 0.05 ACRE DECREASE IN IMPERVIOUS COVERAGE WITHIN THE ASSOCIATED WATERSHED.	
2. THE INCREASE IN IMPERVIOUS COVERAGE FOR THE UNIVERSITY CENTER WATERSHED IS 0.35 ACRES.	

Project <b>UNIVERSITY CENTER PHASE 2          RENOVATION &amp; ADDITION          SETON HALL UNIVERSITY</b> 400 SOUTH ORANGE AVENUE BLOCK NO. 901, LOT NO. 3 TOWNSHIP OF SOUTH ORANGE VILLAGE ESSEX COUNTY, NEW JERSEY	Drawing Title <div style="text-align: center; font-size: 2em; font-weight: bold;">SITE PLAN</div>	Project No. <div style="text-align: center; font-weight: bold;">100898001</div> Date <div style="text-align: center; font-weight: bold;">12/17/2020</div> Drawn By <div style="text-align: center; font-weight: bold;">BMW</div> Checked By <div style="text-align: center; font-weight: bold;">JED</div>	Drawing No. <div style="text-align: center; font-size: 2em; font-weight: bold;">CS101</div>
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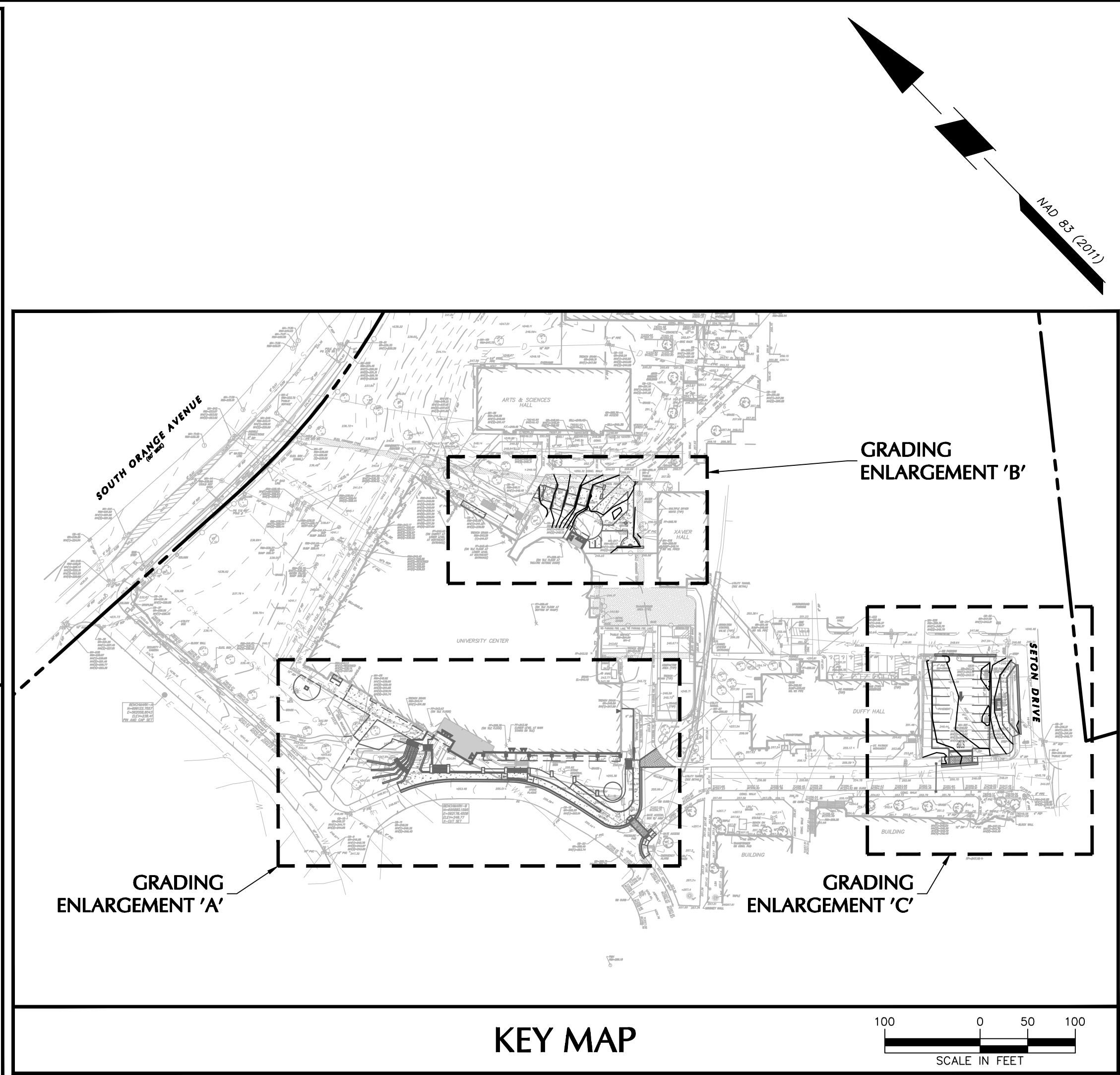




