

# PRELIMINARY AND FINAL MAJOR SITE PLAN

## FOR

### STORAGE PLATFORM, LLC

### PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES

### BLOCK 2303, LOTS 1, 2, 3, 4, 13 & 14; TAX MAP SHEETS 20, 22 & 23 - LATEST REV. DATED 01/1987

### 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE,

### TOWNSHIP OF SOUTH ORANGE VILLAGE

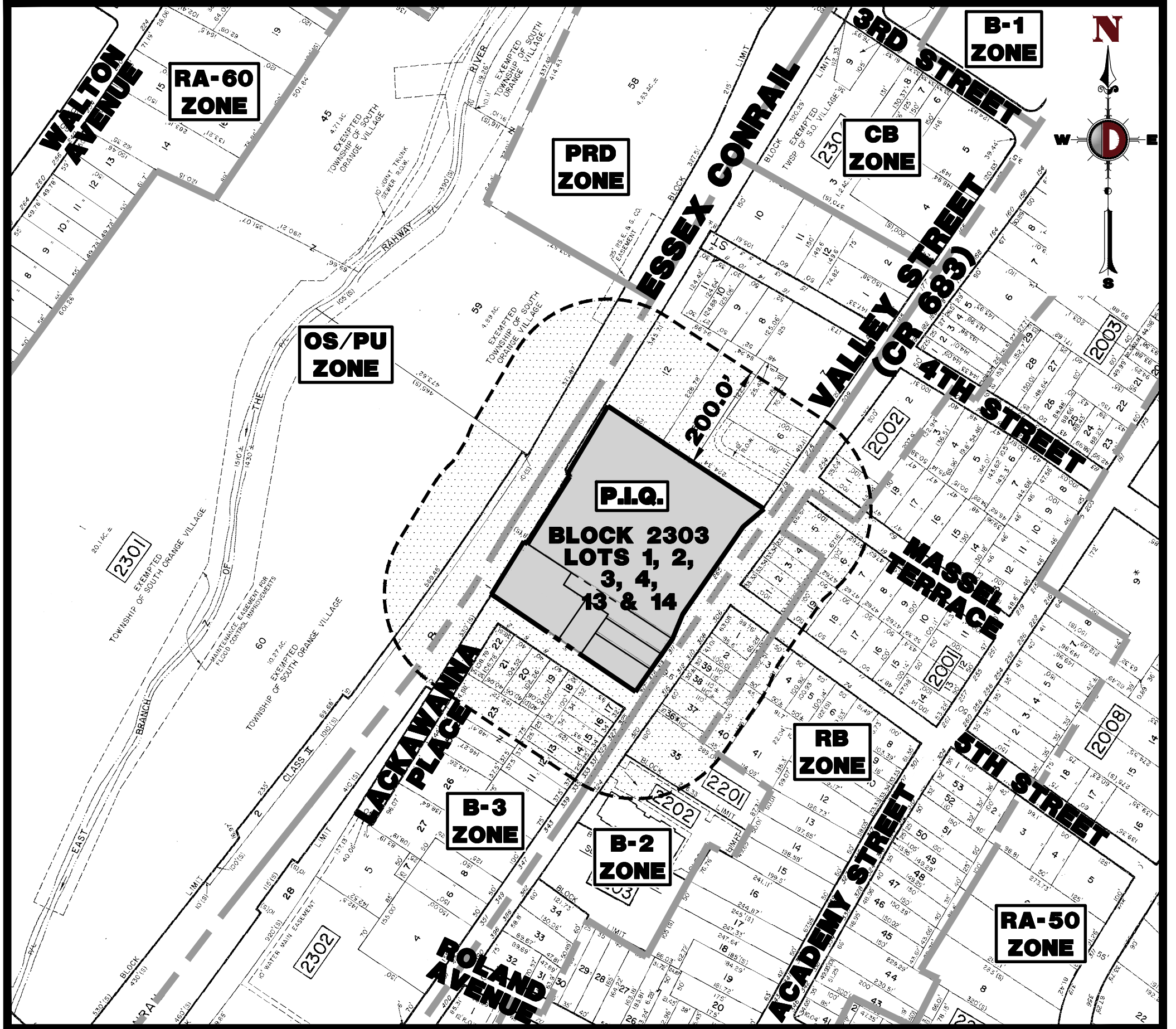
### ESSEX COUNTY, NEW JERSEY

#### 200' PROPERTY OWNERS LIST (BLOCK 2303, LOTS 1-3, 13 & 14)

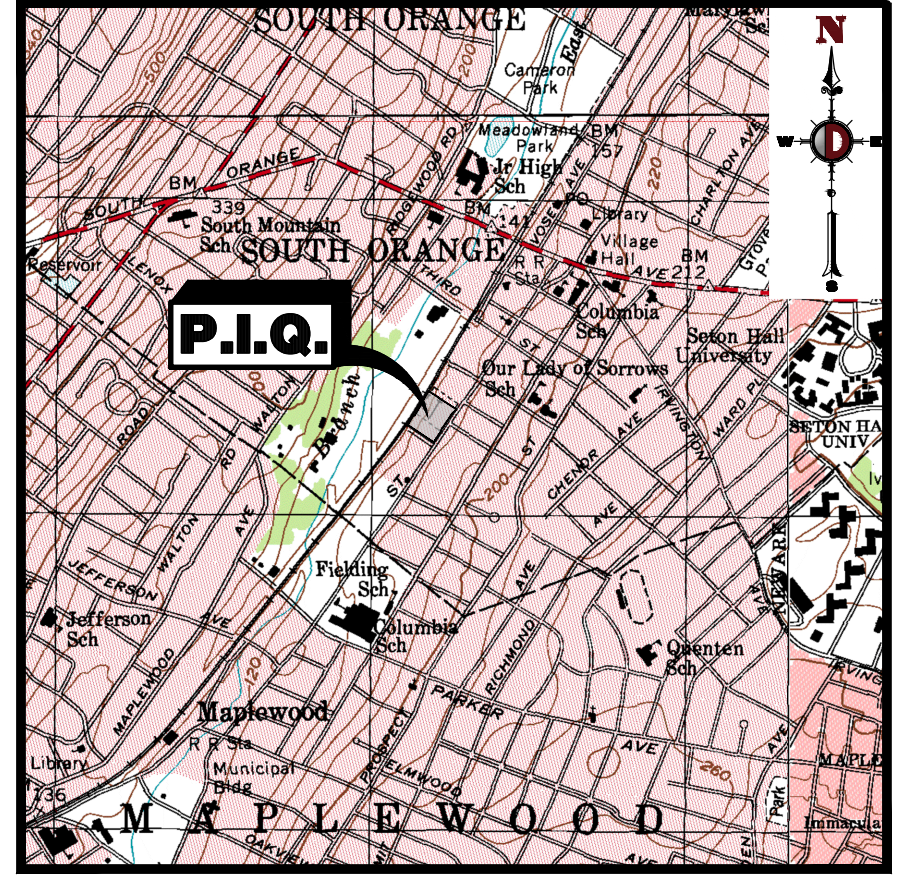
PROPERTY OWNER	BLOCK	LOT
DEUTSCH, E & ARL DORNFIELD &L DEUTSCH	268 VALLEY ST	2001
ZHANG, JIAN FENG & HUANG, JIN XIU	268 VALLEY STREET, 2ND FL	2001
VALLEY AUTO SALES, LLC	300-306 VALLEY STREET	2201
CALCOTTI, AMBROGIO + FELOMENA	308 VALLEY STREET	2201
BRISSETT, TONYA	62 FIFTH ST	2201
QUADEL, DONNA	66 FIFTH ST	2201
320 VALLEY SO LLC	125 CHURB AVE #2005	2201
TOWNSHIP OF SOUTH ORANGE VILLAGE	VILLAGE HALL	2201
316 VALLEY STREET, LLC	56 CREST DRIVE	2201
CARDONE, JOHN L CINDY	310 VALLEY STREET	2201
TRONCONE, RICHARD + JOANNE	1892 HOVSONS BLVD	2201
SETON HALL UNIVERSITY	400 SOUTH ORANGE AVENUE	2202
SETON HALL UNIVERSITY	400 SOUTH ORANGE	2202
ERIC LACKAWANNA/ NJ TRANSIT	ONE PENN PLAZA	2300
TOWNSHIP OF SOUTH ORANGE VILLAGE	VILLAGE HALL	2301
TOWNSHIP OF SOUTH ORANGE VILLAGE	VILLAGE HALL	2301
CHEN, CHAO HUA + ZHI MING WANG	335 VALLEY STREET	2302
RESSON, YACOB	333 VALLEY STREET	2302
KIT, ANDREW & FISHER, CATHERINE	16 LACKAWANNA PL	2302
LAM, TOI YAM + WAI CHING	79 ARNOLD TERRACE	2302
MOLINARO, ANTHONY	PO BOX 692	2302
MOLINARO, ANTHONY	PO BOX 692	2302
KIT, ANDREW W	16 LACKAWANNA PLACE	2302
PATEL, VIJAY P. & BHAVNA V	10 LACKAWANNA PLACE	2302
8 LACKAWANNA LLC	8 LACKAWANNA PLACE	2302
KUMANYIKA, KATHLEEN F	377 S HARRISON ST # 14K	2302
PENA, NELSON	2-4 LACKAWANNA PLACE	2302
JBN 352-379 LACKAWANNA PLACE, LLC.	343 VALLEY STREET	2302
TOWNSHIP OF SOUTH ORANGE VILLAGE	VILLAGE HALL	2303

#### 200' PROPERTY OWNERS LIST (BLOCK 2303, LOT 4)

PROPERTY OWNER	BLOCK	LOT
ALSO TO BE NOTIFIED:		
NEW JERSEY AMERICAN WATER	167 JOHN F. KENNEDY PARK-BLUG A	
PUBLIC SERVICE ELECTRIC & GAS CO.	MANAGER-CORPORATE PROPERTIES	
VERIZON	540 BROAD STREET	
CABLEVISION	186 WEST MARK STREET	
RAMPERSAUD, L + SANCHAR, J	62 MASSEL TERR	
MALESPINA, JOSEPH + ELISSA	66 MASSEL TERR	
LYNTHURST, NJ 07071	315-317 VALLEY STREET LLC	
SHAH, REKHA + KAMLESH	313 VALLEY STREET LLC	
ALLEGANCE COMMUNITY BANK	200 VALLEY STREET	
BLACKMAN, STACY	59 MASSEL TERRACE	
320 VALLEY SO LLC	125 CHURB AVE #2005	
TOWNSHIP OF SOUTH ORANGE VILLAGE	VILLAGE HALL	
316 VALLEY STREET, LLC	56 CREST DRIVE	
CARDONE, JOHN + CINDY	310 VALLEY STREET	
TRONCONE, RICHARD + JOANNE	1892 HOVSONS BLVD	
ERIC LACKAWANNA/ NJ TRANSIT	ONE PENN PLAZA	
TOWNSHIP OF SOUTH ORANGE VILLAGE	VILLAGE HALL	
VERIZON	540 BROAD STREET	
CABLEVISION	186 WEST MARK STREET	



AREA MAP  
1" = 200'



KEY MAP  
1" = 2000'

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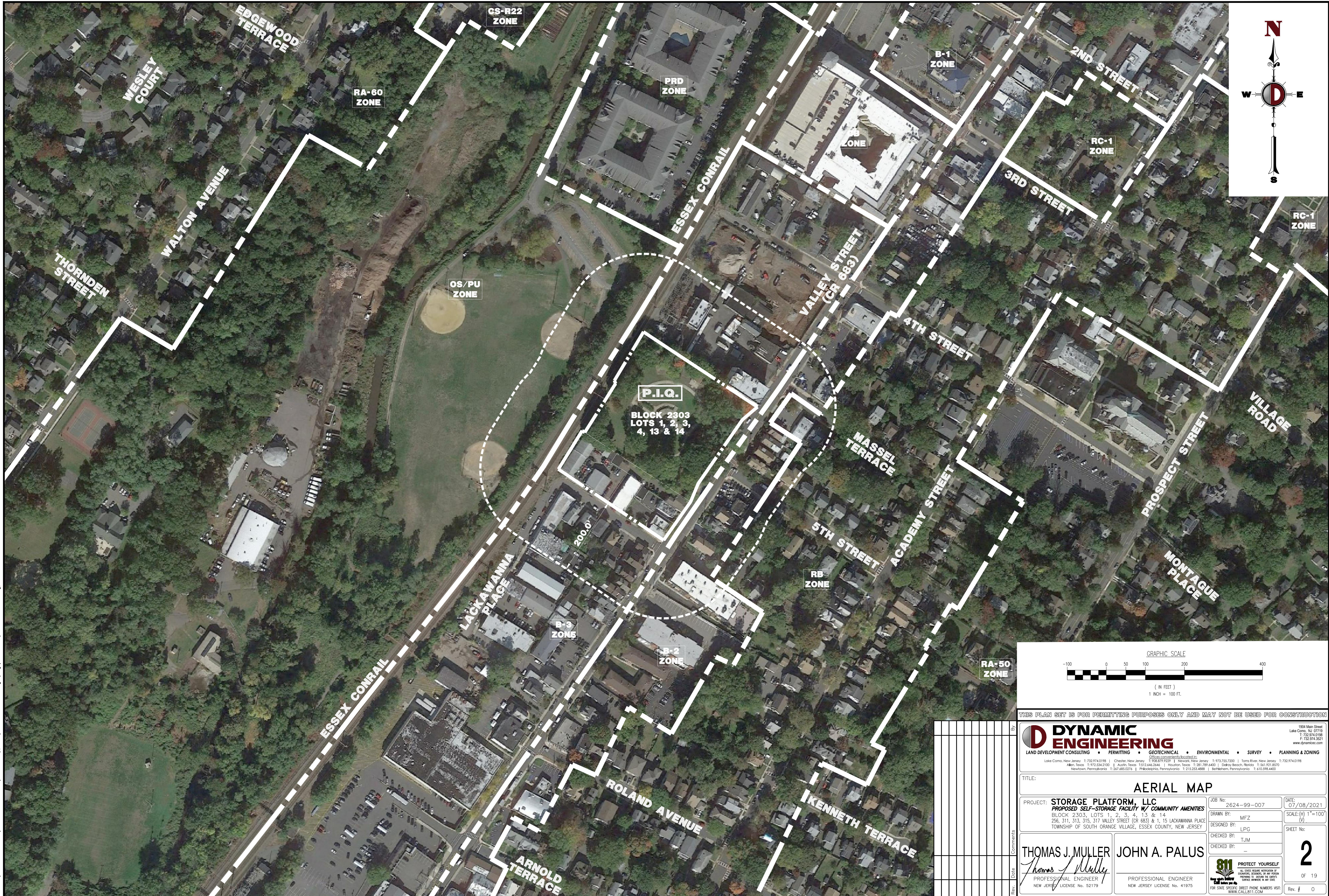
PLANNING BOARD APPROVAL	
APPROVED BY THE PLANNING BOARD OF TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY	
CHAIRMAN	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

