

PROPOSED CHILDREN INDOOR PLAYGROUND
"THE LOCAL PLAYGROUND"
FOR
TANIA RODDI & LOURDES NAVARRO
468 VALLEY STREET
BLOCK 2215 - LOT 26
TOWNSHIP OF SOUTH ORANGE VILLAGE
NEW JERSEY



Nugget Couch
Low Couch for Kids
3 to 4 units



Puzzle Blocks
10 Sets



Playform swing
1 Unit



2 Ball Pit Units
500 Balls each



Playdoh Cans
500 Cans



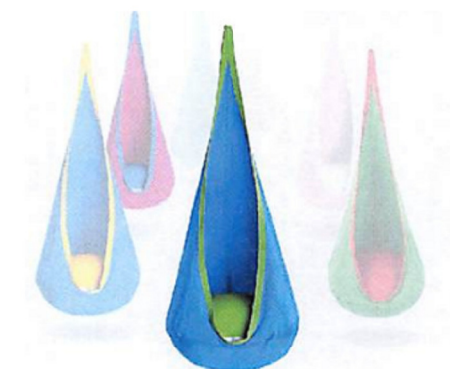
Acrobat Swing
2 Units



Magnet Blocks
250 blocks



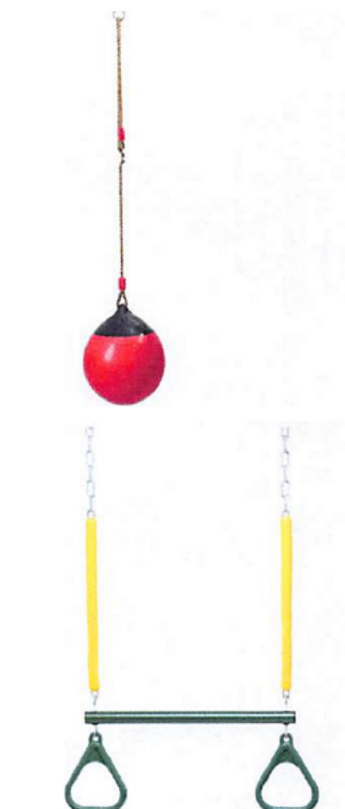
Sand Pit
2 Sand Pits



Snuggle Swing
4 Units



Low Equipment for Babies
2 full Sets



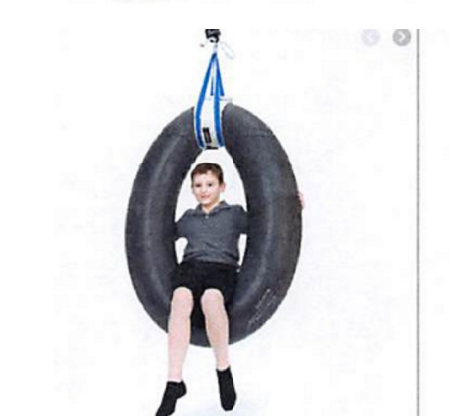
Moon Ball Swing
2 Units

Buoy Swing
2 Swings



Trapeeze Bar
1 Unit

Tube Swing
2 Units



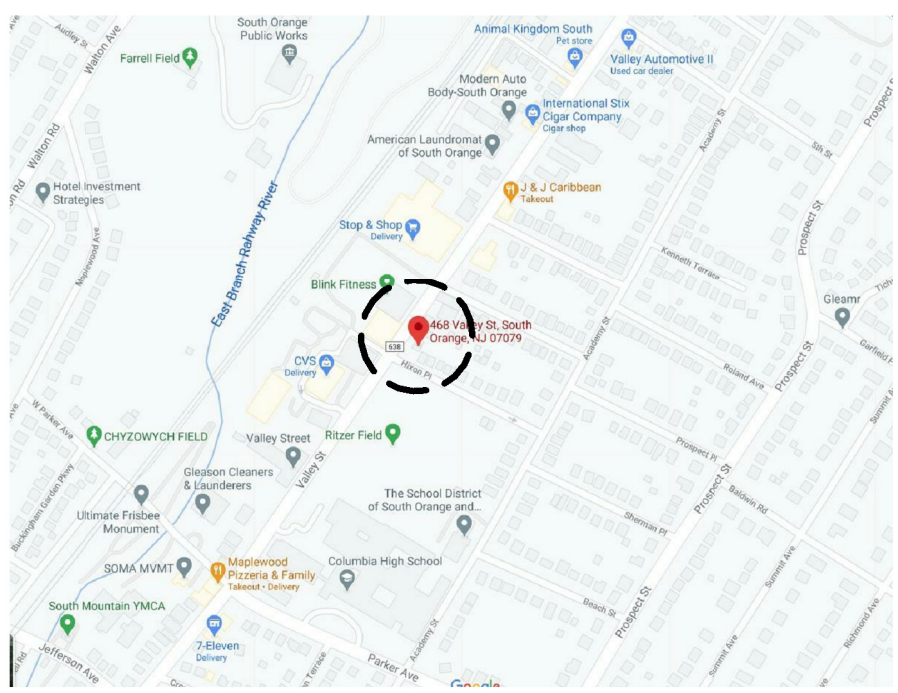
People Eater
1 Unit



Sensory Tower
Bubble Sensory Tower
2 towers



Balancing Rocks
50 sets



LOCATION MAP

SEE SITE ENGINEER DRAWINGS
FOR ANY SITE INFORMATION

APPROVAL BLOCK

THE TOWNSHIP OF SOUTH ORANGE VILLAGE PLANNING BOARD APPROVED
THESE PLANS AND ELEVATIONS BY MEMORIALIZING RESOLUTION AT ITS
REGULAR MEETING ON _____