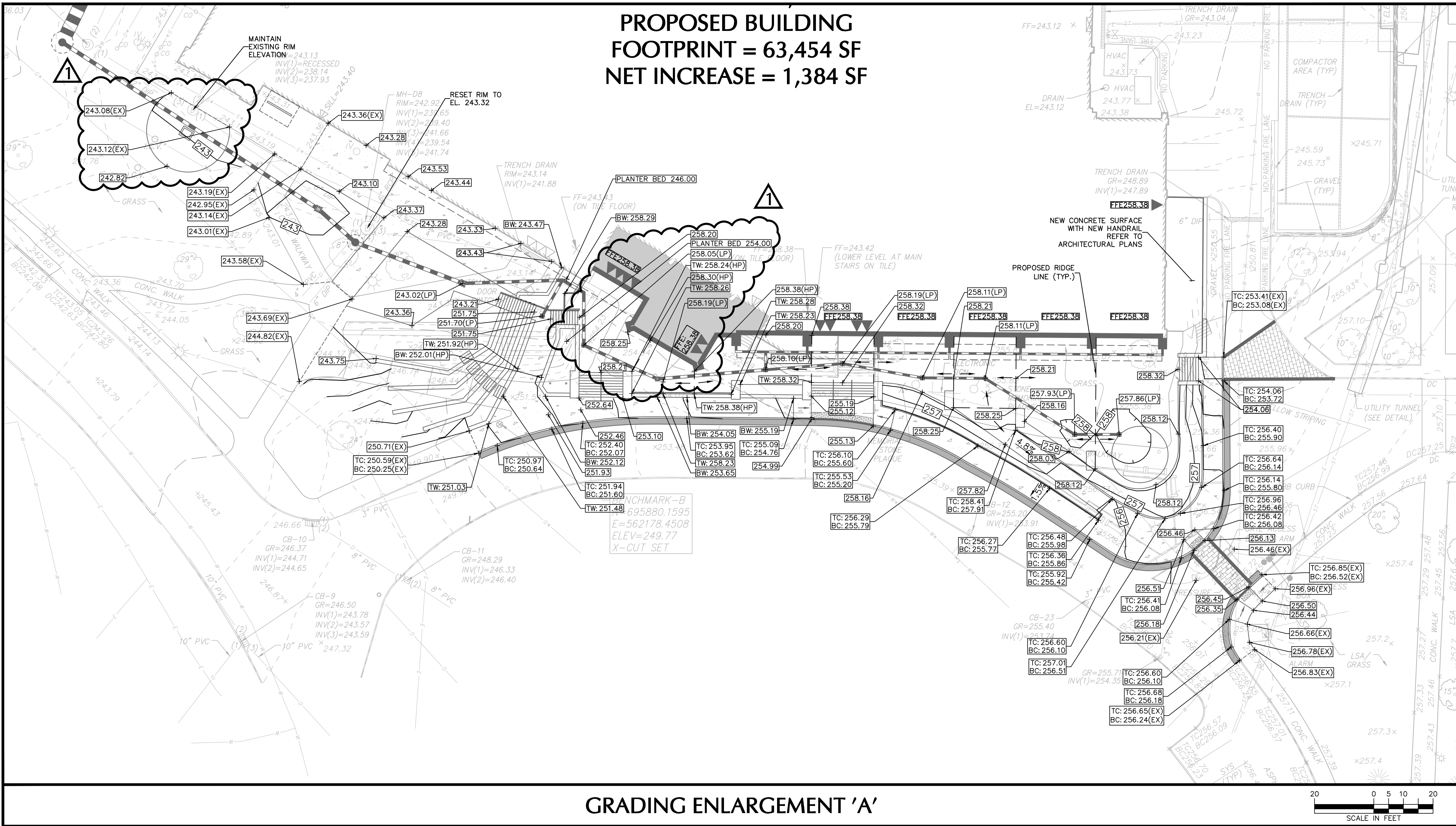
GRADING ENLARGEMENT 'B'



GRADING ENLARGEMENT 'C'



KEY MAP



GRADING ENLARGEMENT 'A'