PREPARED BY  
**DYNAMIC ENGINEERING CONSULTANTS, P.C.**  
1904 MAIN STREET  
LAKE COMO, NJ 07719  
WWW.DYNAMICCEC.COM

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<b>DYNAMIC ENGINEERING</b> LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING Lake Como, New Jersey 1-732-974-0198   Chester, New Jersey 1-800-879-9229   Newark, New Jersey 1-973-353-7200   Toms River, New Jersey 1-732-974-0198 Allen, Texas 1-972-334-0100   Austin, Texas 1-512-444-2444   Houston, Texas 1-281-789-6400   Lakewood Beach, Florida 1-561-921-8570 Newtown, Pennsylvania 1-267-685-0276   Philadelphia, Pennsylvania 1-215-253-4888   Southampton, Pennsylvania 1-610-598-4400	
TITLE: COVER SHEET	
PROJECT: STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES BLOCK 2303, LOTS 1, 2, 3, 4, 13 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY	JOB No: 2624-99-007 DATE: 07/08/2021 DRAWN BY: MFZ DESIGNED BY: LPF CHECKED BY: TJM CHECKED BY: -
THOMAS J. MULLER PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52179	JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975
811 PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF CONCRETE, REBAR, OR ANY OTHER PREPARED TO: OBTAIN THE STATE'S SERVICE NUMBER. IN NEW JERSEY FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM	
SHEET No: 1 OF 19 Rev. # 0	



Plotted: 07/08/21 - 4:45 PM, By: gowdick, Product: Ver: 23.1s (LMS Tech)  
File: P:\BECPC PROJECTS\2624\_Quinnan Development Group, LLC\99-007 South Orange\DWG\Site Plans\02244990075AO.dwg, ----> 02 AERIAL MAP



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**DYNAMIC ENGINEERING**  
LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING

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Allen, Texas: 1-972-334-2100 | Austin, Texas: 1-817-244-2444 | Houston, Texas: 1-281-789-4400 | Gulf Breeze, Florida: 1-904-921-8570  
Newtown, Pennsylvania: 1-267-685-0276 | Philadelphia, Pennsylvania: 1-215-251-4868 | Baltimore, Pennsylvania: 1-410-596-4400

TITLE: **AERIAL MAP**

PROJECT: **STORAGE PLATFORM, LLC  
PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES**  
BLOCK 2303, LOTS 1, 2, 3, 4, 13 & 14  
256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE  
TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY

JOB No: 2624-99-007  
DATE: 07/08/2021  
DRAWN BY: MFZ  
DESIGNED BY: LPG  
CHECKED BY: TJM  
CHECKED BY: —

SCALE: (H) 1"=100'  
(V) —  
SHEET No: **2**  
OF 19

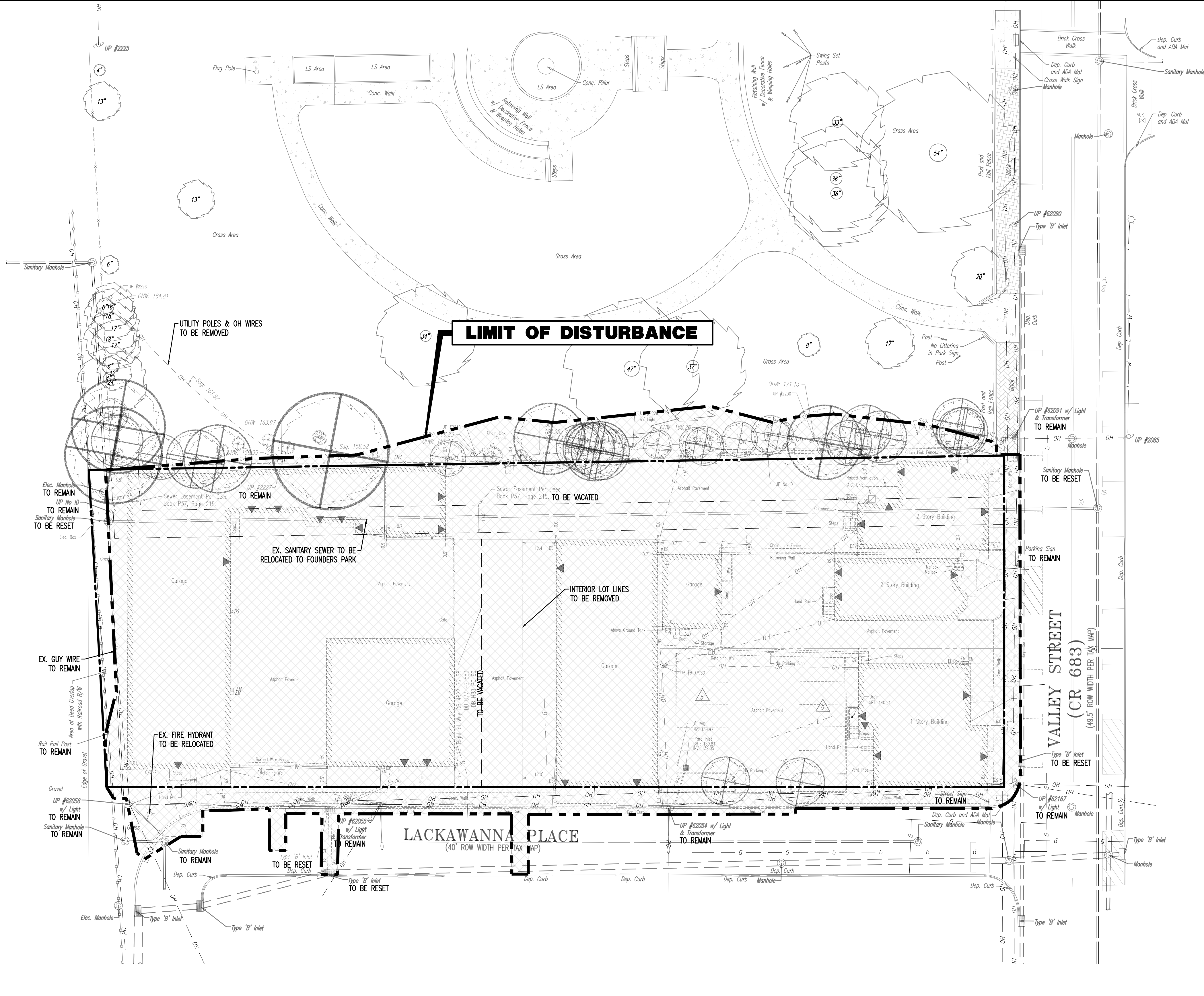
THOMAS J. MULLER  
PROFESSIONAL ENGINEER  
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NEW JERSEY LICENSE No. 41975

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PREPARE TO LOCATE THE EXACT  
LOCATION OF UTILITIES  
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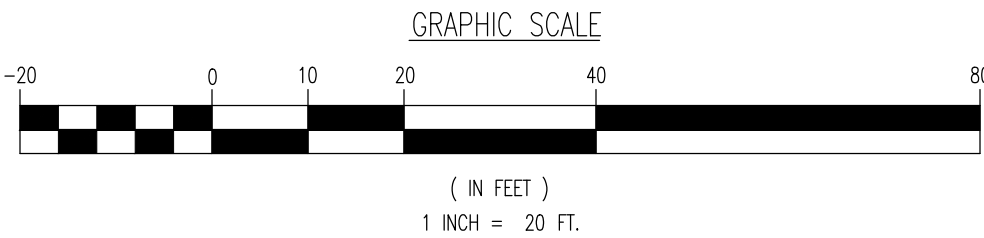
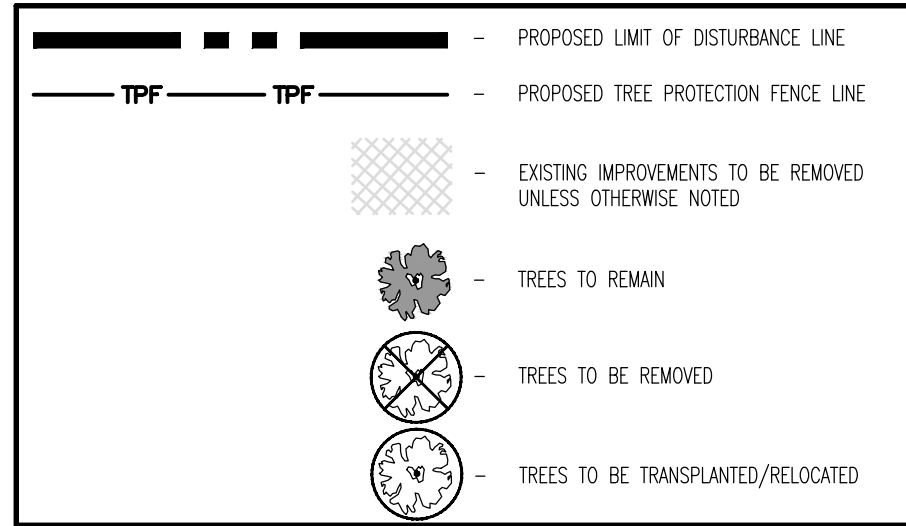
### DEMOLITION NOTES

1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOSTS, DERRICKS OR OTHER SUITABLE METHODS.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAYMENT OR, BREAK BASEMENT FLOOR SLABS SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED SHALL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.

### NOTES

1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.

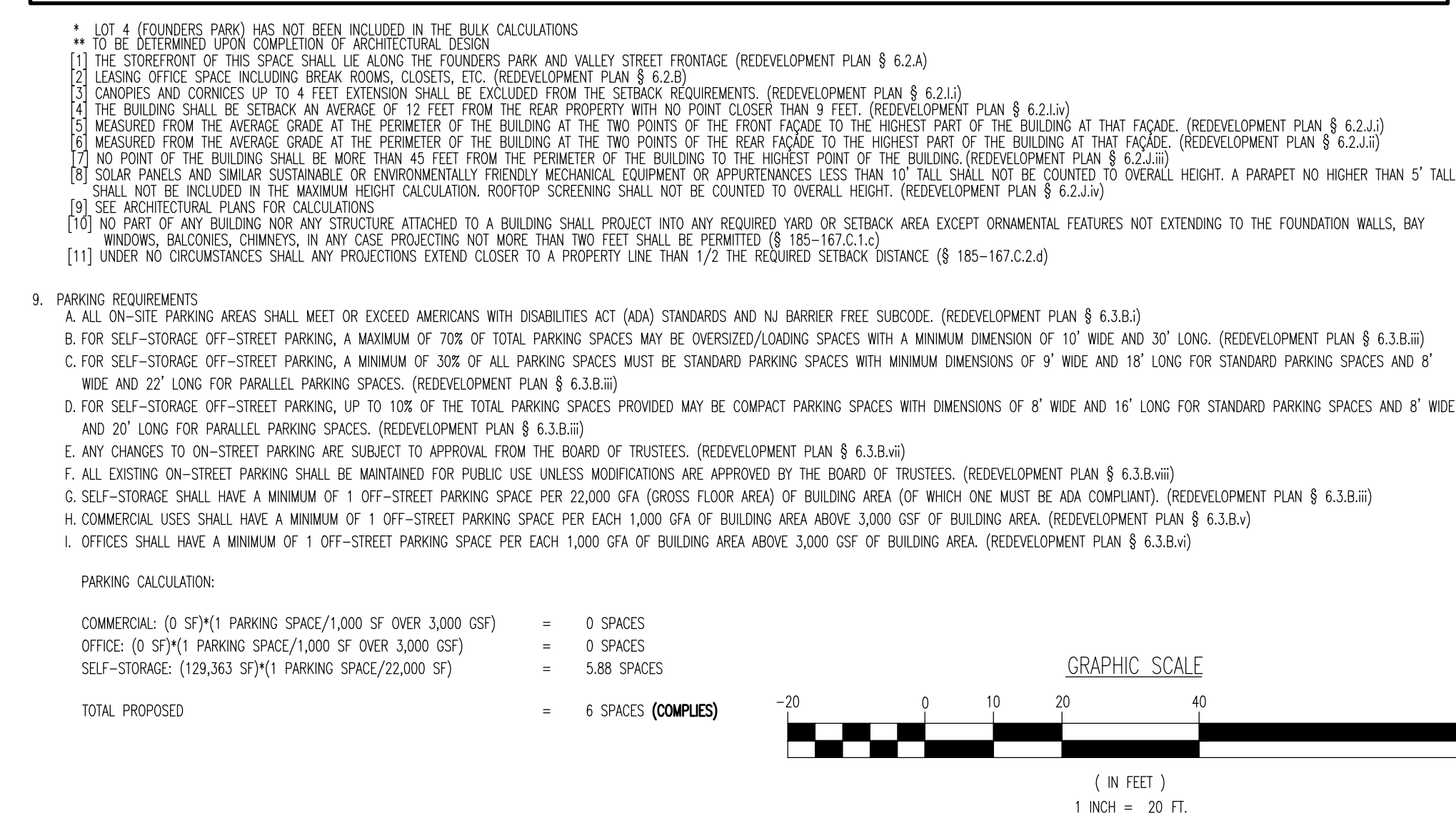
### DEMOLITION PLAN LEGEND



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TITLE: <b>DEMOLITION PLAN</b>			
PROJECT: <b>STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES</b>		JOB No: 2624-99-007	
BLOCK: 2, 303, LOTS 1, 2, 3, 4, 13 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY		DRAWN BY: GMC DESIGNED BY: LPG CHECKED BY: TJM CHECKED BY: -	
THOMAS J. MULLER PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52179		JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975	
ALL STATES REQUIRE NOTIFICATION OF CONTRACTORS, ENGINEERS, OR ANY OTHERS PREPARING TO ENTER THE SITE'S SERVICE AREAS. IN NJ: 395		811 PROTECT YOURSELF FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM	
Rev. #		3 OF 19 Rev. # 0	