PLEASE SEE AFFIXED RESOLUTION FOR ANY ADDITIONAL CONDITIONS OF
APPROVAL SET BY THE BOARD.

| | | | |
|-----------------|-------|------|-------|
| Board Secretary | _____ | Date | _____ |
| Board Engineer | _____ | Date | _____ |
| Board Chairman | _____ | Date | _____ |

OWNER:
TANIA RODDI & LOURDES NAVARRO
256 PROSPECT STREET
SOUTH ORANGE, NJ 07079
T: (646) 884-1923

SITE ENGINEER:
BOHLER ENGINEERING
Robert Streker, P.E.
30 Independence Blvd., Suite 200
Warren, NJ 07059
o 908-668-8300
c 908-625-9346
rstreker@bohlereng.com

ATTORNEY:
JAY B. BOHN, ESQ.
SCHILLER, PITTINGER & GALVIN, P.C.
1771 FRONT STREET, SUITE D
SCOTCH PLAINS, NEW JERSEY 07076
VOICE: 908-490-0444 EXT. 239
FAX: 908-490-0425
E-MAIL: jbohn@schiller.law

TRAFFIC ENGINEER:
DYNAMIC TRAFFIC
Joe Staigar
245 Main Street | Suite 110
Chester, New Jersey 07930
PH: (732) 681-0760 Ext. 2103
Fax: (908) 879-0222

ARCHITECT:
JOSE CARBALLO ARCHITECTURAL GROUP, P.C.
171 MAIN STREET, SUITE 301
HACKENSACK, NJ 07601
T: 201-678-1201
F: 201-678-1209

2 INDOOR PLAYGROUND EQUIPMENT



1 EXISTING VIEWS

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE, REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

| REV | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |

ISSUE FOR SD:
ISSUE FOR DD:
ISSUE FOR PLANNING BD: 3/16/2021
ISSUE FOR PERMIT:
ISSUE FOR CONSTRUCTION:

NOTES:
ISSUE FOR DESIGN REVIEW BOARD: 3/9/2021
ISSUE FOR TECHNICAL REVIEW MEETING: 1/21/2021

JCAgroup
JOSE CARBALLO ARCHITECTURAL GROUP, P.C.

171 Main Street, Suite 301
Hackensack, New Jersey 07601

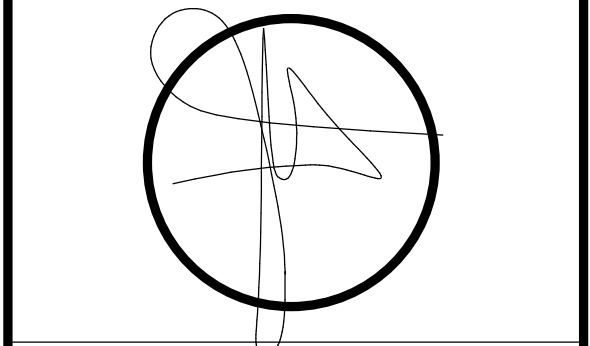
T. 201.678.1201
F. 201.678.1209
E. email@jcarballo.com
W. www.jcarballo.com