LEGEND	
	PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP/BOTTOM OF CURB ELEVATION
	LAWN/SIDEWALK ELEVATION AT TOP/BOTTOM OF WALL
	PROPOSED LOW POINT
	PROPOSED HIGH POINT
	PROPOSED FLOW DIRECTION
	PROPOSED RIDGE LINE
	PROPOSED DRAINAGE PIPE
	PROPOSED CATCH BASIN
	PROPOSED DRAINAGE MANHOLE

- REFERENCE NOTES:
- EXISTING SURVEY AND TOPOGRAPHIC INFORMATION OBTAINED FROM A PLAN TITLED "PARTIAL TOPOGRAPHIC SURVEY SETON HALL, PHASE 2" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. ON 15 DECEMBER 2020.
  - PROPOSED BUILDING FOOTPRINT OBTAINED ELECTRONICALLY FROM CCH ARCHITECTS ON 15 DECEMBER 2020.
  - THE MERIDIAN OF THE SURVEY IS REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83 (2011).
  - ELEVATIONS SHOWN ARE REFERENCED TO THE PLAN TITLED "UTILITY CLEARANCE SURVEY RESULTS, SETON HALL UNIVERSITY, SOUTH ORANGE, NJ PREPARED BY ENVIROMAX, INC., DATED AUGUST 8, 2008".

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1/20/21

REVISED PER TECHNICAL REVIEW MEETING COMMENTS	1	
Date	Description	No.
Revisions		

Project  
**UNIVERSITY CENTER PHASE 2 RENOVATION & ADDITION SETON HALL UNIVERSITY**  
400 SOUTH ORANGE AVENUE  
BLOCK NO. 901, LOT NO. 3  
TOWNSHIP OF SOUTH ORANGE VILLAGE  
ESSEX COUNTY  
NEW JERSEY

Drawing Title  
**GRADING PLAN**

Project No.  
**100898001**

Date  
**12/17/2020**

Drawn By  
**BMW**

Checked By  
**JED**

Drawing No.  
**CG101**



DRAINAGE STRUCTURE SCHEDULE	
Seton Hall University Center Phase 2	
Renovation & Addition	
Structure ID	Structure Type
YD-101	ZURN Z158 SQUARE DECK DRAIN
YD-102	ZURN Z158 SQUARE DECK DRAIN
YD-103	ZURN Z158 SQUARE DECK DRAIN
YD-104	ZURN Z158 SQUARE DECK DRAIN
YD-105	ZURN Z158 SQUARE DECK DRAIN
YD-106	ZURN Z158 SQUARE DECK DRAIN
YD-107	ZURN Z158 SQUARE DECK DRAIN
YD-108	ZURN Z158 SQUARE DECK DRAIN
YD-109	ZURN Z158 SQUARE DECK DRAIN
YD-110	15" NYLOPLAST DRAIN BASIN
YD-111	15" NYLOPLAST DRAIN BASIN
CO-101	CLEANOUT
CO-102	CLEANOUT
MH-101	4' I.D. CONCRETE MANHOLE
MH-102	6' I.D. CONCRETE MANHOLE
OCS-101	SEE DETAIL
YD-201	15" NYLOPLAST DRAIN BASIN
YD-202	ZURN Z158 SQUARE DECK DRAIN
YD-203	ZURN Z158 SQUARE DECK DRAIN
YD-204	ZURN Z158 SQUARE DECK DRAIN
YD-205	ZURN Z158 SQUARE DECK DRAIN
YD-206	ZURN Z158 SQUARE DECK DRAIN
STUB-201	STUB CONNECTION
STUB-202	STUB CONNECTION
OCS-201	SEE DETAIL
MH-301	4' I.D. CONCRETE MANHOLE

Note:  
Contractor shall submit shop drawings to the engineer of record for review and approval prior to commencement of construction.