OFFICE: 0 SF / (1 PARKING SPACE) / 1,000 SF OVER  
SELF-STORAGE: (129,363 SF) / (1 PARKING SPACE) / 2

TOTAL PROPOSED

• LOT 4 (FOUNDERS PARK) HAS NOT BEEN INCLUDED IN THE BULK CALCULATIONS  
 • TO BE DETERMINED UPON COMPLETION OF ARCHITECTURAL DESIGN

[1] THE STOREFRONT OF THIS SPACE SHALL BE AT LEAST THE FOUNDERS PARK AND VALLEY STREET FRONTAGE (REDEVELOPMENT PLAN § 6.2.1a)  
 [2] LASKING OFFICE SPACES INCLUDING BREAK ROOMS, LOBBIES, ETC. (REDEVELOPMENT PLAN § 6.2.1b)  
 [3] CANOPIES AND CORNICES UP TO 4 FEET EXTENSION SHALL BE EXCLUDED FROM THE SETBACK REQUIREMENTS. (REDEVELOPMENT PLAN § 6.2.1j)  
 [4] THE BUILDING SHALL BE SETBACK AN AVERAGE OF 12 FEET FROM THE REAR PROPERTY WITH NO POINT CLOSER THAN 9 FEET. (REDEVELOPMENT PLAN § 6.2.1j)  
 [5] MEASURED FROM THE AVERAGE GRADE AT THE PERIMETER OF THE BUILDING AT THE TWO POINTS OF THE FRONT FACADE TO THE HIGHEST PART OF THE BUILDING AT THAT FACADE. (REDEVELOPMENT PLAN § 6.2.1j)  
 [6] MEASURED FROM THE AVERAGE GRADE AT THE PERIMETER OF THE BUILDING AT THE TWO POINTS OF THE REAR FACADE TO THE HIGHEST PART OF THE BUILDING AT THAT FACADE. (REDEVELOPMENT PLAN § 6.2.1j)  
 [7] NO POINT OF THE BUILDING SHALL BE MORE THAN 40 FEET FROM THE PERIMETER OF THE BUILDING TO THE HIGHEST POINT OF THE BUILDING. (REDEVELOPMENT PLAN § 6.2.1j)  
 [8] SOLAR PANELS AND OTHER ENVIRONMENTALLY FRIENDLY MECHANICAL EQUIPMENT OR APPURTENANCES LESS THAN 10' TALL SHALL NOT BE COUNTED TO OVERALL HEIGHT. A PARAPET NO HIGHER THAN 5' TALL SHALL NOT BE INCLUDED IN THE MAXIMUM HEIGHT CALCULATION. ROOFTOP SCREENING SHALL NOT BE COUNTED TO OVERALL HEIGHT. (REDEVELOPMENT PLAN § 6.2.1k)  
 [9] NO PART OF ANY BUILDING NOR ANY STRUCTURE ATTACHED TO A BUILDING SHALL PROJECT INTO ANY REQUIRED YARD OR SETBACK AREA EXCEPT ORNAMENTAL FEATURES NOT EXTENDING TO THE FOUNDATION WALLS, BAY WINDOWS, BALCONIES, CHIMNEYS, IN ANY CASE PROJECTING NOT MORE THAN TWO FEET SHALL BE PERMITTED. (§ 185-167.C.1.c)  
 [10] UNDER NO CIRCUMSTANCES SHALL ANY PROJECTIONS EXTEND CLOSER TO A PROPERTY LINE THAN 1/2 THE REQUIRED SETBACK DISTANCE (§ 185-167.C.2.d)

**9. PARKING REQUIREMENTS**  
 A. ALL ON-SITE PARKING AREAS SHALL MEET OR EXCEED AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS AND NY BARREER FREE SUBCODE. (REDEVELOPMENT PLAN § 6.3.B.i)  
 B. ALL OFF-STREET OFF-STREET PARKING, A MAXIMUM OF 70% OF TOTAL PARKING SPACES MAY BE OVERSIZED/LOADING SPACES WITH A MINIMUM DIMENSION OF 10' WIDE AND 30' LONG. (REDEVELOPMENT PLAN § 6.3.B.ii)  
 C. FOR SELF-STORAGE OFF-STREET PARKING, A MINIMUM OF 10% OF ALL PARKING SPACES MUST BE STANDARD PARKING SPACES WITH MINIMUM DIMENSIONS OF 9' WIDE AND 18' LONG FOR STANDARD PARKING SPACES AND 8' WIDE AND 22' LONG FOR PARALLEL PARKING SPACES. (REDEVELOPMENT PLAN § 6.3.B.iii)  
 D. FOR SELF-STORAGE OFF-STREET PARKING, UP TO 10% OF THE TOTAL PARKING SPACES PROVIDED MAY BE COMPACT PARKING SPACES WITH DIMENSIONS OF 8' WIDE AND 16' LONG FOR STANDARD PARKING SPACES AND 8' WIDE AND 20' LONG FOR PARALLEL PARKING SPACES. (REDEVELOPMENT PLAN § 6.3.B.iii)  
 E. ANY CHANGES TO ON-STREET PARKING ARE SUBJECT TO APPROVAL FROM THE BOARD OF TRUSTEES. (REDEVELOPMENT PLAN § 6.3.B.vii)  
 F. ALL EXISTING ON-STREET PARKING SHALL BE MAINTAINED FOR PUBLIC USE UNLESS MODIFICATIONS ARE APPROVED BY THE BOARD OF TRUSTEES. (REDEVELOPMENT PLAN § 6.3.B.viii)  
 G. SELF-STORAGE SHALL HAVE A MINIMUM OF 1 OFF-STREET PARKING SPACE PER 22,000 GFA (GROSS FLOOR AREA) OF BUILDING AREA (OR WHICH ONE MUST BE ADA COMPLIANT). (REDEVELOPMENT PLAN § 6.3.B.iii)  
 H. COMMERCIAL USES SHALL HAVE A MINIMUM OF 1 OFF-STREET PARKING SPACE PER EACH 1,000 GFA OF BUILDING AREA ABOVE 3,000 S.F. OF BUILDING AREA. (REDEVELOPMENT PLAN § 6.3.B.v)  
 I. OFFICES SHALL HAVE A MINIMUM OF 1 OFF-STREET PARKING SPACE PER EACH 1,000 GFA OF BUILDING AREA ABOVE 3,000 S.F. OF BUILDING AREA. (REDEVELOPMENT PLAN § 6.3.B.v)

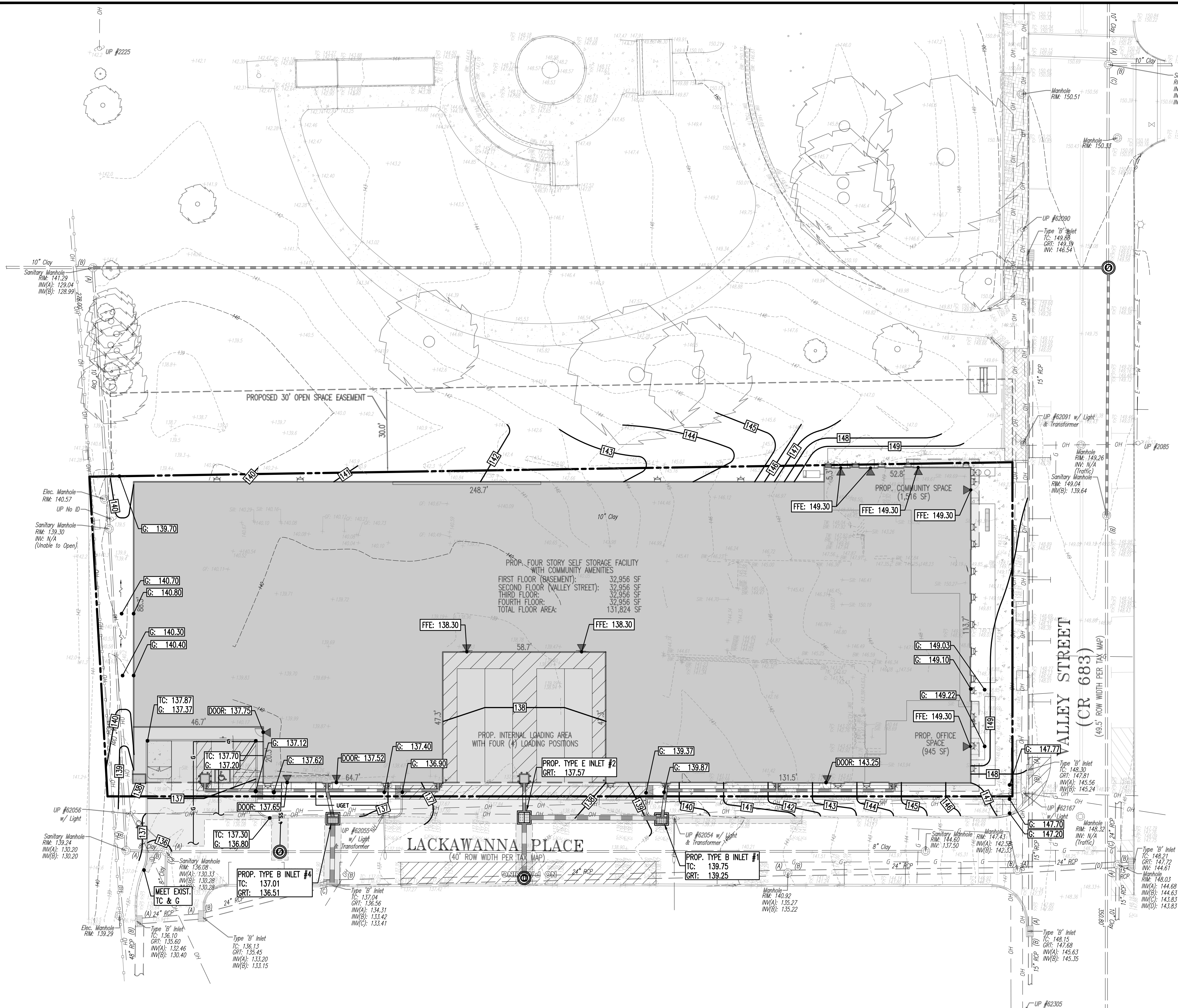
**PARKING CALCULATION:**  
 COMMERCIAL: (0 SF) 11 PARKING SPACE/1,000 SF OVER 3,000 GSF) = 0 SPACES  
 OFFICE: (0 SF) 11 PARKING SPACE/1,000 SF OVER 3,000 GSF) = 0 SPACES  
 SELF-STORAGE: (29,363 SF) 11 PARKING SPACE/22,000 SF) = 5.88 SPACES  
 TOTAL PROPOSED = 6 SPACES (COMPLEX)

GRAPHIC SCALE  
 ( IN FEET )  
 1 INCH = 20 FT.

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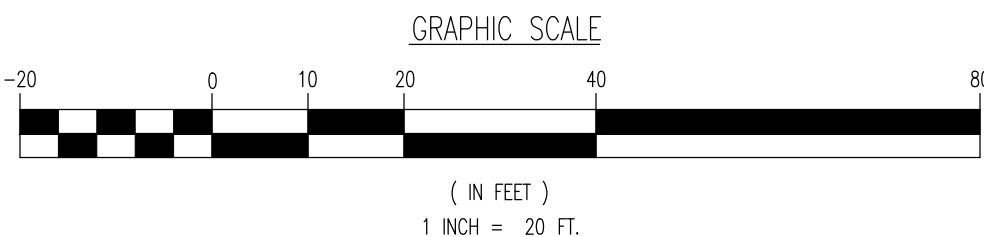
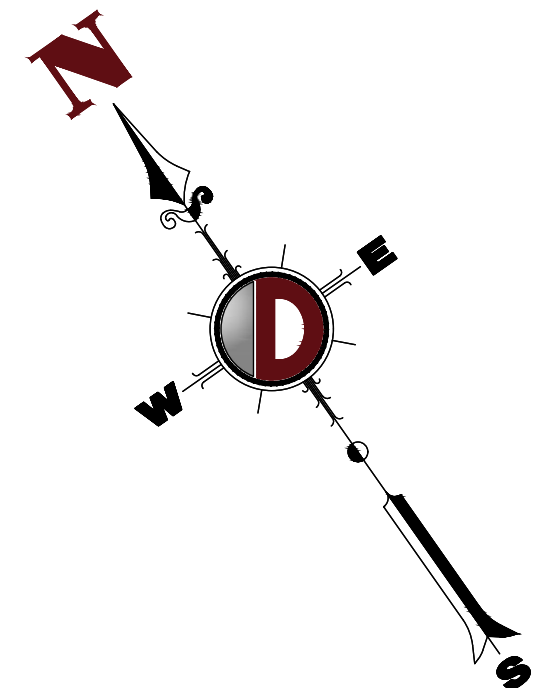


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File: P:\BECPC PROJECTS\2624\_Quinn Development Group, LLC\99-007 South Orange\DWG\Site Plans\262499007SXC.dwg, ---> GRADING PLAN



## GRADING NOTES

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPARISON REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND GUTTERS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY EFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
4. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
5. REFER TO SITE PLAN FOR ADDITIONAL NOTES.
6. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
7. MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
8. CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESS AISLES. CONTRACTOR TO ENSURE A MAXIMUM OF 5% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE, WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
9. THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC (800-879-7095) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SOILS AND ANY FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
10. CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNERS GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
11. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
12. THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.