PROJECT
PROPOSED CHILDREN INDOOR
PLAYGROUND

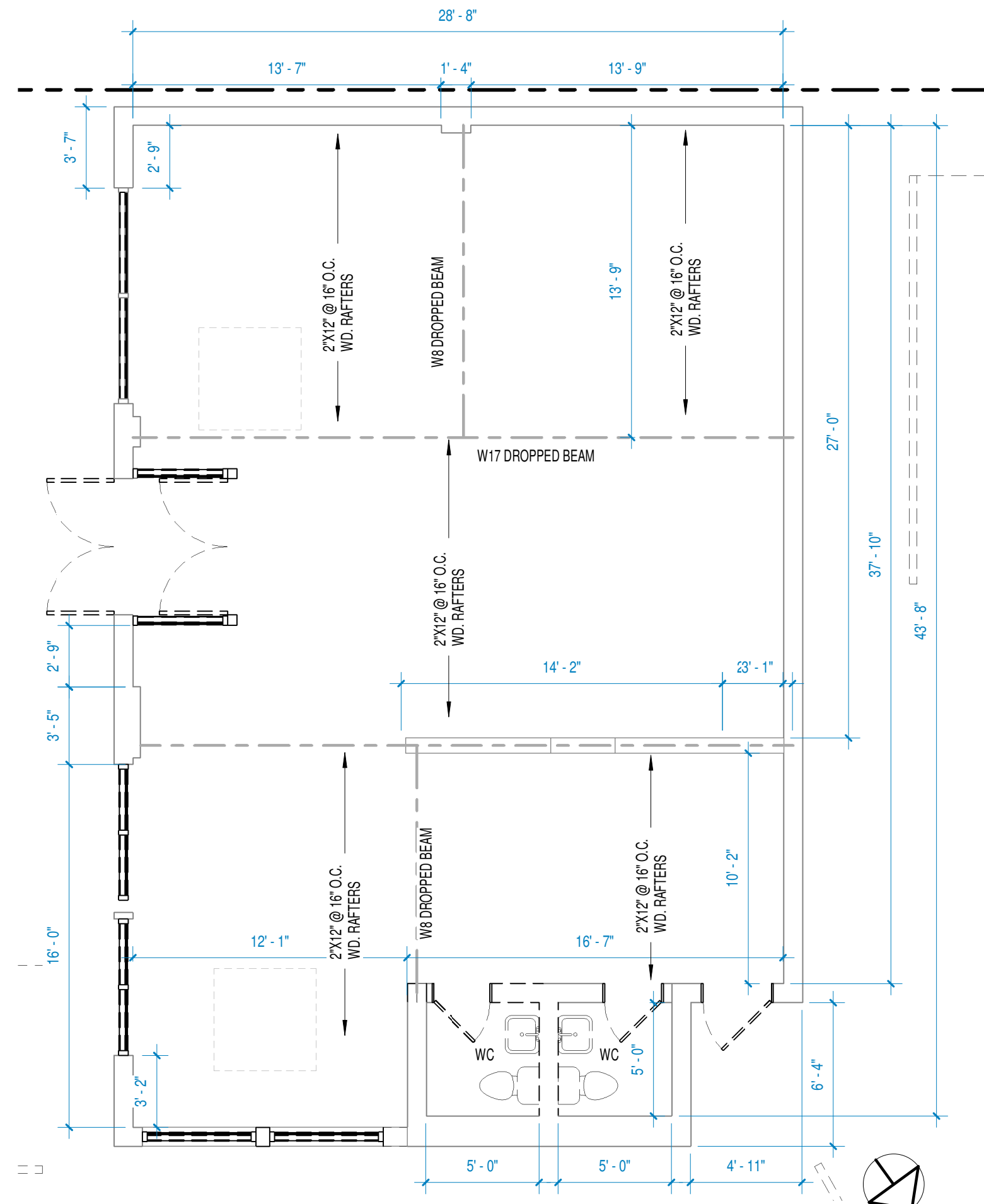
OWNER
TANIA RODDI & LOURDES NAVARRO

LOCATION
468 VALLEY STREET
BLOCK 2215 - LOT 26
TOWNSHIP OF SO. ORANGE VILLAGE
DRAWING
COVER SHEET

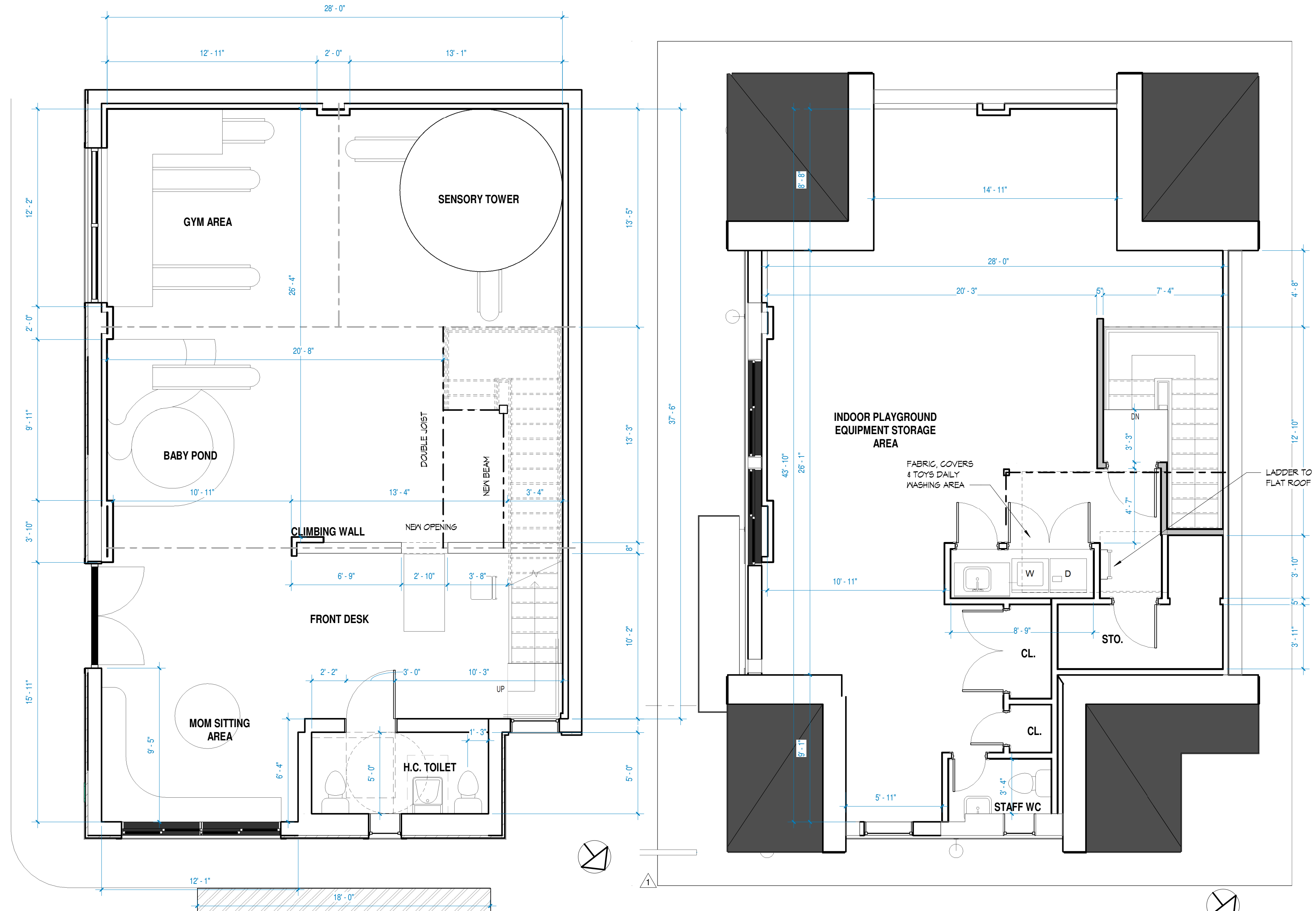
JOSE I. CARBALLO, R.A., P.P.
NJ : 21A10091740
NY : 021291