## GRADING AND DRAINAGE NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE SHEET CE101 FOR EROSION CONTROL MEASURES.
- SET PIPES AND STRUCTURES TO ELEVATIONS AND GRADES SHOWN ON THE DRAWINGS.
- MINIMUM DEPTH OF COVER FOR ALL STORM SEWER PIPES IS 2 FEET OR AS SPECIFIED BY THE MANUFACTURER.
- ALL CONCRETE DRAINAGE STRUCTURES SHALL BE PRECAST IN ACCORDANCE WITH NADOT SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- CATCH BASIN AND MANHOLE STRUCTURES ARE NOT SHOWN TO SCALE.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS AND SIZES OF ALL ROOF LEADERS AND COORDINATE WITH PROPOSED STORMWATER SYSTEM PRIOR TO INSTALLATION.
- ALL ROOF DRAINS TO BUILDING SHALL BE BROUGHT TO FIVE FEET OUTSIDE THE BUILDING LIMITS BY THE SITE CONTRACTOR AND SHALL BE PROVIDED WITH A TEMPORARY FLUG AT THE END. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF PIPING WITHIN FIVE FEET OF BUILDING AND CONNECTION OF BUILDING LATERALS TO SITE DRAINAGE SYSTEM.
- CLEANOUTS SHALL BE PROVIDED FLUSH AT ALL LOCATIONS OF ROOF DRAIN INTERSECTIONS, BENDS AND UPSTREAM ENDS.
- CONTRACTOR SHALL PROVIDE 24"x24"x8" THICK CONCRETE APRON AT ALL CLEANOUTS OUTSIDE OF BUILDING UNLESS MUNICIPAL REQUIREMENTS DICTATE OTHERWISE.
- THE CONTRACTOR SHALL FLUSH AND CLEAN ALL EXISTING ON-SITE STORM PIPING AND STRUCTURES THAT ARE TO REMAIN WITHIN THE LIMITS OF WORK OR AS INDICATED ON THE PLANS.
- COMPACTION CRITERIA FOR FILL PLACED IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA IS GIVEN ELSEWHERE (INCLUDING GEOTECHNICAL REPORT):

FILL AREA	% OF MAXIMUM MODIFIED PROCTOR DRY DENSITY
BUILDING FOOTINGS	95%
BUILDING FOOTPRINT, PAVEMENT, SIDEWALKS, AND ROADWAYS	95%
UNSCAPED AREAS	92%
TRENCH BACKFILL	95%
- PROTECT SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION, INCLUDING CONCRETE TRUCKS AND DUMP TRUCKS.
- REMOVE AREAS OF FINISHED SUBGRADE FOUND TO BE UNSATISFACTORY BY OWNER'S ENGINEER AND REPLACE IN A MANNER THAT WILL COMPLY WITH COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THAN BEST SUBGRADE MATERIAL ON SITE. SURFACE OF SUBGRADE AFTER COMPACTION SHALL BE HARD, UNIFORM, SMOOTH, STABLE, AND TRUE TO GRADE AND CROSS-SECTION AND SHALL NOT RUT OR WEAVE WHEN LOADED WITH A FULL DUMP TRUCK.
- STORMWATER PIPES CONFLICTING WITH THE PROPOSED SITE IMPROVEMENTS SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
- ALL PROPOSED STORM DRAINAGE PIPING SHALL BE TEMPORARILY PROTECTED WITH REQUIRED MINIMUM COVER FOR CONSTRUCTION.
- ALL PROPOSED STORM DRAINAGE TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- PIPE LENGTHS SHOWN REPRESENT PLANAR LENGTHS MEASURED FROM CENTER-OF-STRUCTURE TO CENTER-OF-STRUCTURE.
- PLAN AND PROFILE STRUCTURES ARE SYMBOLS THAT ARE PROVIDED FOR REFERENCE, AND ARE NOT TO BE USED AS THE BASIS FOR CONSTRUCTION. CONTRACTOR SHALL PROVIDE DRAWINGS OF ALL DRAINAGE, SANITARY, AND UTILITY STRUCTURES TO ENGINEER.
- HPIPE PIPING SHALL CONFORM TO AASHTO M 294 AND IS TYPE S (SMOOTH INTERIOR WITH ANNUAL CORRUGATIONS) WITH GASKETED WATER-TIGHT JOINTS.
- ROP PIPING SHALL CONFORM TO A.S.T.M SPECIFICATIONS C76-81 CLASS III.
- ABBREVIATIONS:  
BC = BOTTOM OF CURB  
BW = LAWN/SIDEWALK ELEVATION AT BOTTOM OF WALL  
CB = CATCH BASIN  
DIP = DUCTILE IRON PIPE  
GR = GRADE ELEVATION  
HP = HIGH POINT  
INV = INVERT  
LF = LINEAR FEET  
LP = LOW POINT  
MH = MANHOLE  
PVC = POLYVINYL CHLORIDE  
RCP = REINFORCED CONCRETE PIPE  
RIM = RIM ELEVATION  
RL = ROOF LEADER  
TC = TOP OF CURB  
TW = LAWN/SIDEWALK ELEVATION AT TOP OF WALL

SOUTH ORANGE AVENUE  
(60' WIDE)

SETON DRIVE

LEGEND	
	PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED DRAINAGE PIPE
	PROPOSED CATCH BASIN
	PROPOSED DRAINAGE MANHOLE