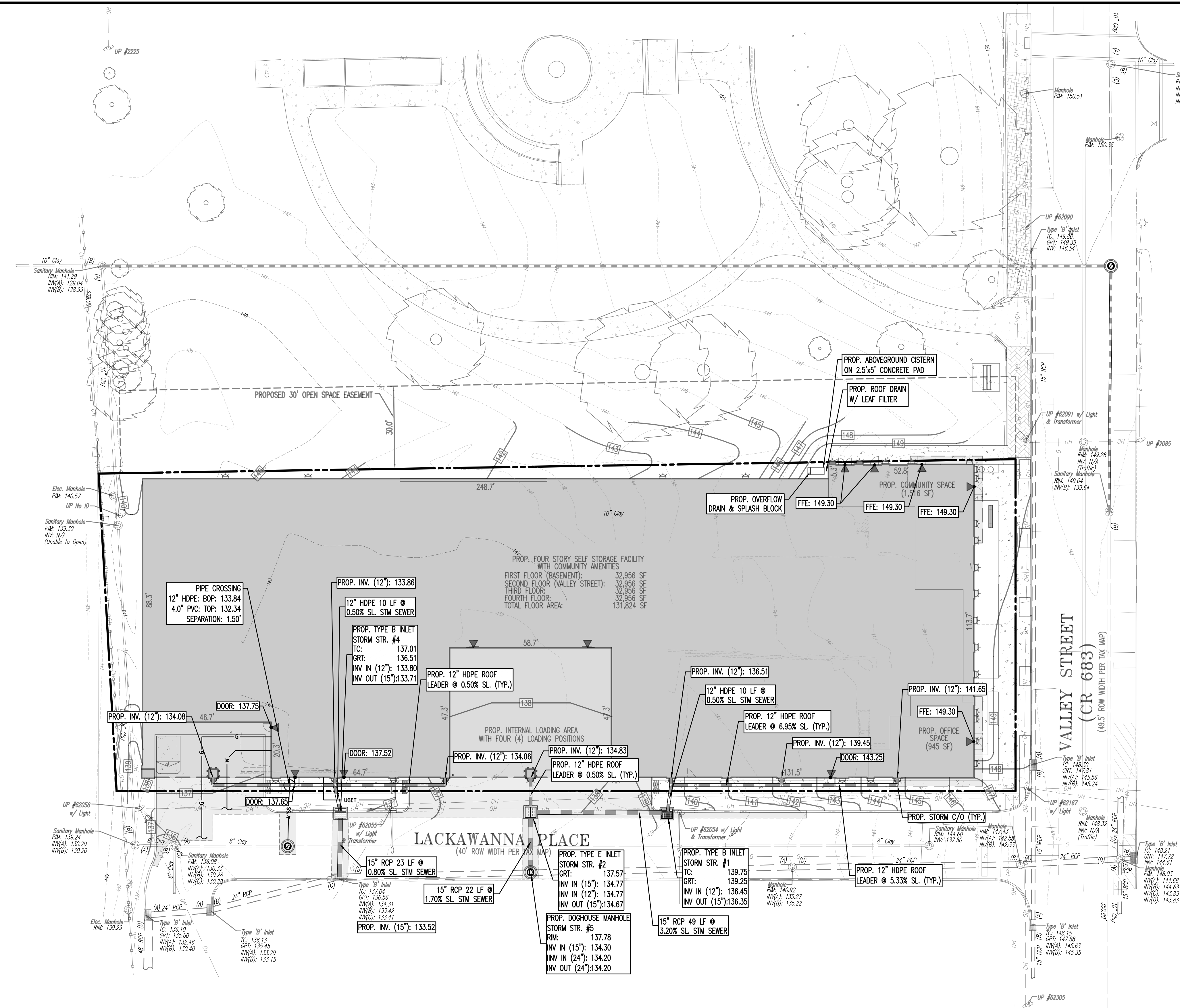
## GRADING/UTILITY GRAPHIC LEGEND

EXIST. GUY WIRE	EXIST. MONITORING WELL	PROP. WATER VALVE	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)	EXIST. SPOT ELEVATIONS
EXIST. LIGHT POLE	APPROX. TEST PIT LOCATION	PROP. GAS VALVE	PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)	EXIST. GUTTER ELEV.
EXIST. BUILDING LIGHT	EXIST. FIRE HYDRANT	PROP. STORM CLEANOUT	EXIST. SANITARY SEWER LINE	EXIST. TOP OF CURB ELEV.
EXIST. SHOE BOX LIGHT	EXIST. GAS VALVE	PROP. SANITARY CLEANOUT	EXIST. STORM DRAIN LINE	EXIST. FINISH FLOOR ELEV.
EXIST. COBRA LIGHT POLE	EXIST. GAS METER	PROP. AREA LIGHT	EXIST. STORM DRAIN LINE	EXIST. GARAGE FLOOR ELEV.
EXIST. TRAFFIC SIGNAL POLE	EXIST. ELECTRIC METER	PROP. OUTLET CONTROL STRUCTURE	EXIST. FINISH GRADE	PROP. GRADE SPOT ELEV.
EXIST. MANHOLE	EXIST. ELECTRIC BOX	PROP. DRAINAGE MANHOLE	EXIST. SANITARY SEWER LINE	PROP. TOP OF CURB & FINISHED GRADE ELEV.
EXIST. "A" INLET	EXIST. WELL	PROP. SANITARY SEWER MANHOLE	EXIST. STORM DRAIN LINE	PROP. FINISHED FLOOR ELEV.
EXIST. "B" INLET	EXIST. WATER SHUT OFF VALVE	PROP. "A" INLET	EXIST. MINOR CONTOUR & ELEVATION	PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
EXIST. "E" INLET	EXIST. TELEPHONE BOX	PROP. "E" INLET	EXIST. MAJOR CONTOUR & ELEVATION	PROP. TOP OF EXTENDED CURB, (OH) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (G) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB
EXIST. YARD INLET	EXIST. CABLE TV BOX	PROP. "E" INLET	PROP. FINISH GRADE CONTOUR & ELEVATION	
EXIST. FLORED END SECTION	PROP. HEADWALL	PROP. FLORED END SECTION	PROP. DIRECTION OF DRAINAGE FLOW ARROW	
EXIST. HEADWALL				
EXIST. UTILITY POLE				

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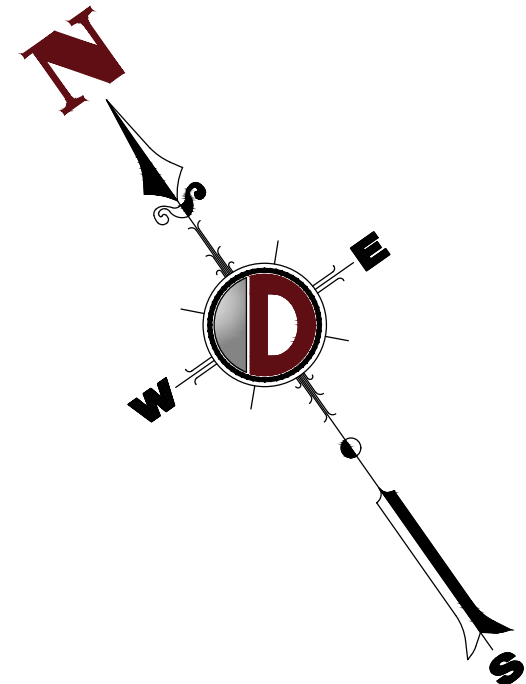
<b>DYNAMIC ENGINEERING</b> LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING	
TITLE: <b>GRADING PLAN</b>	
PROJECT: <b>STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES</b>	JOB No: 2624-99-007
BLOCK: 2303, LOTS 1, 2, 3, 4, 13 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY	DRAWN BY: GMC
DESIGNED BY: LPG	CHECKED BY: TJM
CHECKED BY: -	SHEET No: <b>5</b>
THOMAS J. MULLER PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52179	JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975
PROTECT YOURSELF ALL STATES REQUIRE VERIFICATION OF CONTRACT, PERMITS, OR ANY OTHER PREPARING TO ENTER THE STATE'S SERVICE MARKET. IN NEW JERSEY, CALL 811.	





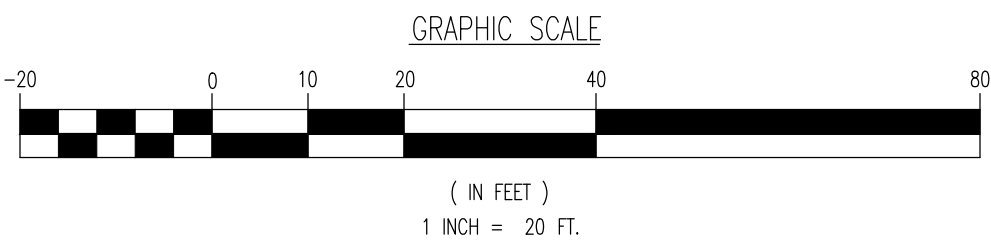
### DRAINAGE NOTES

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
- ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS II, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS II, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES & MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C-990 TO BE UTILIZED TO PROVIDE A SILT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATERTIGHT AND CONFORM TO ASTM C-443.
- HDPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SLT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HDPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HDPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12"-30" PIPE) AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATERTIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.



### GRADING/UTILITY GRAPHIC LEGEND

EXIST. GUY WIRE EXIST. LIGHT POLE EXIST. BUILDING LIGHT EXIST. SHOE BOX LIGHT EXIST. COBRA LIGHT POLE EXIST. TRAFFIC SIGNAL POLE EXIST. MANHOLE EXIST. "A" INLET EXIST. "B" INLET EXIST. "C" INLET EXIST. YARD INLET EXIST. FLARED END SECTION EXIST. HEADWALL EXIST. UTILITY POLE	EXIST. MONITORING WELL APPROX. TEST PIT LOCATION EXIST. FIRE HYDRANT EXIST. WATER VALVE EXIST. GAS VALVE EXIST. GAS METER EXIST. ELECTRIC METER EXIST. ELECTRIC BOX EXIST. CLEAN OUT EXIST. WELL EXIST. WATER SHUT OFF VALVE EXIST. TELEPHONE BOX EXIST. CABLE TV BOX PROP. HEADWALL	PROPERTY LINE (PARCEL IN QUESTION) OFF-SITE PROPERTY LINES PROP. WATER VALVE PROP. GAS VALVE PROP. STORM CLEANOUT PROP. SANITARY CLEANOUT PROP. AREA LIGHT PROP. OUTLET CONTROL STRUCTURE PROP. DRAINAGE MANHOLE PROP. SANITARY SEWER MANHOLE PROP. "A" INLET PROP. "B" INLET PROP. "C" INLET PROP. YARD INLET PROP. FLARED END SECTION	EXIST. CABLE LINE PROP. CABLE LINE EXIST. ELECTRIC LINE PROP. ELECTRIC LINE EXIST. FIBER OPTIC LINE PROP. FIBER OPTIC LINE EXIST. GAS LINE PROP. GAS LINE EXIST. OVERHEAD WIRES PROP. OVERHEAD WIRES EXIST. TELEPHONE LINE PROP. TELEPHONE LINE EXIST. WATER LINE PROP. WATER LINE EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED) PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED) EXIST. SANITARY SEWER LINE PROP. SANITARY SEWER LINE EXIST. STORM DRAIN LINE PROP. STORM DRAIN LINE EXIST. MINOR CONTOUR & ELEVATION EXIST. MAJOR CONTOUR & ELEVATION PROP. FINISH GRADE CONTOUR & ELEVATION PROP. DIRECTION OF DRAINAGE FLOW ARROW EXIST. SPOT ELEVATIONS EXIST. GUTTER ELEV. EXIST. TOP OF CURB ELEV. EXIST. FINISH FLOOR ELEV. EXIST. GARAGE FLOOR ELEV. PROP. GRADE SPOT ELEV. PROP. TOP OF CURB & FINISHED GRADE ELEV. PROP. FINISHED FLOOR ELEV. PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER) PROP. TOP OF EXTENDED CURB (Q1) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (Q2) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB



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Newtown, Pennsylvania 1-267-685-0276 | Philadelphia, Pennsylvania 1-215-253-4888 | Southampton, Pennsylvania 1-610-398-4400

TITLE: **DRAINAGE PLAN**

PROJECT: **STORAGE PLATFORM, LLC  
PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES**  
BLOCK 2-303, LOTS 1, 2, 3, 4, 1-3 & 1-4  
256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE  
TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY

THOMAS J. MULLER  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 52179

JOHN A. PALUS  
PROFESSIONAL ENGINEER  
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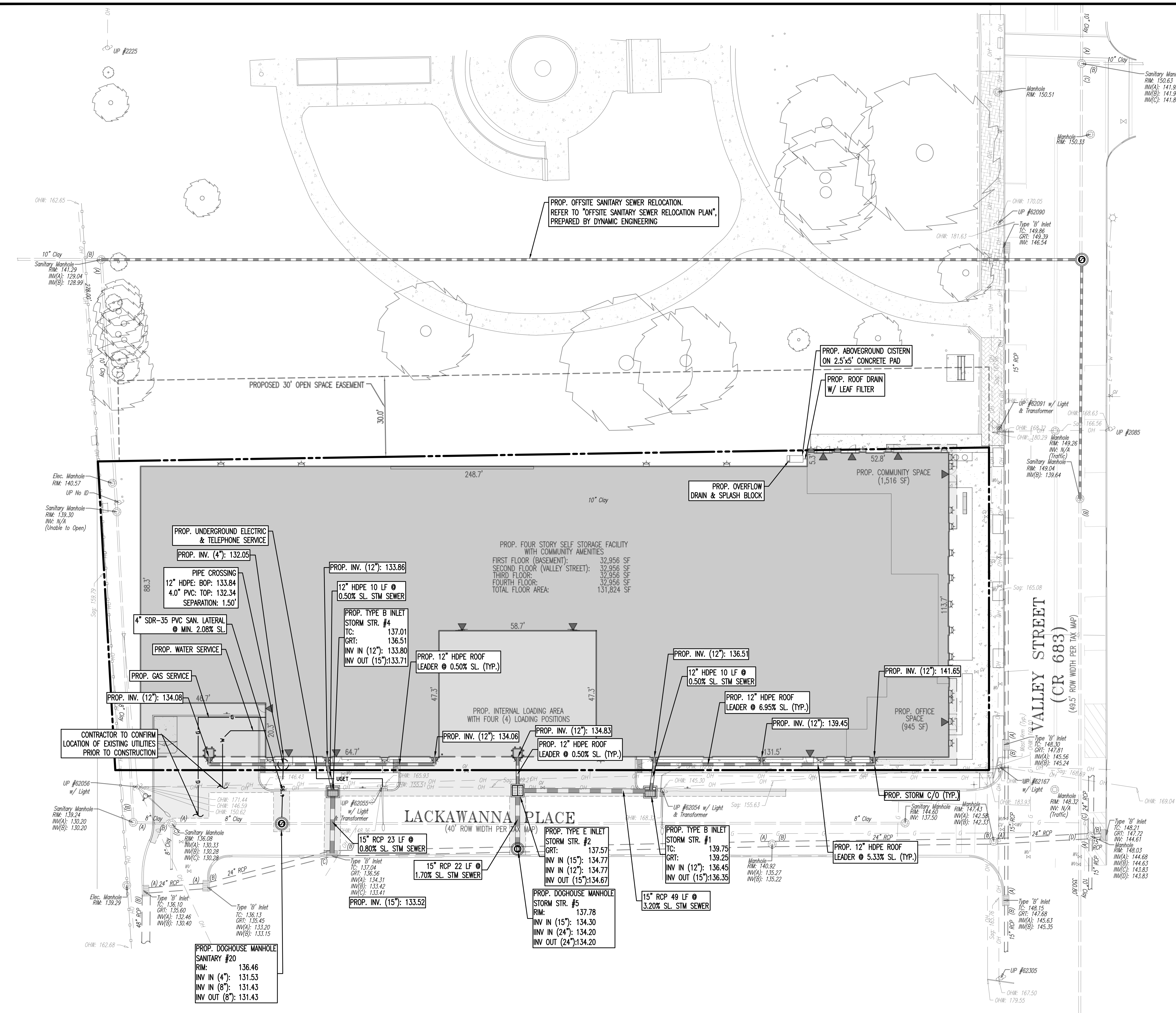
JOB NO: 2624-99-007  
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DESIGNED BY: LPG  
CHECKED BY: TJM  
CHECKED BY: -

DATE: 07/08/2021  
SCALE: (H) 1"=20'  
(V)  
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OF 19

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### UTILITY NOTES

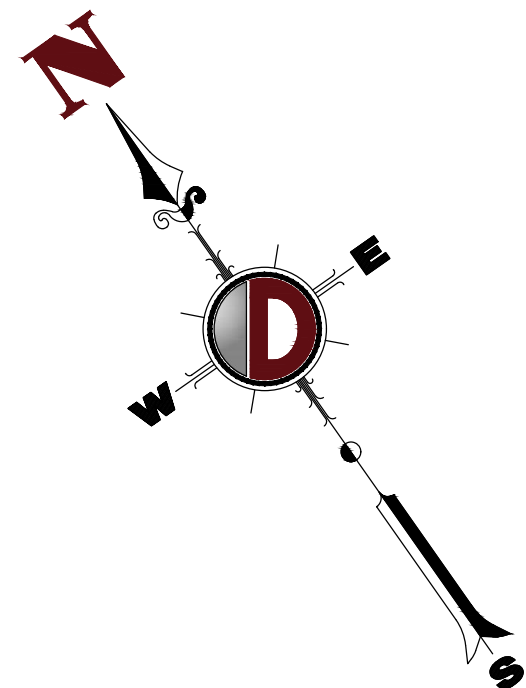
1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
3. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
4. WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
5. ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
6. THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
7. SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN. ALL SEWER MAINS SHALL BE SDR-35 PVC PIPE UNLESS OTHERWISE DESIGNATED.
8. ALL SEWER PIPE INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER COAT, OR APPROVED EQUAL.
9. WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN, STRUCTURES AND APPURTENANCES DURING CONNECTION.
11. LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
12. ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
13. ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.

### EXISTING UTILITY NOTES

EXISTING WATER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

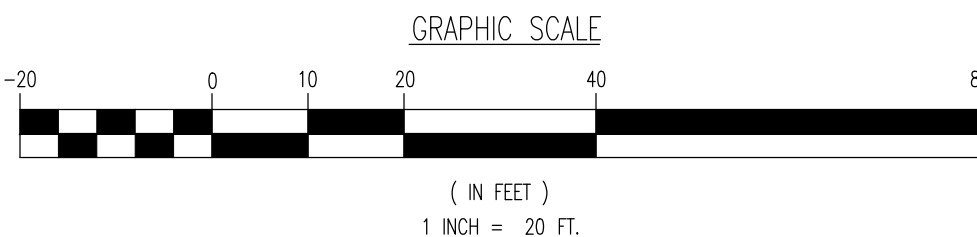
EXISTING GAS SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

SANITARY SEWER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.



### GRADING/UTILITY GRAPHIC LEGEND

	EXIST. GUY WIRE		EXIST. MONITORING WELL		PROPERTY LINE (PARCEL IN QUESTION)
	EXIST. LIGHT POLE		APPROX. TEST PIT LOCATION		OFF-SITE PROPERTY LINES
	EXIST. BUILDING LIGHT		EXIST. FIRE HYDRANT		EXIST. CABLE LINE
	EXIST. SHOE BOX LIGHT		EXIST. WATER VALVE		EXIST. ELECTRIC LINE
	EXIST. COBRA LIGHT POLE		EXIST. GAS VALVE		EXIST. ELECTRIC LINE
	EXIST. TRAFFIC SIGNAL POLE		EXIST. GAS METER		EXIST. FIBER OPTIC LINE
	EXIST. MANHOLE		EXIST. ELECTRIC METER		EXIST. GAS LINE
	EXIST. 'A' INLET		EXIST. ELECTRIC BOX		EXIST. OVERHEAD WIRES
	EXIST. 'B' INLET		EXIST. CLEAN OUT		EXIST. TELEPHONE LINE
	EXIST. 'C' INLET		EXIST. WATER SHUT OFF VALVE		EXIST. WATER LINE
	EXIST. YARD INLET		EXIST. CABLE TV BOX		EXIST. WATER LINE
	EXIST. FLARED END SECTION		EXIST. HEADWALL		EXIST. WATER LINE
	EXIST. HEADWALL				



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TITLE: <b>UTILITY PLAN</b>			
PROJECT: <b>STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES</b> BLOCK 2303, LOTS 1, 2, 3, 4, 13 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY		JOB No: 2624-99-007 DATE: 07/08/2021 DRAWN BY: GMC DESIGNED BY: LPF CHECKED BY: TJM CHECKED BY: -	
THOMAS J. MULLER PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 52179		JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 41975	
		PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF CONSTRUCTIVE, EXISTING, OR NEW UTILITIES BEFORE ANY EXCAVATION OR DRILLING OPERATIONS TO AVOID THE DANGER OF SERVICE INTERRUPTIONS, INJURY, OR DEATH FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM	

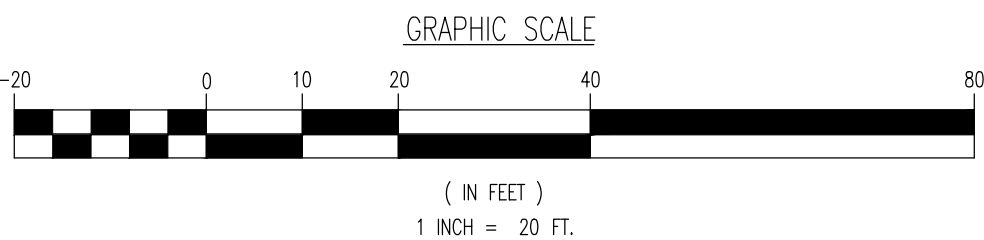


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File: P:\BPCP PROJECTS\2824\_Qulian Development Group, LLC\99-007 South Orange Dwg\Site Plans\282499007SLO.dwg, ---> LANDSCAPE PLAN

LANDSCAPE SCHEDULE					
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES(S)					
GTI	3	GLADISTIA TRACANTHOSUS INERMIS	THORNLESS HONEYLOCUST	2 1/2-3" CAL.	B+B
LSR	2	LIQUIDAMBAR STYRACIFLUA 'ROTUNDELOBA'	SEEDLESS SWEETGUM	2 1/2-3" CAL.	B+B
ORNAMENTAL TREE(S)					
PSJ	3	PRUNUS SARGENTII 'FENS-KWSS'	PINK FLAIR CHERRY	2-2 1/2" CAL.	B+B
SRIS	2	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	7-8"	B+B
DECIDUOUS SHRUB(S)					
HQ	15	HYDRANGEA QUEROPOLIA	OAKLEAF HYDRANGEA	24-30"	#5 CAN
IV	23	ITEA VIRGINICA 'HENRY'S GARNET'	GARNET SWEETSPICE	24-30"	#5 CAN
	38				
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.					

## LANDSCAPE REQUIREMENTS

- A. A LICENSED LANDSCAPE ARCHITECT SHALL PREPARE STREETSCAPE SUBMISSIONS TO THE PLANNING BOARD. AMENITIES SHOULD INCLUDE CONSIDERATIONS FOR SUSTAINABILITY, AESTHETICS, PLACEMAKING, SAFETY AND ACCESSIBILITY. (REDEVELOPMENT PLAN § 7.6.B.)
- B. TREE PITS ALONG VALLEY STREET SHALL BE A MINIMUM OF 4' WIDE AND 7' IN LENGTH. RANGARDENS AND/OR BIOSWALES IN TREE PITS ARE ENCOURAGED. (REDEVELOPMENT PLAN § 7.6.E.)
- C. POLLUTION RESISTANT STREET SHADE TREES ARE TO BE PLANTED ALONG BOTH VALLEY STREET AND LACKAWANNA PLACE, AT REGULAR INTERVALS OF 25' ON CENTER. (REDEVELOPMENT PLAN § 7.6.E.)
- D. TREES SHALL BE A MINIMUM OF 3.5" CALIPER MEASURED AT 8" ABOVE THE GRADE. (REDEVELOPMENT PLAN § 7.6.E.)
- E. TREE IRRIGATION BAGS MUST BE INSTALLED AND MAINTAINED FOR AT LEAST 6 MONTHS AFTER PLANTING. (REDEVELOPMENT PLAN § 7.6.E.)
- F. TREE GROUPING OR CLUSTERING IS ENCOURAGED. (REDEVELOPMENT PLAN § 7.6.E.)
- G. LOCATIONS THAT ARE NOT REASONABLY FEASIBLE DUE TO LACK OF SUN EXPOSURE, CONFLICTS WITH UTILITIES, OR OTHER CONTEXTUAL CHALLENGES MAY REPLACE THE REQUIREMENT TO PROVIDE STREET TREES WITH ALTERNATIVE PLANTINGS OR STREETSCAPE DESIGN. (REDEVELOPMENT PLAN § 7.6.E.)
- H. FOUNDATION LANDSCAPING SHALL BE PROVIDED AT BUILDING SETBACKS, EITHER AT-GRADE OR IN RAISED PLANTER BEDS. SHRUBS AND GROUNDCOVER SHALL BE PLANTED TO CREATE A CONTINUOUS ROW OF FOUNDATION LANDSCAPING SUBJECT TO FINAL REVIEW AND APPROVAL BY THE PLANNING BOARD. THE UTILIZATION OF DOWNSPOUT PLANTERS IS ENCOURAGED FOR THE TREATMENT OF STORMWATER FROM BUILDING ROOFTOPS. (REDEVELOPMENT PLAN § 7.6.E.)
- I. COORDINATE PUBLIC SPACE AND STREETSCAPE ELEMENTS TO UTILIZE SIMILAR NEIGHBORHOOD PLANTINGS, VISUAL CUES, AND SIDEWALKS TO CREATE A UNIFORM AND ATTRACTIVE PUBLIC REALM. (REDEVELOPMENT PLAN § 7.6.E.III)
- J. RAIN GARDENS AND BIOSWALES ARE ENCOURAGED TO THE GREATEST EXTENT PRACTICABLE. (REDEVELOPMENT PLAN § 7.6.E.IV)



## PLANTING NOTES

1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
4. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE (1) YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
6. IF NECESSARY, IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DATE OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (REV. 2001) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
8. ALL PLANTS SHALL BE PLANTED IN AMENDED TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILL PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
9. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "MIL-PRUF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
11. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SEWERMAINS.
12. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
13. ALL NURSED ROOTS SHALL BE PRUNED TO MAINTAIN CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES WILL NOT BE CUT BACK. LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED.
14. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
15. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING TREES SHALL BE FERTILIZED WITH A REGULAR GARDEN FERTILIZER (5-10-5) UPON COMPLETION OF WORK. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR TO ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH SHARP TOOLS AND FILLED AROUND WITH TOPSOIL. COMPLETELY SATURATE THESE AREAS WITH WATER. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN BY ERECTING TREE PROTECTION FENCE AT THE DRIP LINE. THIS WILL ENSURE NO COMPACTION OF THE ROOT MASS.
16. ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
17. NEW PLANTING AREAS AND SOIL SHALL BE ADEQUATELY IRRIGATED OR WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
18. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED, INSPECTED AND APPROVED BY THE MUNICIPAL LANDSCAPE ARCHITECT. THE MUNICIPAL ENGINEER AND LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINIS OR GROUND COVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVED BY THE PLANNING BOARD OR ZONING BOARD OF ADJUSTMENT SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS:

TYPE	DATES
PLANTS	3/15 TO 12/15
LAWN	3/15 TO 6/15
	9/15 TO 12/1

FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH DIGGING THESE TREES IN THIS SEASON.