DATE 12-18-2020
BY VF PROJECT # 202069
DRAWING # A1 OF 3

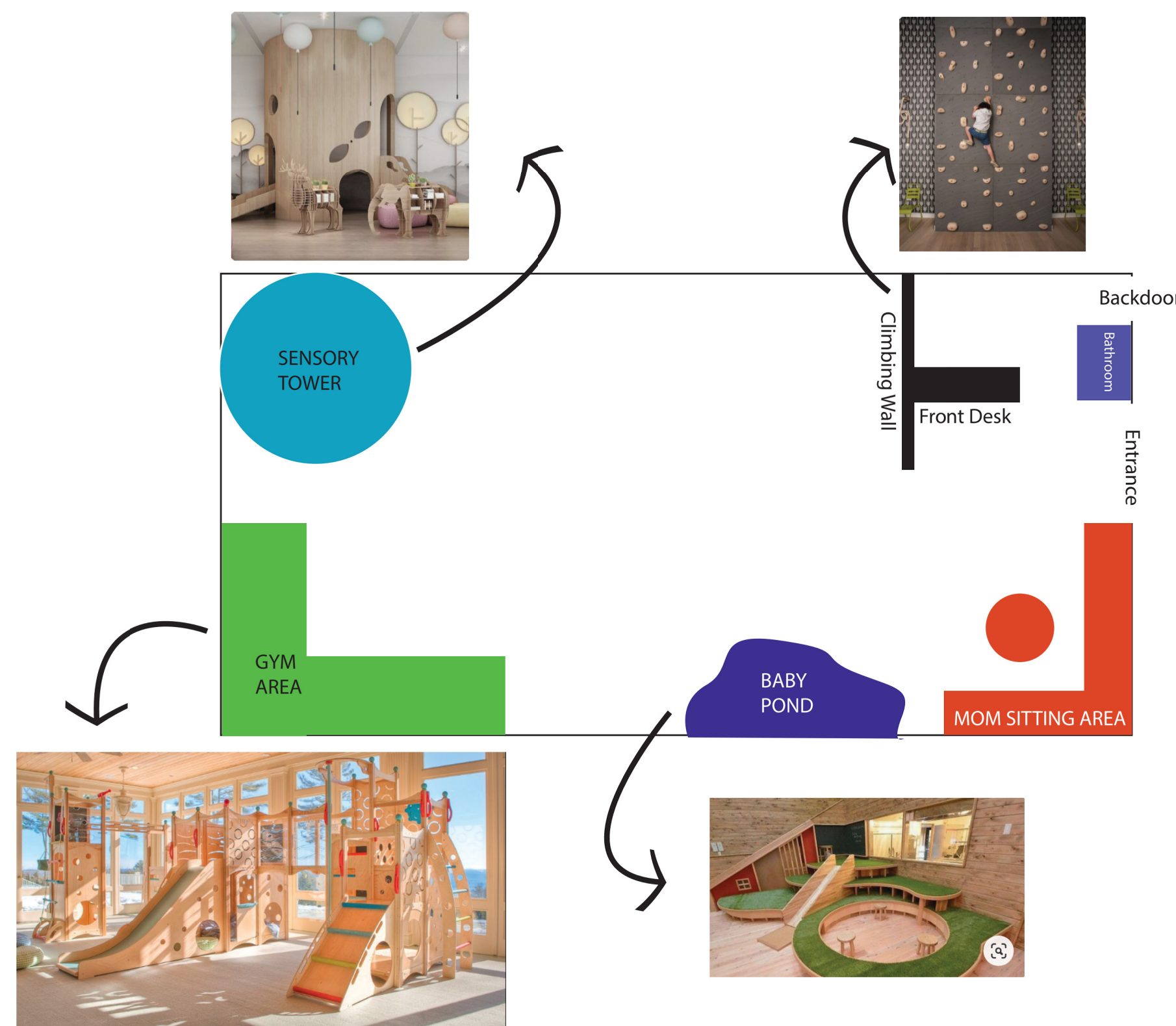


1 EXISTING FIRST FLOOR
3/16" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"
1,359 SQ.FT.

3 PROPOSED SECOND FLOOR
1/4" = 1'-0"
973 SQ.FT.



THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE, REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

| REV | DESCRIPTION | DATE |
|-----|----------------------|-----------|
| 1 | AS PER P.B. COMMENTS | 1-15-2021 |

ISSUE FOR SD:
ISSUE FOR DD:
ISSUE FOR PLANNING BD: 3/16/2021
ISSUE FOR PERMIT:
ISSUE FOR CONSTRUCTION:

NOTES:
ISSUE FOR DESIGN REVIEW BOARD: 3/9/2021
ISSUE FOR TECHNICAL REVIEW MEETING: 1/21/2021

JCAgroup
JOSE CARBALLO ARCHITECTURAL GROUP, P.C.