## DRAINAGE FACILITY MAINTENANCE SCHEDULE

### STORMWATER CONVEYANCE SYSTEM

- INLETS, MANHOLES AND PIPES SHALL BE INSPECTED FOR CLOGGING AND EXCESSIVE DEBRIS AND SEDIMENT ACCUMULATION AT LEAST ANNUALLY AS WELL AS AFTER EVERY STORM EXCEEDING 2 INCHES OF RAINFALL. DEBRIS AND SEDIMENT SHOULD BE REMOVED WHEN ENCOUNTERED DURING INSPECTIONS.
- ALL STRUCTURAL COMPONENTS MUST BE INSPECTED FOR CRACKING, SUBSIDENCE, BREACHING, WEARING, AND DETERIORATION AT LEAST ANNUALLY.
- THE CONDITION OF SURROUNDING AND ABOVE LYING MATERIALS SHALL BE INSPECTED FOR EVIDENCE OF POTENTIAL FAILURES OR DETERIORATION DURING EACH INSPECTION NOTED ABOVE.

### STORMWATER DETENTION SYSTEM

- INLETS, MANHOLES AND PIPES SHALL BE INSPECTED FOR CLOGGING AND EXCESSIVE DEBRIS AND SEDIMENT ACCUMULATION AT LEAST ANNUALLY.
- DEBRIS AND SEDIMENT SHOULD BE REMOVED WHEN ENCOUNTERED DURING INSPECTIONS.
- ALL STRUCTURAL COMPONENTS MUST BE INSPECTED FOR CRACKING, SUBSIDENCE, BREACHING, WEARING, AND DETERIORATION AT LEAST ANNUALLY.
- THE CONDITION OF SURROUNDING AND ABOVE LYING MATERIALS SHALL BE INSPECTED FOR EVIDENCE OF POTENTIAL FAILURES OR DETERIORATION DURING EACH INSPECTION NOTED ABOVE.

30 0 15 30  
SCALE IN FEET

Date	Description	No.
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Project  
**UNIVERSITY CENTER PHASE 2**  
**RENOVATION & ADDITION**  
**SETON HALL UNIVERSITY**  
400 SOUTH ORANGE AVENUE  
BLOCK NO. 901, LOT NO. 3  
TOWNSHIP OF SOUTH ORANGE VILLAGE  
NEW JERSEY