ACER RUBRUM	POPULUS VARIETIES
BETULA VARIETIES	PRUNUS VARIETIES
CARPINUS VARIETIES	PRUNUS VARIETIES
CRATAEGUS VARIETIES	QUERCUS VARIETIES
KOELERUTERA	SAUK WEETING VARIETIES
LIQUIDAMBAR STYRACIFLUA	TILIA TOMENTOSA
LIRIODENDRON FLUPIPERA	ZELKOVA VARIETIES
PLATANUS ACERIFOLIA	

ANY PLANTINGS INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL BY THE MUNICIPAL ENGINEER OR LANDSCAPE ARCHITECT, PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SOILING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING FOR SOIL STABILIZATION ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.

19. ALL DISTURBED AREAS TO BE TREATED WITH TOPSOIL SEED SOO STABILIZATION METHOD.

## PLANTING SPECIFICATIONS

1. SCOPE OF WORK
  - A. THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
2. MATERIALS
  - A. GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION) OR APPROVED EQUAL.
  - B. PLANTS - ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.
  - C. TOPSOIL - LOAMY SILT, HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, pH RANGE BETWEEN 4.5 - 7, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
  - D. MULCH - FOUR (4") INCHES DOUBLE SHREDDED HARDWOOD BARK MULCH.
  - E. ORGANIC FERTILIZER - SHALL BE PROCESSED SEWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO 'NITROHUMUS'.
  - F. ORGANIC FERTILIZER AND SOIL CONDITIONER SHALL BE "BIO-POWER" AND ORGANIC BASE MATERIALS COMPRISED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1): NITROGEN 5%, PHOSPHATE 3%, POTASH 1%, 50% HUMUS AND 15% HUMIC ACIDS.
3. GENERAL WORK PROVIDED
  - A. LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH DAY'S WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF AT THE END OF EACH DAY'S WORK.
  - B. WEEDING
    - 1. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
  - C. TOPSOILING
    - 1. CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A 4" UNSETTLED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM.
  - D. SOIL CONDITIONING
    - 1. CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.:
      - 20 POUNDS "ORO-POWER"
      - 100 POUNDS AGRICULTURAL GYPSUM
      - 20 POUNDS NITROFORM (COURSE) 38-0-0 BLUE CHIP
  - E. SOIL MODIFICATIONS
    - 1. THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6" TO 12" IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS.
    - 2. USE COMPOSTED BARK, RECYCLED WASTE OR PEAT MOSS. ALL PRODUCTS SHALL BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A pH HIGHER THAN 7.5.
    - 3. MOIST, HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 50% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING IN RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
    - 4. MOIST, EXTREMELY SANDY SOILS (MORE THAN 80% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
  - F. PLANTING
    - 1. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
    - 2. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
      - 1 PART PEAT MOSS BY VOLUME
      - 1 PART COM MANURE BY VOLUME
      - 3 PARTS TOPSOIL BY VOLUME
    - 3. GRAM AGRIFORM PLANTING TABLETS AS FOLLOWS:
      - 1. TABLETS PER 1 GAL. PLANT
      - 1. TABLETS PER 5 GAL. PLANT
      - 1. TABLETS PER 15 GAL. PLANT
    - 4. LARGER PLANTS (2) TWO TABLETS PER 1/2" DIAM. OF TRUNK CALIPER.
  - G. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER.
  - H. ALL PLANTS SHALL BE SET SO THAT, THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPORTED.
  - I. PREPARE BASED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH TREE.
  - J. WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
  - K. PRUNE ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MIN. OF 7" BRANCHING HEIGHT.
4. GROUND COVER
  - A. ALL GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS BAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.
  - B. SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
  - C. IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
  - D. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT FOR FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.
5. FINISH GRADING
  - A. ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS 1 FOOT OF FINISH GRADE.
  - B. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDING SHALL BE GRADUALLY SLOPED TO THE BUILDING.
  - C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
6. GUARANTEE
  - A. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM ACCEPTANCE OF JOB. OWNER TO SECURE A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASSES A FINAL INSPECTION BY THE OWNER OR OWNER'S REPRESENTATIVE.
7. CLEANUP
  - A. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT AND DEBRIS RESULTING FROM HIS WORK. ALL PLANTING AREAS SHALL BE PROPERLY CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
  - B. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WIRING: SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
  - C. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF EROSION OR BARE AREAS.
8. MAINTENANCE (ALTERNATE BID) COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD.

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TITLE: <b>LANDSCAPE PLAN</b>			
PROJECT: <b>STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY, W/ COMMUNITY AMENITIES</b>	JOB NO: 2624-99-007	DATE: 07/08/2021	
LOCUS: 2305, LOTS 1, 2, 3, 4, 5 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY	DRAWN BY: GMC	SCALE: (H) 1"=20' (V)	
	DESIGNED BY: LPG	SHEET No:	
	CHECKED BY: TJM		
	CHECKED BY: -		
<b>THOMAS J. MULLER</b> Professional Engineer NEW JERSEY LICENSE NO. 52179	<b>JOHN A. PALUS</b> Professional Engineer NEW JERSEY LICENSE NO. 41975	<b>8</b> OF 19	Rev. # 0






GENERAL NOTES

1. THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
3. CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUIDELINE POSTS.
4. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
5. REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING DIAGRAM.

LIGHTING REQUIREMENTS

- A. LIGHTS ARE TO BE PROVIDED AT A MINIMUM OF 60' INTERVALS ALONG ALL PUBLIC STREETS AND NEAR BICYCLE AND PEDESTRIAN FACILITIES ACCESSIBLE TO THE PUBLIC AND SHOULD BE NO TALLER THAN 20' MEASURED FROM AVERAGE GRADE. MINOR DEVIATIONS OF MOUNTING HEIGHT TO ACCOMMODATE GRADE CHANGE MAY BE REQUESTED AND APPROVED BY THE BOARD. (REDEVELOPMENT PLAN § 7.5.A)
- B. LIGHTS ARE TO BE FULLY ENCLOSED/SHIELDED, FULL CUT OFF FIXTURES TO PREVENT LIGHT SPILLAGE ONTO OFF-SITE PROPERTIES OR UPWARD INTO THE SKY. LIGHTING IS TO BE LED LAMPS PROVIDING "WARM-WHITE" LIGHT (CCT<3,500 K OR S/P RATIO <1.2) AND NOT LESS THAN ONE-HALF HORIZONTAL FOOT-CANDLE AVERAGE LIGHTING LEVEL AT THE SURFACE. (REDEVELOPMENT PLAN § 7.5.B)
- C. ANY PATHWAYS SHALL BE LIT FOR PEDESTRIANS AT A MINIMUM FOOTCANDLE LEVEL OF 2 FC. (REDEVELOPMENT PLAN § 7.5.C)
- D. ALL LIGHTING SHALL BE DIRECTED AWAY FROM ALL ADJACENT LOTS, WITH THE EXCEPTIONS OF BUILDING MOUNTED FIXTURES THAT SERVICE THE FOUNDERS PARK. (REDEVELOPMENT PLAN § 7.5.D)
- E. ALL LIGHTS NOT REQUIRED FOR SAFETY AND SECURITY SHOULD BE OFF BETWEEN THE HOURS OF 11:00 PM AND 5:00 AM. ALL LIGHTS ARE TO BE DIMMABLE AND CAPABLE OF CONTROL BY TIMER. (REDEVELOPMENT PLAN § 7.5.E)
- F. DEVELOPER SHALL PROPOSE A PALETTE OF FIXTURES AND FINISHES FOR LIGHTING THAT COMPLEMENT THE BUILDING ARCHITECTURE. "COBBRA" TYPE LIGHT FIXTURES SHALL BE PROHIBITED. (REDEVELOPMENT PLAN § 7.5.F)
- G. LIGHTING AT CROSSWALKS SHOULD BE MAXIMIZED USING BEST PRACTICES. (REDEVELOPMENT PLAN § 7.5.G)
- H. SPILLOVER GREATER THAN 2 FC INTO THE CARTRAY REQUIRES APPROVAL FROM THE BOARD ENGINEER. (REDEVELOPMENT PLAN § 7.5.H)

LIGHTING LUMINAIRE SCHEDULE						
SYMBOL	QUANTITY	LABEL	MOUNTING HEIGHT*	ARRANGEMENT	LIGHT LOSS FACTOR	IES FILE
	28	W-1	VARIES	SINGLE	1.000	KICHLER LIGHTING LED8ULBS_E27_A25
	16	W-2	VARIES	SINGLE	1.000	ARCHITECTURAL AREA LIGHTING UCM2-ANG-36L-260-357-2
	2	A-EX	12 FT	SINGLE	1.000	PHILIPS LEDCINE VX09264A3NNNA3N3

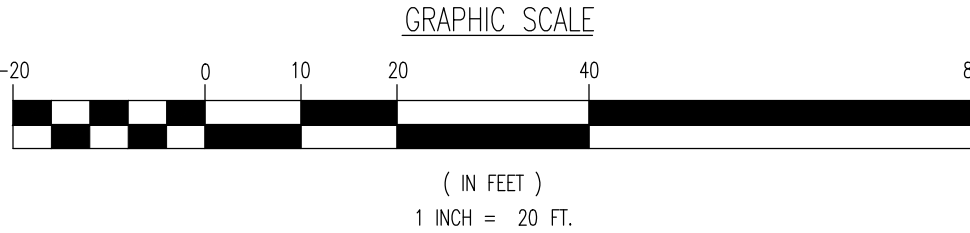
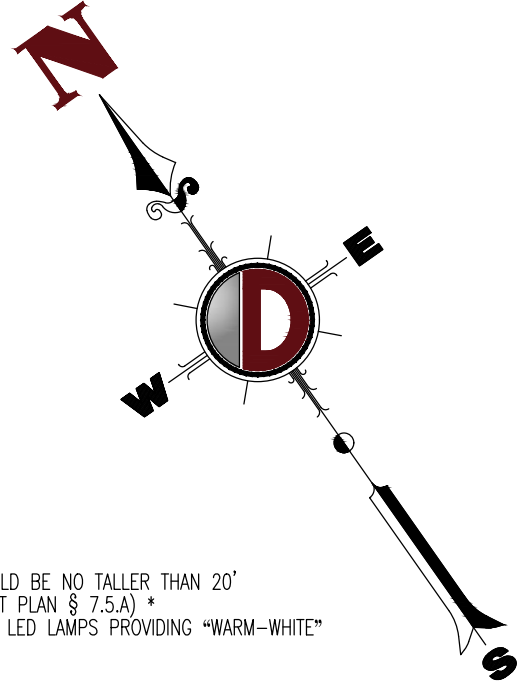
ISO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 0.1 FC.

(FM) = FLUSH MOUNT FOUNDATION (PEF) = PEDESTAL FOUNDATION

THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

STATISTICAL AREA SUMMARY						
LABEL	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.	DESCRIPTION
SIDEWALK AREA	3.69	8.0	1.0	3.69	8.00	CALCULATION WITHIN SIDEWALK AREAS

\* MOUNTING HEIGHTS VARY TO ACCOMMODATE THE GRADE CHANGE BETWEEN THE VALLEY STREET FRONTAGE AND THE REAR OF THE SITE



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TITLE:

PROJECT: **STORAGE PLATFORM, LLC**  
**PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES**  
BLOCK 2303, LOTS 1, 2, 3, 4, 13 & 14  
256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE  
TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY

DATE: 07/08/2021

DRAWN BY: GMC

DESIGNED BY: LPG

CHECKED BY: TJM

CHECKED BY: -

SHEET No: 9

OF 19

Rev. # 0

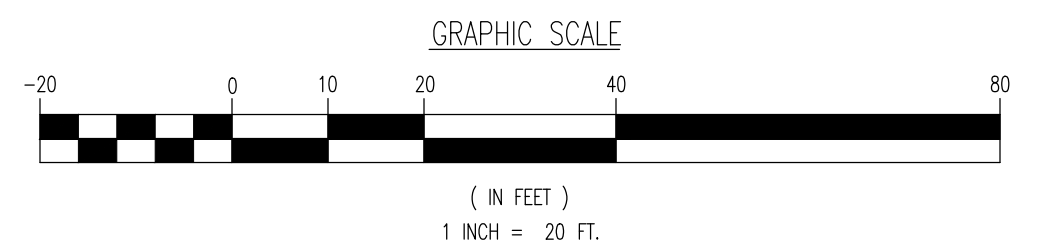
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Plotted: 07/08/2021 at 4:47 PM, By: gowndrick, Product Ver: 23.1s (LMS Tech)  
File: P:\GEOPC PROJECTS\2824\_Soil Erosion and Sediment Control Plan Details.dwg, Site Plans\2824\99007500.dwg, ---> SOIL EROSION AND SEDIMENT CONTROL PLAN DETAILS

## STANDARD FOR STABILIZATION WITH MULCH ONLY

- SITE PREPARATION
  - A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
  - B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
- PROTECTIVE MATERIALS
  - A. UNROTTED SMALL-GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE, IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A LIQUID ANCHORING TOOL, LIQUID BINDERS, OR NETTING. THE DOWN OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE GROUND COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOIL CANNOT BE SEEN BELOW THE MULCH.
  - B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
  - C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
  - D. MULCH NETTINGS, SUCH AS PAPER JUTE, EXCELLOS, COTTON, OR PLASTIC, MAY BE USED.
  - E. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.
  - F. GRAVEL, CRUSHED STONE, OR SLACK AT THE RATE OF 9 CUBIC YARDS PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SEED 2 OR 3 (ASTM C-33) IS RECOMMENDED.
- MULCH ANCHORING – SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER FLOWING OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS IN ACCORDANCE WITH THE STATE STANDARDS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES:
  - A. PEG AND TWINE
  - B. MULCH NETTINGS
  - C. CRAMPER MULCH ANCHORING COULTER TOOL
  - D. LIQUID MULCH-BINDERS

## STANDARD FOR PERMANENT STABILIZATION WITH SOD

- ### METHODS AND MATERIALS
- CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD. SPECIFY "CERTIFIED SOD," OR OTHER HIGH QUALITY CULTIVATED SOD.
  - SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEPY GRASSES.
    - 1. SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 5/8" INCH, PLUS OR MINUS 1/4" INCH, AT TIME OF CUTTING. (EXCLUDES TOP GROWTH)
    - 2. SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 10 PERCENT OF THE STRIP. BROKEN PADS OR TORN AND UNDEEN ENDS WILL NOT BE ACCEPTABLE.
  - FOR DRAUGHT SITES, A SOD OF KENTUCKY 31 TALL FESCUE AND BLUEGRASS IS PREFERRED OVER A STRAIGHT BLUEGRASS SOD.
  - ONLY MOIST, FRESH, UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS.
- ### I. SITE PREPARATION
- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR LIMING, FERTILIZING, AND SOIL PREPARATION. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING, PAGE 4.11.
- B. INSTALL NEEDED EROSION CONTROL PRACTICES AND FACILITIES, SUCH AS INTERCEPTOR DITCHES, DIKES AND TERRACES, EROSION STOPS, AND DE-SILTING BASINS. SEE STANDARDS 42 THROUGH 4.16.