171 Main Street, Suite 301
Hackensack, New Jersey 07601

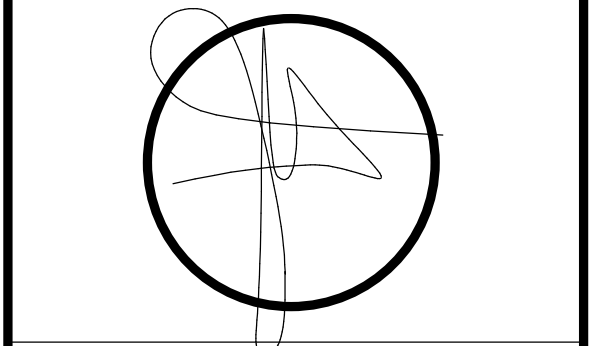
T. 201.678.1201
F. 201.678.1209
E. email@jcarballo.com
W. www.jcarballo.com

PROJECT
PROPOSED CHILDREN INDOOR PLAYGROUND

OWNER
TANIA RODDI & LOURDES NAVARRO

LOCATION
468 VALLEY STREET
BLOCK 2215 - LOT 26
TOWNSHIP OF SO. ORANGE VILLAGE
DRAWING
PROPOSED FLOOR PLANS

JOSE I. CARBALLO, R.A., P.P.
NJ : 21A10091740
NY : 021291



DATE 12-18-2020

BY VF PROJECT # 202069

DRAWING # A2 OF 3

BUILDING SIGNS IN COMPLIANCE WITH THE SOUTH ORANGE VILLAGE MUNICIPAL CODE CHAPTER 185 SECTIONS 141 & 142

185-141 Regulations Applicable To All Signs

Signs will comply with the following regulations:

- Sign Will be positioned in the natural architectural sign band on one building facade. Bottom of the sign will not be positioned to go more than 12 inches above the top of the display window.
- Signs will consist of no more than 3 total colors, including the background color (Black). Lettering (Orange and Blue) will have a consistent, legible, and professional appearance.
- Signs will comply with all applicable provisions of the Uniform Construction Code, particularly but not exclusively the Electrical Subcode, in accordance with which all lighting devices must be installed and maintained.
- Sign will be illuminated and subject to the following additional limitations:
 - Source of illumination itself will not be visible.
 - The light for the illuminated sign will be so shaded, shielded and directed that the light intensity or brightness will not be objectionable to surrounding areas.
- Sign will be provided with back lit LED lighting and will not exceed 2,000-K with warm/yellow light.
- Sign will not have blinking, flashing, strobe or fluttering lights or any other illuminating devices which have a changing light intensity, brightness or color, except for time and temperature.
- No exposed bulbs or lamps shall be used on the exterior surface of any sign.
- No floodlight or flexible gooseneck fixture will be used.

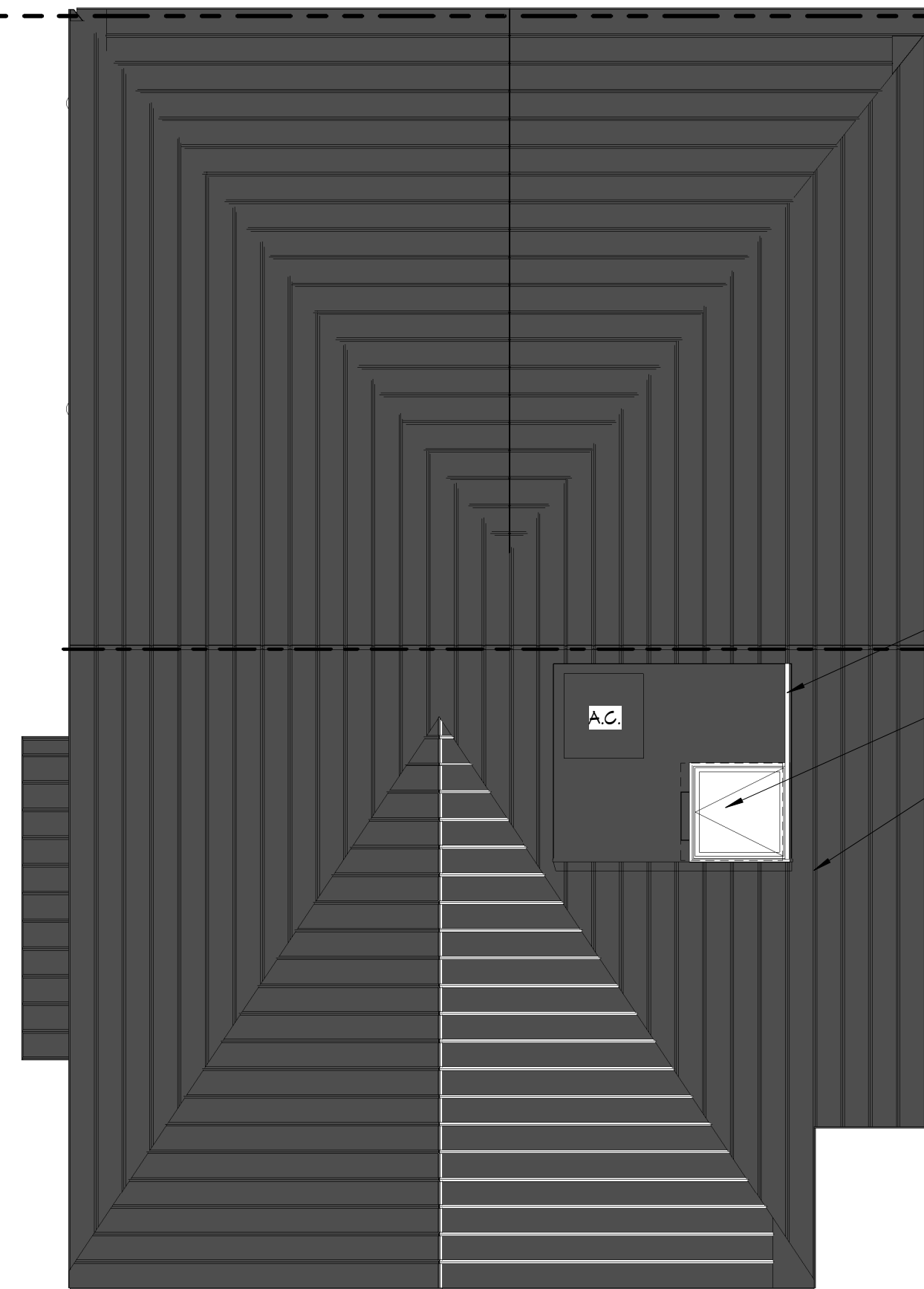
185-142 Regulations Applicable To Signs Within Business Districts