Drawing Title  
**DRAINAGE PLAN**

Project No.  
**10098001**

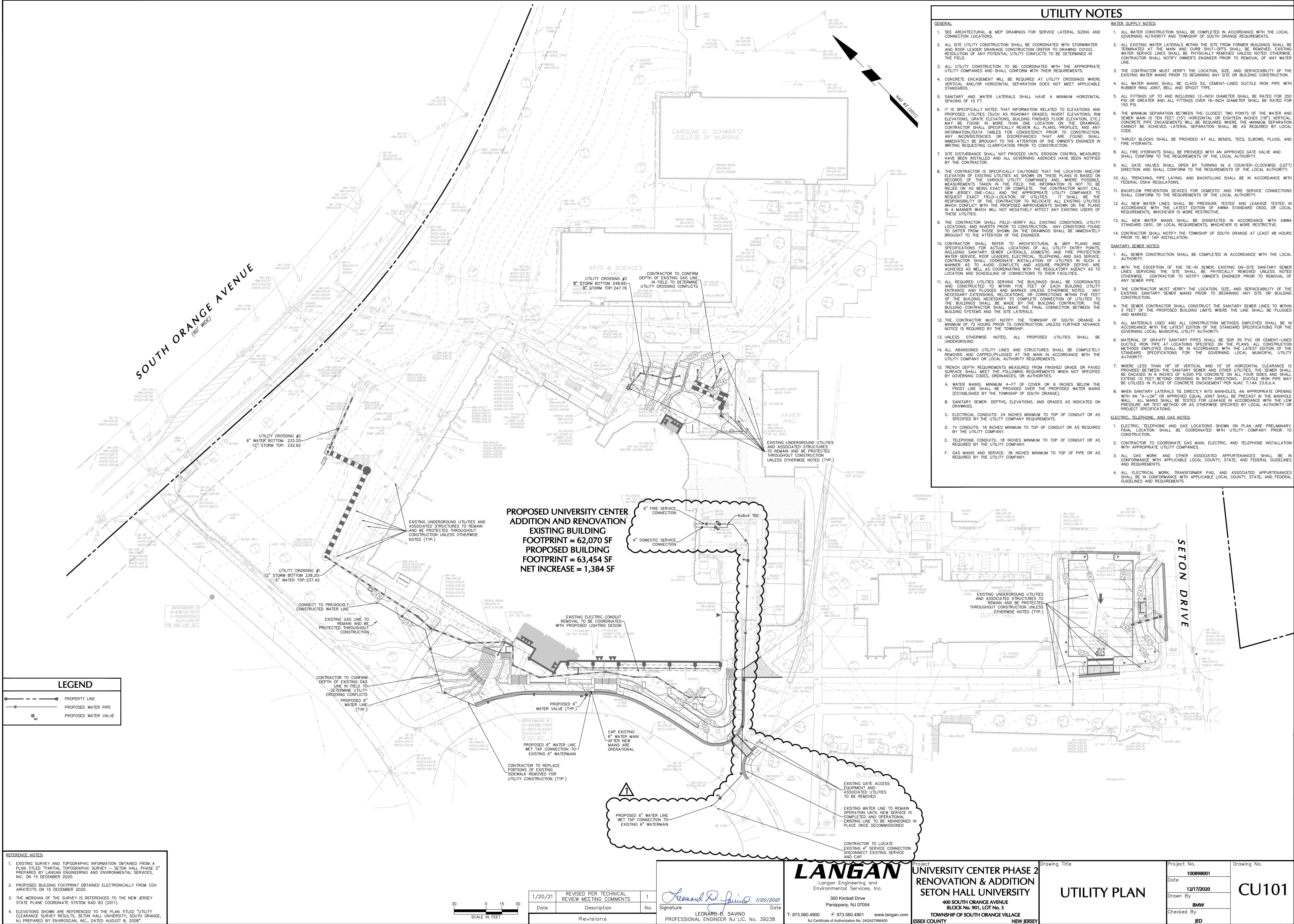
Date  
**12/17/2020**

Drawn By  
**BMW**

Checked By  
**JED**

Drawing No.  
**CG102**





UTILITY NOTES

- GENERAL**
- SEE ARCHITECTURAL & MEP DRAWINGS FOR SERVICE LATERAL SIZING AND CONNECTION LOCATIONS.
  - ALL SITE UTILITY CONSTRUCTION SHALL BE COORDINATED WITH STORMWATER AND ROOF LEADER DRAINAGE CONSTRUCTION (REFER TO DRAWING C0102).
  - ALL UTILITY CONSTRUCTION TO BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES AND SHALL CONFORM WITH THEIR REQUIREMENTS.
  - CONCRETE ENCASUREMENT WILL BE REQUIRED AT UTILITY CROSSINGS WHERE VERTICAL AND/OR HORIZONTAL SEPARATION DOES NOT MEET APPLICABLE STANDARDS.
  - SANITARY AND WATER LATERALS SHALL HAVE A MINIMUM HORIZONTAL SPACING OF 10 FT.
  - IT IS SPECIFICALLY NOTED THAT INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATION, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION ON THE DRAWINGS. CONTRACTOR SHALL SPECIFICALLY REVIEW ALL PLANS, PROFILES, AND ANY INFORMATION/DATA TABLES FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S ENGINEER IN WRITING REQUESTING CLARIFICATION PRIOR TO CONSTRUCTION.
  - SITE DISTURBANCE SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ALL GOVERNING AGENCIES HAVE BEEN NOTIFIED BY THE CONTRACTOR.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW JERSEY ONE-CALL AND THE APPROPRIATE UTILITY COMPANIES TO REQUEST EXACT FIELD-LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
  - THE CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL & MEP PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRY POINTS, INCLUDING SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ROOF LEADERS, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
  - ALL REQUIRED UTILITIES SERVING THE BUILDINGS SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN FIVE FEET OF EACH BUILDING UTILITY ENTRANCE AND PLUGGED AND MARKED UNLESS OTHERWISE NOTED. ANY NECESSARY EXTENSIONS, RELOCATIONS, OR CORRECTIONS WITHIN FIVE FEET OF THE BUILDING NECESSARY TO COMPLETE CONNECTION OF UTILITIES TO THE BUILDINGS SHALL BE MADE BY THE BUILDING CONTRACTOR. THE BUILDING CONTRACTOR SHALL MAKE THE FINAL CONNECTION BETWEEN THE BUILDING SYSTEMS AND THE SITE LATERALS.
  - THE CONTRACTOR MUST NOTIFY THE TOWNSHIP OF SOUTH ORANGE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, UNLESS FURTHER ADVANCE NOTICE IS REQUIRED BY THE TOWNSHIP.
  - UNLESS OTHERWISE NOTED, ALL PROPOSED UTILITIES SHALL BE UNDERGROUND.
  - ALL ABANDONED UTILITY LINES AND STRUCTURES SHALL BE COMPLETELY REMOVED AND CAPPED/PLUGGED AT THE MAIN IN ACCORDANCE WITH THE UTILITY COMPANY OR LOCAL AUTHORITY REQUIREMENTS.
  - TRENCH DEPTH REQUIREMENTS MEASURED FROM FINISHED GRADE OR PAVED SURFACE SHALL MEET THE FOLLOWING REQUIREMENTS WHEN NOT SPECIFIED BY GOVERNING CODES, ORDINANCES, OR AUTHORITIES.
    - WATER MAINS: MINIMUM 4'-FT OF COVER OR 6 INCHES BELOW THE FROST LINE. SHALL BE PROVIDED OVER THE PROPOSED WATER MAINS (ESTABLISHED BY THE TOWNSHIP OF SOUTH ORANGE).
    - SANITARY SEWER: DEPTHS, ELEVATIONS, AND GRADES AS INDICATED ON DRAWINGS.
    - ELECTRICAL CONDUITS: 24 INCHES MINIMUM TO TOP OF CONDUIT OR AS SPECIFIED BY THE UTILITY COMPANY REQUIREMENTS.
    - TV CONDUITS: 18 INCHES MINIMUM TO TOP OF CONDUIT OR AS REQUIRED BY THE UTILITY COMPANY.
    - TELEPHONE CONDUITS: 18 INCHES MINIMUM TO TOP OF CONDUIT OR AS REQUIRED BY THE UTILITY COMPANY.
    - GAS MAINS AND SERVICE: 36 INCHES MINIMUM TO TOP OF PIPE OR AS REQUIRED BY THE UTILITY COMPANY.
- WATER SUPPLY NOTES:**
- ALL WATER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL GOVERNING AUTHORITY AND TOWNSHIP OF SOUTH ORANGE REQUIREMENTS.
  - ALL EXISTING WATER LATERALS WITHIN THE SITE FROM FORMER BUILDINGS SHALL BE TERMINATED AT THE MAIN AND CURB SHUT-OFFS SHALL BE REMOVED. EXISTING WATER SERVICE LINES SHALL BE PHYSICALLY REMOVED UNLESS NOTED OTHERWISE. CONTRACTOR SHALL NOTIFY OWNER'S ENGINEER PRIOR TO REMOVAL OF ANY WATER LINE.