- Wall sign will be installed.
- Wall sign will be name & logo.
- Sign will be "box signs" which are recessed so that they are flush with the facade of a structure with individual channel letters mounted onto the facade as wall signs.
- Wall signs maximum size will be no more than 1 1/2 square feet of sign area for each one foot of the width of the building.
- No individual letter will exceed 24 inches in height.
- The total gross area of signage per frontage will not exceed 200 square feet.
- The building faces more than one street or a parking lot with a minimum width of 30 feet and it will have the appropriate area of signage for each exposure:

| Street Frontage (linear feet) | Allowable Area (square feet) |
|----------------------------------|---------------------------------|
| 30 | 45 |

Actual no more than 22.5 square feet on Valley Rd.

- No part of any electric wall sign will be closer than 10 feet above a public sidewalk and 15 feet above a driveway.
- Electrical source from inside wall outlet with an independent breaker from the Electrical Sub-Panel

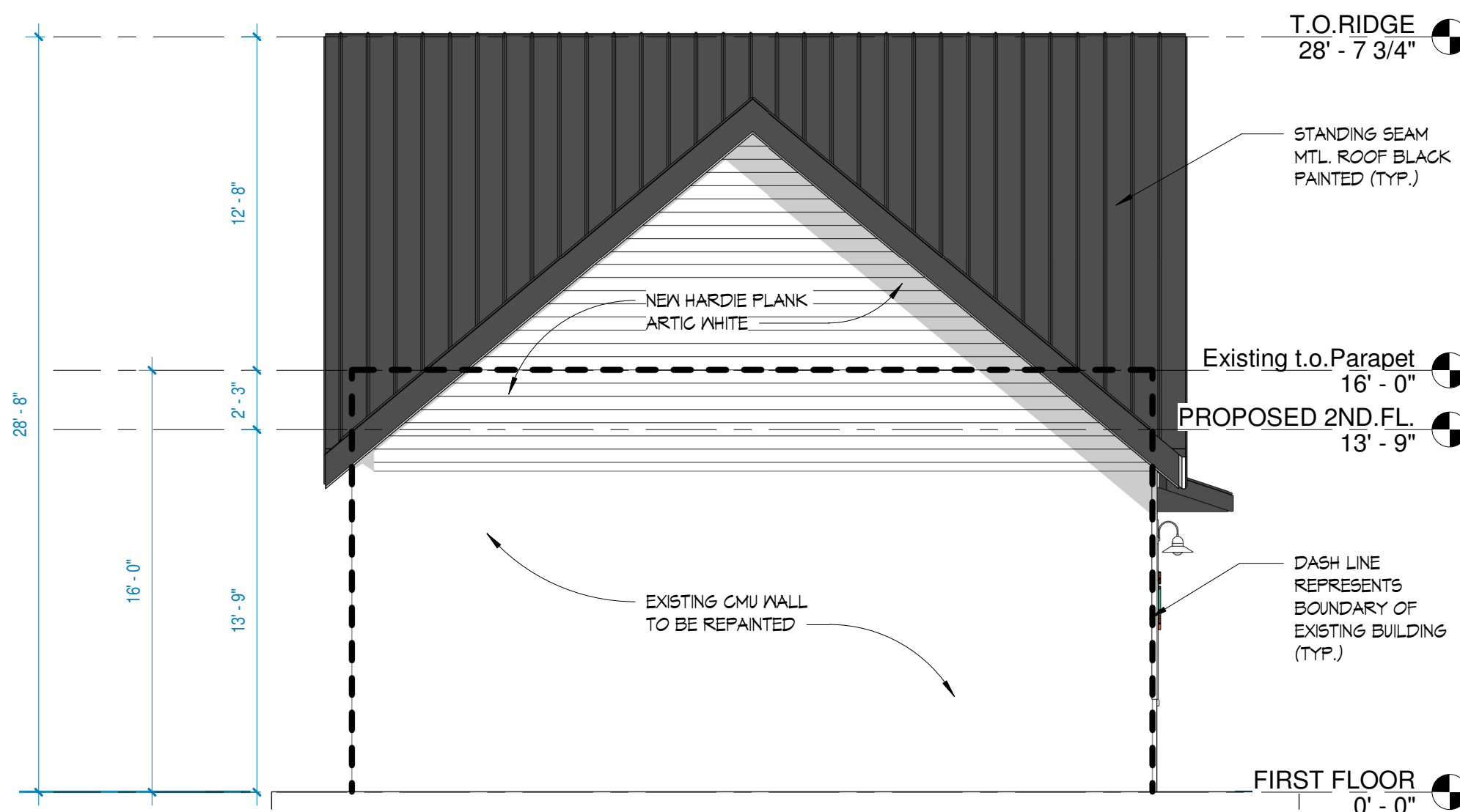


1 PROPOSED ROOF PLAN
3/16\" = 1'-0\"

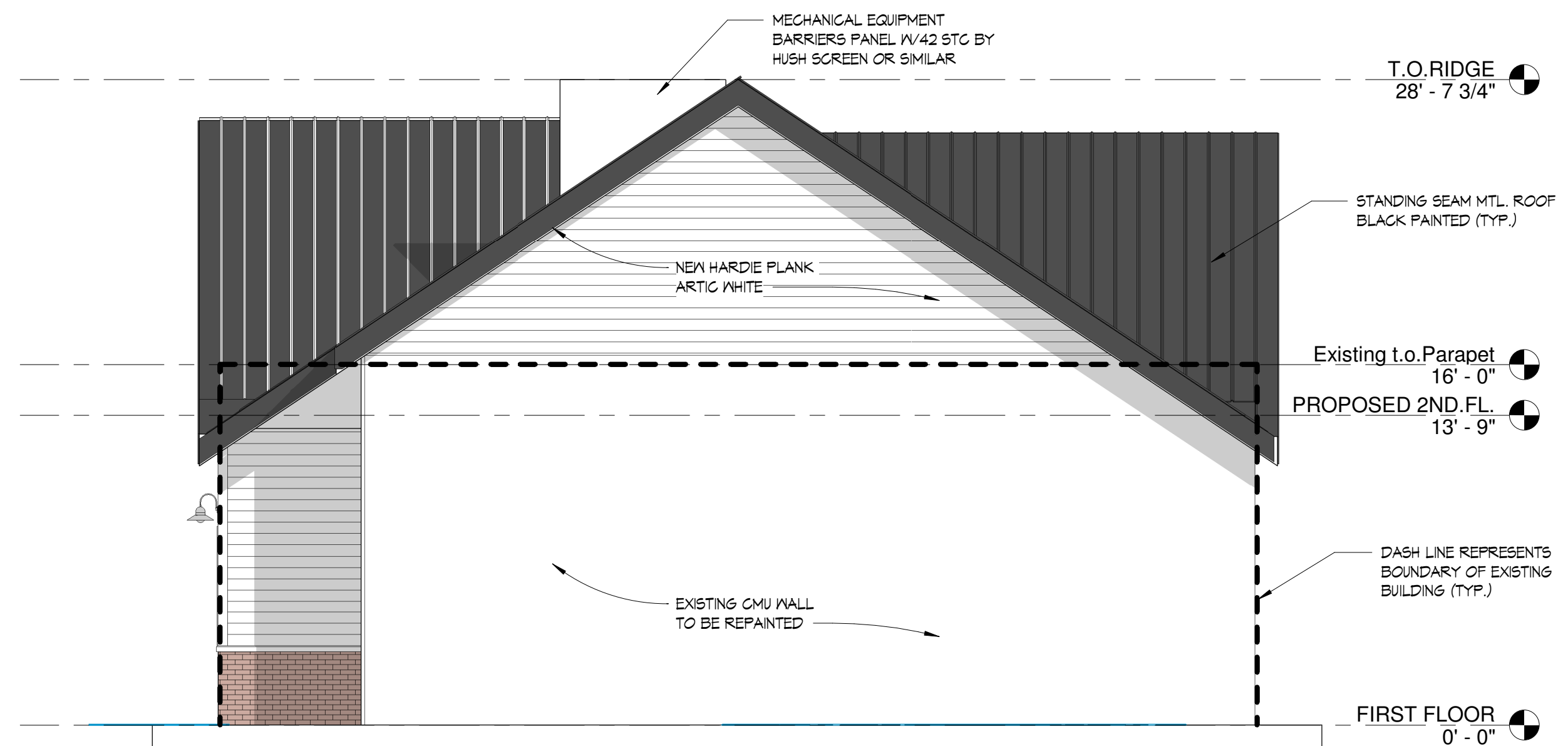


METAL ROOF SNOW GUARDS WOULD BE PROVIDED AS REQUIRED

WALL SCONCE LIGHTING AS PER SITE ENG. DWGS



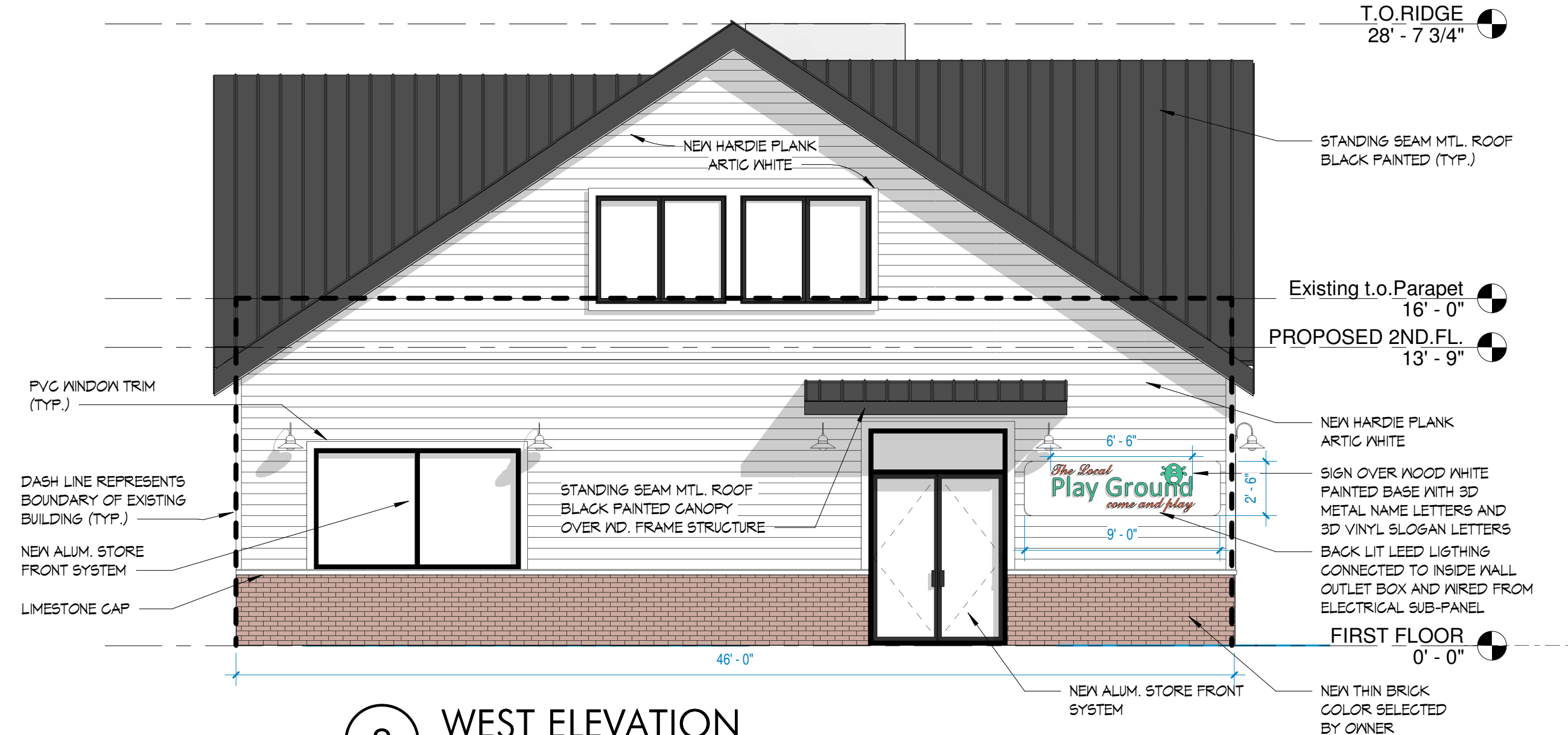
2 NORTH ELEVATION
3/16\" = 1'-0\"



5 EAST ELEVATION
3/16\" = 1'-0\"



4 SOUTH ELEVATION
3/16\" = 1'-0\"



3 WEST ELEVATION
3/16\" = 1'-0\"

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

| REV | DESCRIPTION | DATE |
|-----|----------------------|------------|