  - THE CONTRACTOR MUST VERIFY THE LOCATION, SIZE, AND SERVICEABILITY OF THE EXISTING WATER MAINS PRIOR TO BEGINNING ANY SITE OR BUILDING CONSTRUCTION.
  - ALL WATER MAINS SHALL BE CLASS 52, CEMENT-LINED DUCTILE IRON PIPE WITH RUBBER RING JOINT, BELL AND SPIGOT TYPE.
  - ALL FITTINGS UP TO AND INCLUDING 12-INCH DIAMETER SHALL BE RATED FOR 250 PSI OR GREATER AND ALL FITTINGS OVER 16-INCH DIAMETER SHALL BE RATED FOR 150 PSI.
  - THE MINIMUM SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER MAIN IS TEN FEET (10') HORIZONTAL OR EIGHTEEN INCHES (18") VERTICAL. CONCRETE PIPE ENCASUREMENTS WILL BE REQUIRED WHERE THE MINIMUM SEPARATION CANNOT BE ACHIEVED. LATERAL SEPARATION SHALL BE AS REQUIRED BY LOCAL CODE.
  - THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, ELBOWS, PLUGS, AND FIRE HYDRANTS.
  - ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED GATE VALVE AND SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL AUTHORITY.
  - ALL GATE VALVES SHALL OPEN BY TURNING IN A COUNTER-CLOCKWISE (LEFT) DIRECTION AND SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL AUTHORITY.
  - ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
  - BACKFLOW PREVENTION DEVICES FOR DOMESTIC AND FIRE SERVICE CONNECTIONS SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL AUTHORITY.
  - ALL NEW WATER LINES SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C650, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE.
  - ALL NEW WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE.
  - CONTRACTOR SHALL NOTIFY THE TOWNSHIP OF SOUTH ORANGE AT LEAST 48 HOURS PRIOR TO WET TAP INSTALLATION.
- SANITARY SEWER NOTES:**
- ALL SEWER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL AUTHORITY.
  - WITH THE EXCEPTION OF THE TIE-IN SEWER, EXISTING ON-SITE SANITARY SEWER LINES SERVICING THE SITE SHALL BE PHYSICALLY REMOVED UNLESS NOTED OTHERWISE. CONTRACTOR TO NOTIFY OWNER'S ENGINEER PRIOR TO REMOVAL OF ANY SEWER PIPE.
  - THE CONTRACTOR MUST VERIFY THE LOCATION, SIZE, AND SERVICEABILITY OF THE EXISTING SANITARY SEWER MAINS PRIOR TO BEGINNING ANY SITE OR BUILDING CONSTRUCTION.
  - THE SEWER CONTRACTOR SHALL CONSTRUCT THE SANITARY SEWER LINES TO WITHIN 5 FEET OF THE PROPOSED BUILDING LIMITS WHERE THE LINE SHALL BE PLUGGED AND MARKED.
  - ALL MATERIALS USED AND ALL CONSTRUCTION METHODS EMPLOYED SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR THE GOVERNING LOCAL MUNICIPAL UTILITY AUTHORITY.
  - MATERIAL OF GRANTY SANITARY PIPES SHALL BE SDR 35 PVC OR CEMENT-LINED DUCTILE IRON PIPE AT LOCATIONS SPECIFIED ON THE PLANS. ALL CONSTRUCTION METHODS EMPLOYED SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR THE GOVERNING LOCAL MUNICIPAL UTILITY AUTHORITY.
  - WHERE LESS THAN 18" OF VERTICAL AND 10' OF HORIZONTAL CLEARANCE IS PROVIDED BETWEEN THE SANITARY SEWER AND OTHER UTILITIES, THE SEWER SHALL BE ENCASED IN 6 INCHES OF 4,500 PSI CONCRETE ON ALL FOUR SIDES AND SHALL EXTEND 10 FEET BEYOND CROSSING IN BOTH DIRECTIONS. DUCTILE IRON PIPE MAY BE UTILIZED IN PLACE OF CONCRETE ENCASUREMENT PER NJAC 7:14A 23.6.4.
  - WHEN SANITARY LATERALS TIE DIRECTLY INTO MANHOLES, AN APPROPRIATE OPENING WITH AN "A" LOCK OR APPROVED EQUAL JOINT SHALL BE PRECAST IN THE MANHOLE WALL. ALL MAINS SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LOW PRESSURE AIR TEST METHOD OR AS OTHERWISE SPECIFIED BY LOCAL AUTHORITY OR PROJECT SPECIFICATIONS.
- ELECTRIC, TELEPHONE, AND GAS NOTES:**
- ELECTRIC, TELEPHONE AND GAS LOCATIONS SHOWN ON PLAN ARE PRELIMINARY. FINAL LOCATION SHALL BE COORDINATED WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO COORDINATE GAS MAIN, ELECTRIC, AND TELEPHONE INSTALLATION WITH APPROPRIATE UTILITY COMPANIES.
  - ALL GAS WORK AND OTHER ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE, AND FEDERAL GUIDELINES AND REQUIREMENTS.
  - ALL ELECTRICAL WORK, TRANSFORMER PAD, AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE, AND FEDERAL GUIDELINES AND REQUIREMENTS.

LEGEND	
	PROPERTY LINE
	PROPOSED WATER PIPE
	PROPOSED WATER VALVE

REFERENCE NOTES:	
1. EXISTING SURVEY AND TOPOGRAPHIC INFORMATION OBTAINED FROM A PLAN TITLED "PARTIAL TOPOGRAPHIC SURVEY - SETON HALL, PHASE 2" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. ON 15 DECEMBER 2020.	
2. PROPOSED BUILDING FOOTPRINT OBTAINED ELECTRONICALLY FROM CCH ARCHITECTS ON 15 DECEMBER 2020.	
3. THE MERIDIAN OF THE SURVEY IS REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83 (2011).	
4. ELEVATIONS SHOWN ARE REFERENCED TO THE PLAN TITLED "UTILITY CLEARANCE SURVEY RESULTS, SETON HALL UNIVERSITY, SOUTH ORANGE, NJ PREPARED BY ENVIROSCAN, INC., DATED AUGUST 8, 2008".	

Date	Description	No.
1/20/21	REVISED PER TECHNICAL REVIEW MEETING COMMENTS	1
Revisions		

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Signature: *Leonard D. Savino* Date: 1/20/2021  
LEONARD D. SAVINO  
PROFESSIONAL ENGINEER NJ LIC. No. 39238

Project	UNIVERSITY CENTER PHASE 2 RENOVATION & ADDITION SETON HALL UNIVERSITY	Drawing Title	UTILITY PLAN
Project No.	100989001	Project No.	100989001
Date	12/17/2020	Date	12/17/2020
Drawn By	BMW	Drawn By	BMW
Checked By	JED	Checked By	JED
Project No.	100989001	Drawing No.	CU101