| 1 | AS PER P.B. COMMENTS | 11-15-2021 |

ISSUE FOR SD:
ISSUE FOR DD:
ISSUE FOR PLANNING BD: 3/16/2021
ISSUE FOR PERMIT:
ISSUE FOR CONSTRUCTION:

NOTES:
ISSUE FOR DESIGN REVIEW BOARD: 3/9/2021
ISSUE FOR TECHNICAL REVIEW MEETING: 1/21/2021

JCAgroup
JOSE CARBALLO ARCHITECTURAL GROUP, P.C.

171 Main Street, Suite 301
Hackensack, New Jersey 07601

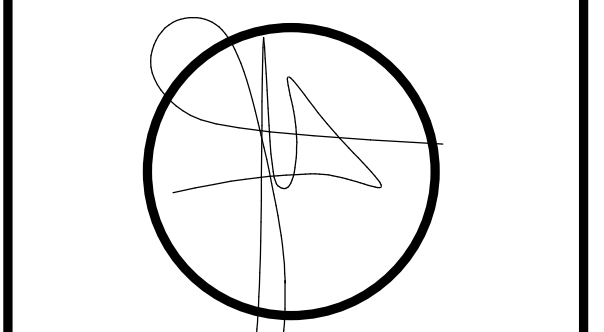
T. 201.678.1201
F. 201.678.1209
E. email@jcarballo.com
W. www.jcarballo.com

PROJECT
PROPOSED CHILDREN INDOOR PLAYGROUND

OWNER
TANIA RODDI & LOURDES NAVARRO

LOCATION
468 VALLEY STREET
BLOCK 2215 - LOT 26
TOWNSHIP OF SO. ORANGE VILLAGE
DRAWING
ELEVATIONS - ROOF PLAN

JOSE I. CARBALLO, R.A., P.P.
NJ : 21A10091740
NY : 021291



DATE 12-18-2020
BY VF PROJECT # 202069
DRAWING #
A3 **OF** **3**