- ### II. SOIL PREPARATION
- A. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS SUCH AS THOSE OFFERED BY RUTGERS UNIVERSITY SOIL TESTING LABORATORY. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL COOPERATIVE EXTENSION SERVICE OFFICE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN AND INCORPORATED INTO THE SURFACE 4". IN ADDITION, 300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF TOP-DRESSING. APPLY LIMESTONE AS FOLLOWS:
- | SOIL TEXTURE                           | TONS/ACRE | LBS/1000 SQ. FT |
|--|-----------|-----------------|
| CLAY, CLAY LOAM, AND HIGH ORGANIC SOIL | 2         | 135             |
| SANDY LOAM, LOAM, SILT LOAM            | 1         | 68              |
| LOAMY SAND, SAND                       | 1         | 45              |
- PULVERIZED DOLOMITE LIMESTONE IS PREFERRED FOR MOST SODS SOUTH OF THE NEW BRUNSWICK-TRENTON LINE.
- B. WORK LINE AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL, TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR, CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED.
- C. REMOVE FROM THE SURFACE ALL OBJECTS THAT WOULD PREVENT GOOD SOD TO SOIL CONTACT AND REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
- D. INSPECT SITE JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.

- ### III. SOD PLACEMENT
- A. SOD STRIPS SHOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP. ON STEEP SLOPES, THE USE OF LOADERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOD. DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOD IMMEDIATELY PRIOR TO LAYING THE SOD.
- B. PLACE SOD STRIPS WITH SNUG, EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES INVITE EROSION.
- C. ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOD CONTACT OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAP SOD. ALL JOINTS SHOULD BE BUTTED TIGHTLY WHICH WOULD CAUSE SPRING OF THE ROOTS.
- D. ON SLOPES GREATER THAN 3 TO 1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES, OR SPLIT SHINGLES (8 TO 10 INCHES LONG BY 3/4" INCH WIDE).
- E. SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE, BUT A CAPPING STRIP OF HEAVY JUTE OR PLASTIC NETTING, PROPERLY SECURED, ALONG THE CROWN OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD. THE SAME TECHNIQUE CAN BE USED TO ANCHOR SOD IN WATER CARRYING CHANNELS AND OTHER CRITICAL AREAS. WIRE STAPLES MUST BE USED TO ANCHOR NETTING IN CHANNEL WORK.
- F. IMMEDIATELY FOLLOWING INSTALLATION, SOD SHOULD BE WATERED UNTIL MOISTURE PENETRATES THE SOIL LAYER BENEATH SOD TO A DEPTH OF 4 INCHES. MAINTAIN OPTIMUM MOISTURE FOR AT LEAST TWO WEEKS.

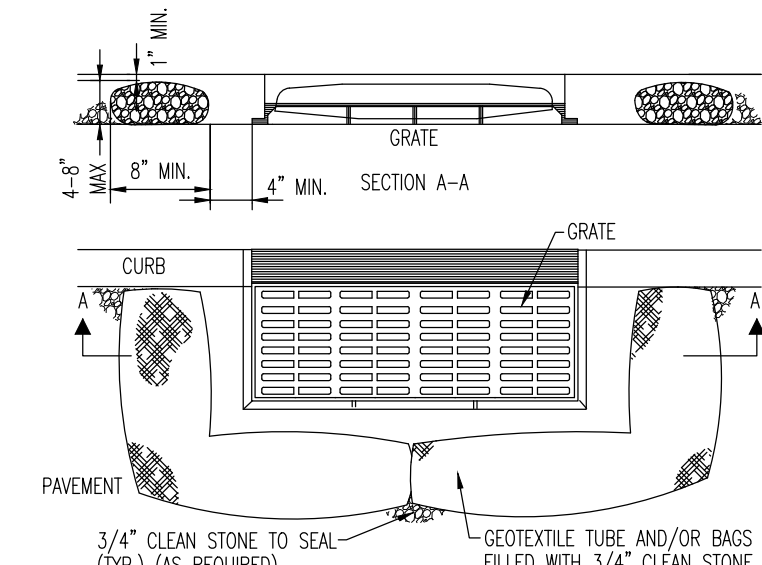
- ### IV. TOP-DRESSING
- IF SLOW RELEASE NITROGEN IS USED IN ADDITION TO SUGGESTED FERTILIZER, THEN A FOLLOW-UP OF TOP DRESSING IS NOT MANDATORY, EXCEPT WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP.
- TOP-DRESS WITH 10-0-10 OR EQUIVALENT AT 400 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELIORATED.

## STANDARD FOR DUST CONTROL

- DEFINITION – THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS.
- PURPOSE – TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON-AND OFF- SITE DAMAGE AND HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.
- WHERE APPLICABLE – THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
- MULCHES – SEE STANDARDS FOR STABILIZATION WITH MULCHES ONLY
  - VEGETATIVE COVER – SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER, PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOD.
  - SPRAY-ON ADHESIVES – ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANONIC ASPHALT	7:1	COARSE SPRAY	1,200
EMULSION			
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300

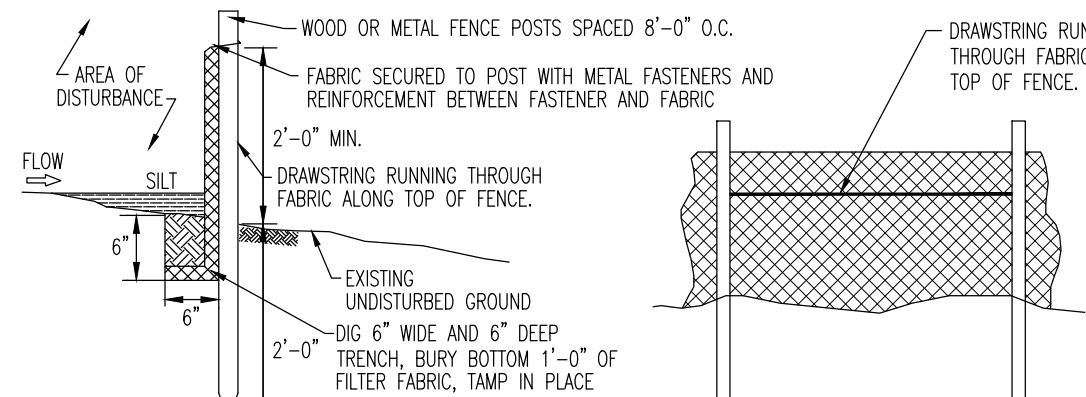
- TILLAGE – TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHESL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING – TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING – SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS – SOLID BOARD FENCES, SNOW FENCES, BURAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE – SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED SPREADERS, COMMONLY USED SPREADERS THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEP SLOPES, THEN OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
- STONE – COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



- NOTES:
- GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT 110F, BY SYNTHETIC INDUSTRIES INC., OR TERRATEX SO, BY METRIC INC., OR APPROVED EQUAL.
  - 3/4" CLEAN STONE CORE SHALL BE COMPLETELY CONTAINED WITHIN GEOTEXTILE. SEAMS SHALL BE SEWN OR CLOSED BY SUITABLE MECHANICAL MEANS TO PREVENT LEAKAGE OF STONE.
  - WHERE NO CURB IS PRESENT, BARRIER SHALL COMPLETELY ENCLOSE THE DRAIN INLET.
  - INLET GRATE OPENING IS TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES.
  - THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL PREVENT CARRY OVER RAINFALL DURING HEAVY RAINING SYSTEM.
  - OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
  - INSPECTIONS SHALL BE FREQUENT. MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.

## INLET FILTER DETAIL

NOT TO SCALE



- PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SLOPE OF THE LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5 PERCENT.
- SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE ALONG THE SIDES.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
- SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE TOWNSHIP ENGINEER OR SOIL CONSERVATION DISTRICT.
- THE BARRIER SHALL BE REMOVED WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED SO AS NOT TO BLOCK OR IMPIDE STORM FLOW OR DRAINAGE.
- FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER, THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD A MIN. DIAMETER THICKNESS OF 1 1/2 INCHES.
- A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC. OTHER SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS DEPECTED.
- A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE GROUND. FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND HIGH STRENGTH REINFORCING MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADJUST STRENGTH.

## SILT FENCE DETAIL

NOT TO SCALE

## STANDARD FOR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

- SITE PREPARATION
  - A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.
  - B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
  - C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
- SEEDING PREPARATION
  - A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES.
    - FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE.
    - CALCIUM CARBONATE IS THE EQUIVALENT STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
  - B. WORK LINE AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL, TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR, CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
  - C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILED IN ACCORDANCE WITH THE ABOVE.
  - D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PG. 1-1.
- SEEDING
  - A. TEMPORARY VEGETATIVE STABILIZATION GRASSES, SEEDING RATES, DATES AND DEPTHS
    - COOL SEASON GRASSES:
      - (1) PERENNIAL RYEGRASS – 100 LBS / ACRE, PLANT BETWEEN MARCH 1 AND MAY 15 BETWEEN AUGUST 15 AND OCTOBER 1; AT A DEPTH OF 0.5 INCHES.
      - (2) SPRING OATS – 86 LBS / ACRE, PLANT BETWEEN MARCH 1 AND MAY 15 BETWEEN AUGUST 15 AND OCTOBER 1; AT A DEPTH OF 1.0 INCHES.
      - (3) WINTER BARLEY – 96 LBS / ACRE, PLANT BETWEEN MARCH 1 AND MAY 15 AND OCTOBER 1; AT A DEPTH OF 1.0 INCHES.
      - (4) ANNUAL RYEGRASS – 100 LBS / ACRE, PLANT BETWEEN MARCH 1 AND JUNE 15 BETWEEN AUGUST 1 AND SEPTEMBER 15; AT A DEPTH OF 0.5 INCHES.
      - (5) WINTER CEREAL RYE – 112 LBS / ACRE, PLANT BETWEEN AUGUST 1 AND NOVEMBER 15; AT A DEPTH OF 1.0 INCHES.
    - WARM SEASON GRASSES:
      - (1) PEARL MILLET – 20 LBS / ACRE, PLANT BETWEEN MAY 15 AND AUGUST 15; AT A DEPTH OF 1.0 INCHES.
      - (2) MILLET (GERMAN OR HUNGARIAN) – 30 LBS / ACRE, PLANT BETWEEN MAY 15 AND AUGUST 15; AT A DEPTH OF 1.0 INCHES.
  - B. CONVENTIONAL SEEDING, APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDER OR CULTPACKER SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDING PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
  - C. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION IV. MULCHING). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.
  - D. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

- MULCHING
  - A. MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.
- MULCHING
  - A. STRAW OR HAY, UNROTTED SMALL GRASS STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1.5 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRAMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.
  - B. APPLICATION, SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 80% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.

- ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS IN ACCORDANCE WITH THE STATE STANDARDS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COST:
- PEG AND TWINE
  - MULCH NETTINGS
  - CRAMPER MULCH ANCHORING COULTER TOOL
  - LIQUID MULCH-BINDERS

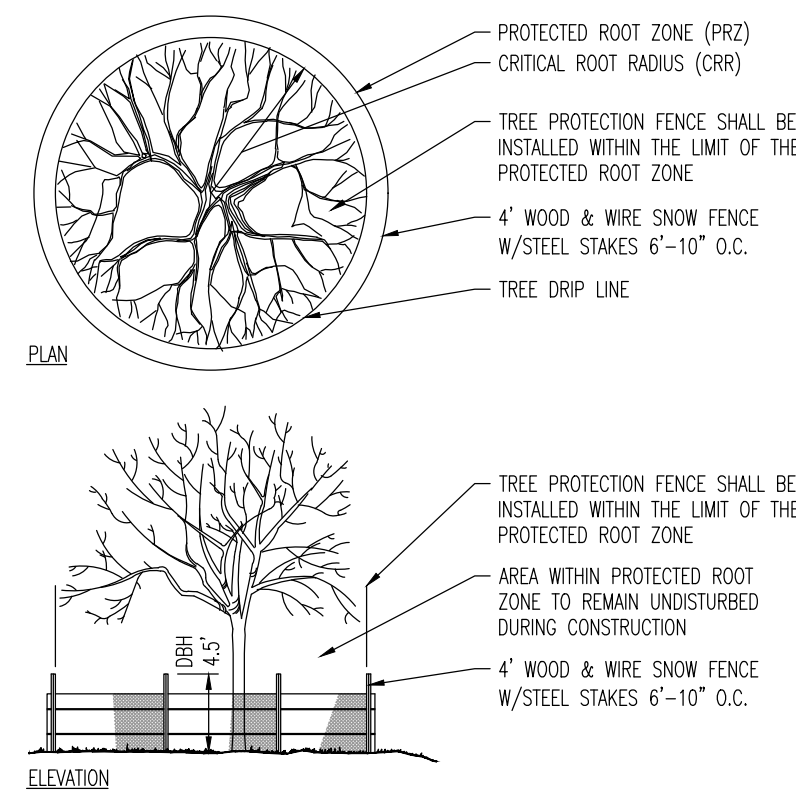
- B. WOOD-FIBER OR PAPER-FIBER MULCH – SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

- C. PELLETED MULCH, COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS (THE DRY PELLETS, WHEN APPLIED TO A SEEDD AREA AND WATERED, FORM A MULCH MAT. PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE.

- APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

## SOIL EROSION & SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL," 7TH EDITION LAST REVISED JULY 2017, EFFECTIVE DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, MAY BE REQUIRED TO BE TEMPORARILY MULCHED, AND SEEDED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER AS PER APPENDIX A3. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT REESTABLISHMENT IS ESTABLISHED.
- SEEDING, DATES, THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HESPCD: SPRING – 3/1-5/2/5 AND FALL – 8/15 – 10/1.
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRASS STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING. THE DOWN, OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX – (862) 333-4507 OR EMAIL – INFORMATION@HESCD.ORG
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY. NJL – DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE REESTABLISHMENT MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROMPTS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTATION. WATER MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SLUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SOODING OR PLANTING. A DEPTH OF 5.0 INCHES, FIRMED IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, EFFECTIVE DECEMBER 2017.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2 – 1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SECAK" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS' INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES, DEEMED NECESSARY BY DISTRICT OFFICIALS, SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.



- ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR)
- MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5' ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.
  - MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET

- DBH x 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.  
DBH x 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.

## TREE PROTECTION DURING SITE CONSTRUCTION DETAIL

NOT TO SCALE

## TEMPORARY STOCKPILE DETAIL

NOT TO SCALE

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Newtown, Pennsylvania 1-267.685.0276 | Philadelphia, Pennsylvania 1-215.253.4888 | Southampton, Pennsylvania 1-610.598.4400

TITLE:  
**SOIL EROSION AND SEDIMENT CONTROL PLAN DETAILS**

PROJECT:  
**STORAGE PLATFORM, LLC  
PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES**  
BLOCK: 2-305, LOTS:  
256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKMANNA PLACE  
TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY

JOB No:  
2624-99-007  
DRAWN BY:  
GMC  
DESIGNED BY:  
LPG  
CHECKED BY:  
TJM  
CHECKED BY:  
—

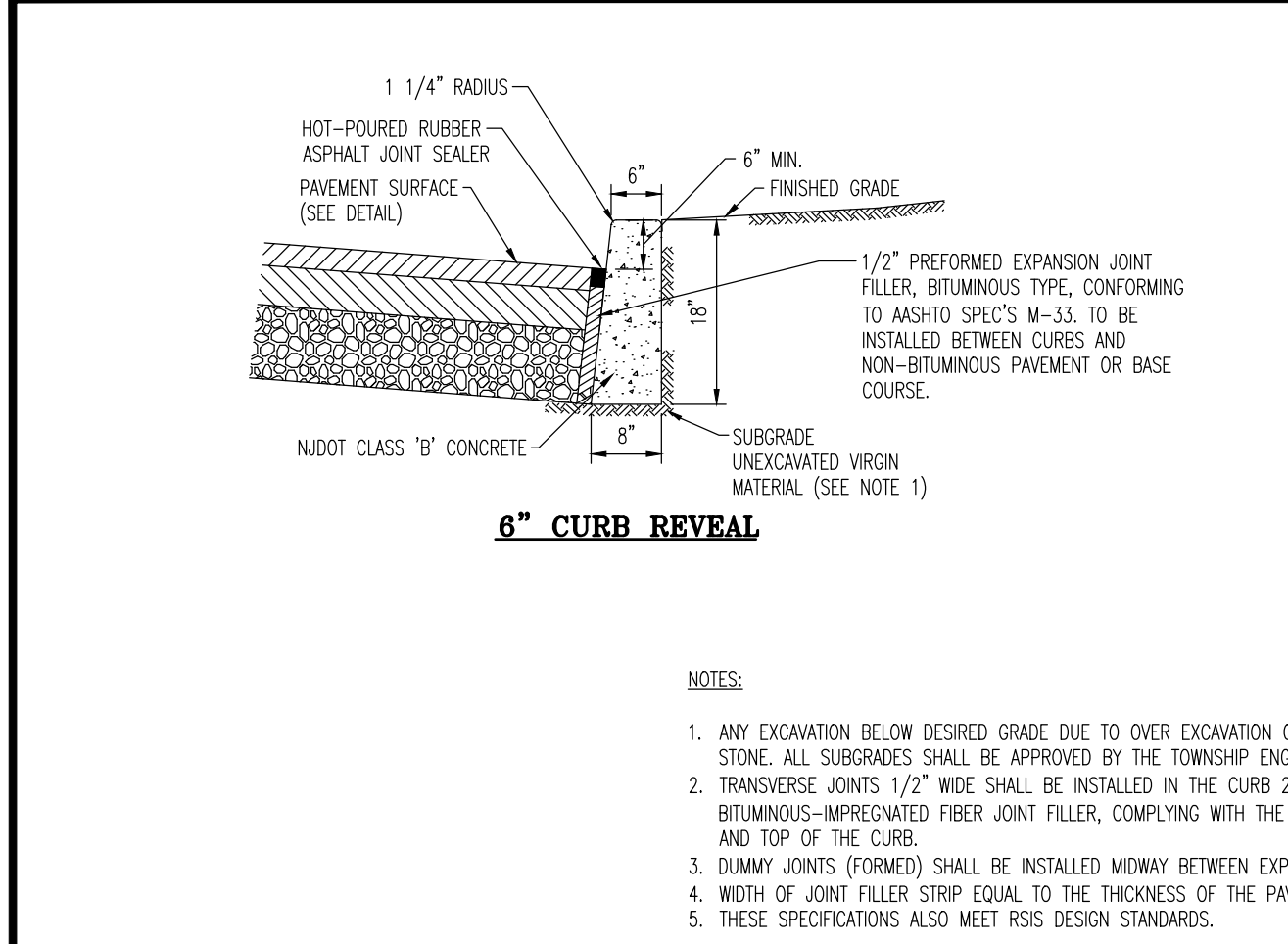
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(V) SHOWN  
SHEET No:  
**11**  
OF 19  
Rev. # 0

**THOMAS J. MULLER**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 52179

**JOHN A. PALUS**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 41975

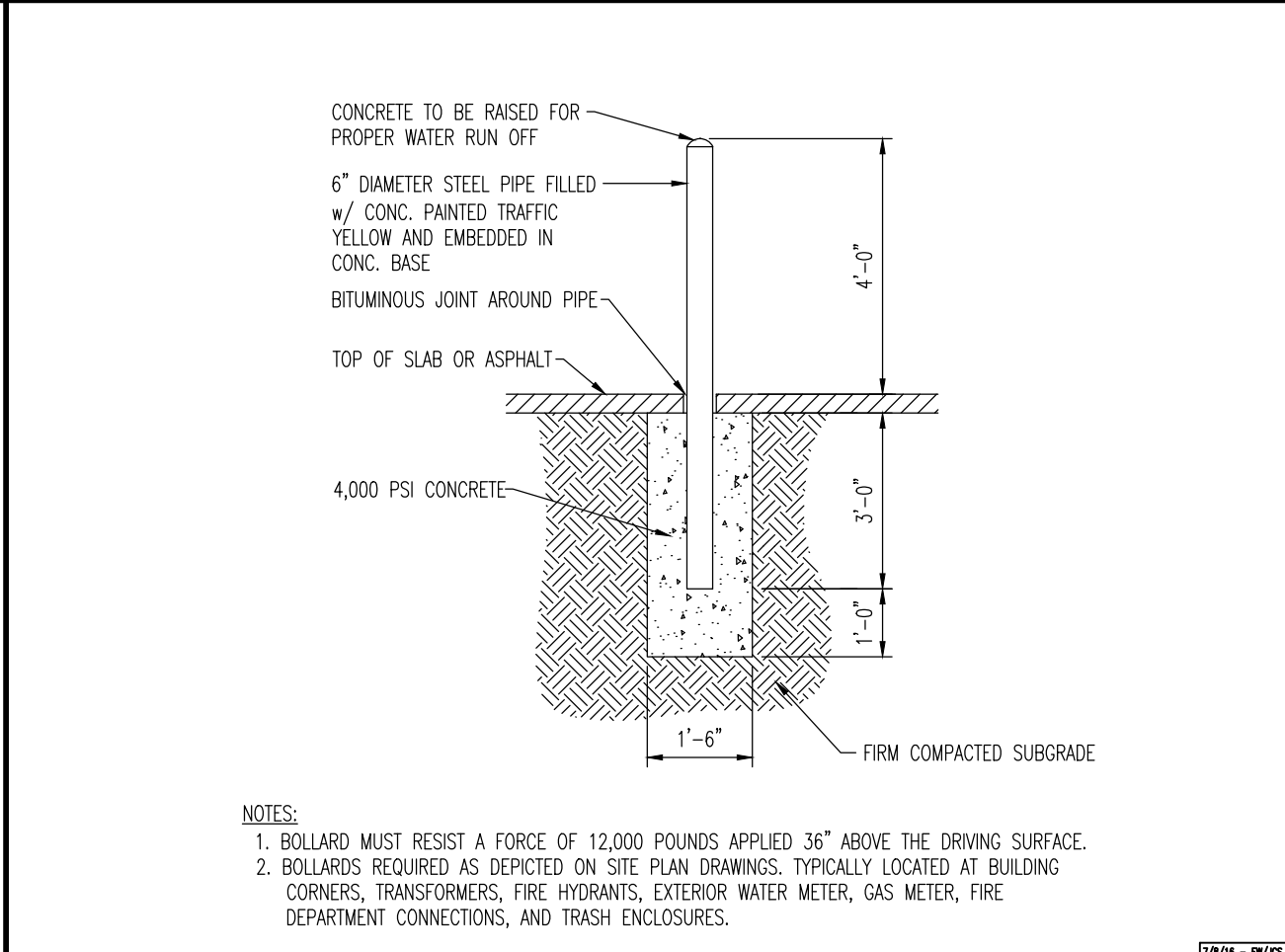
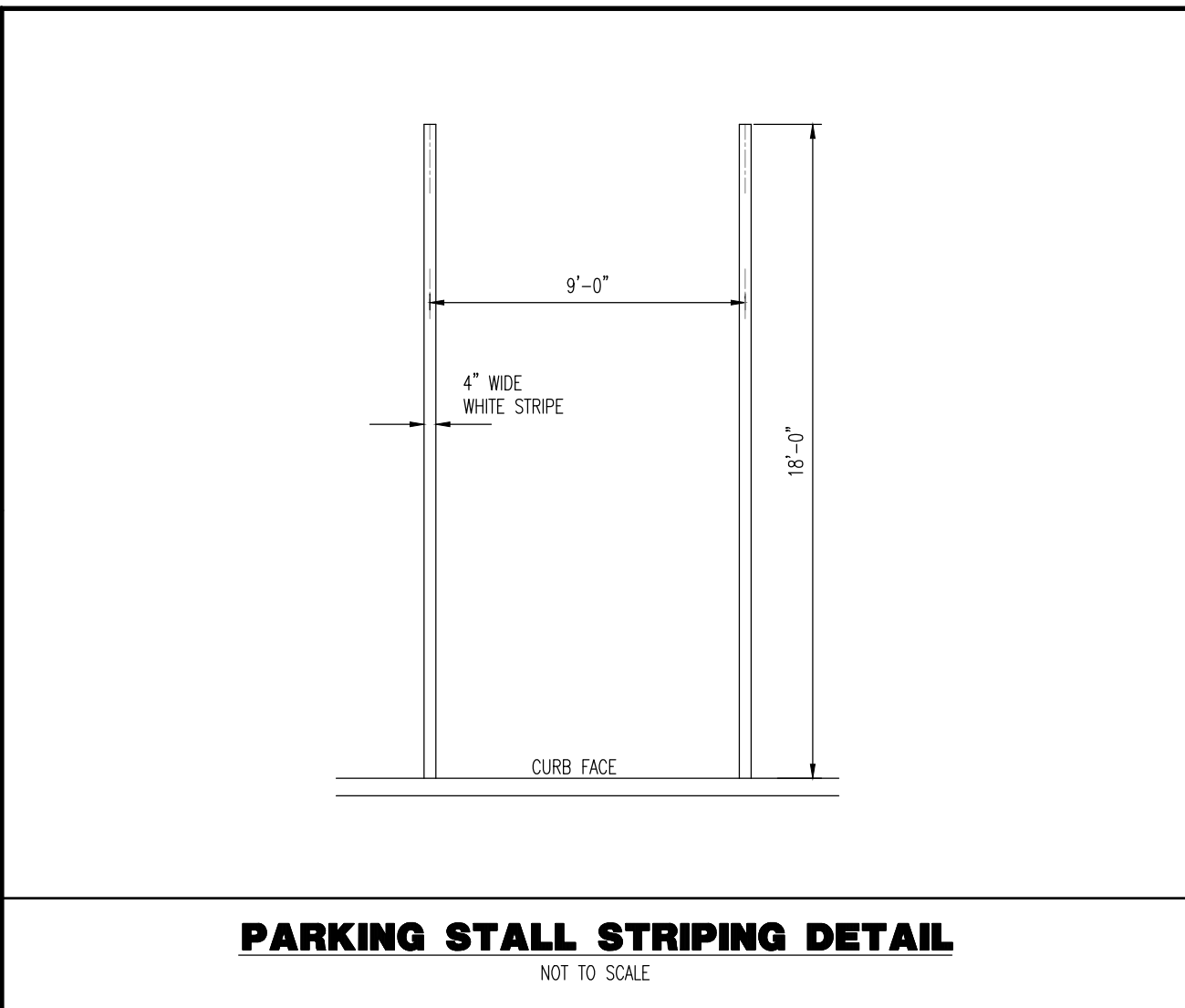
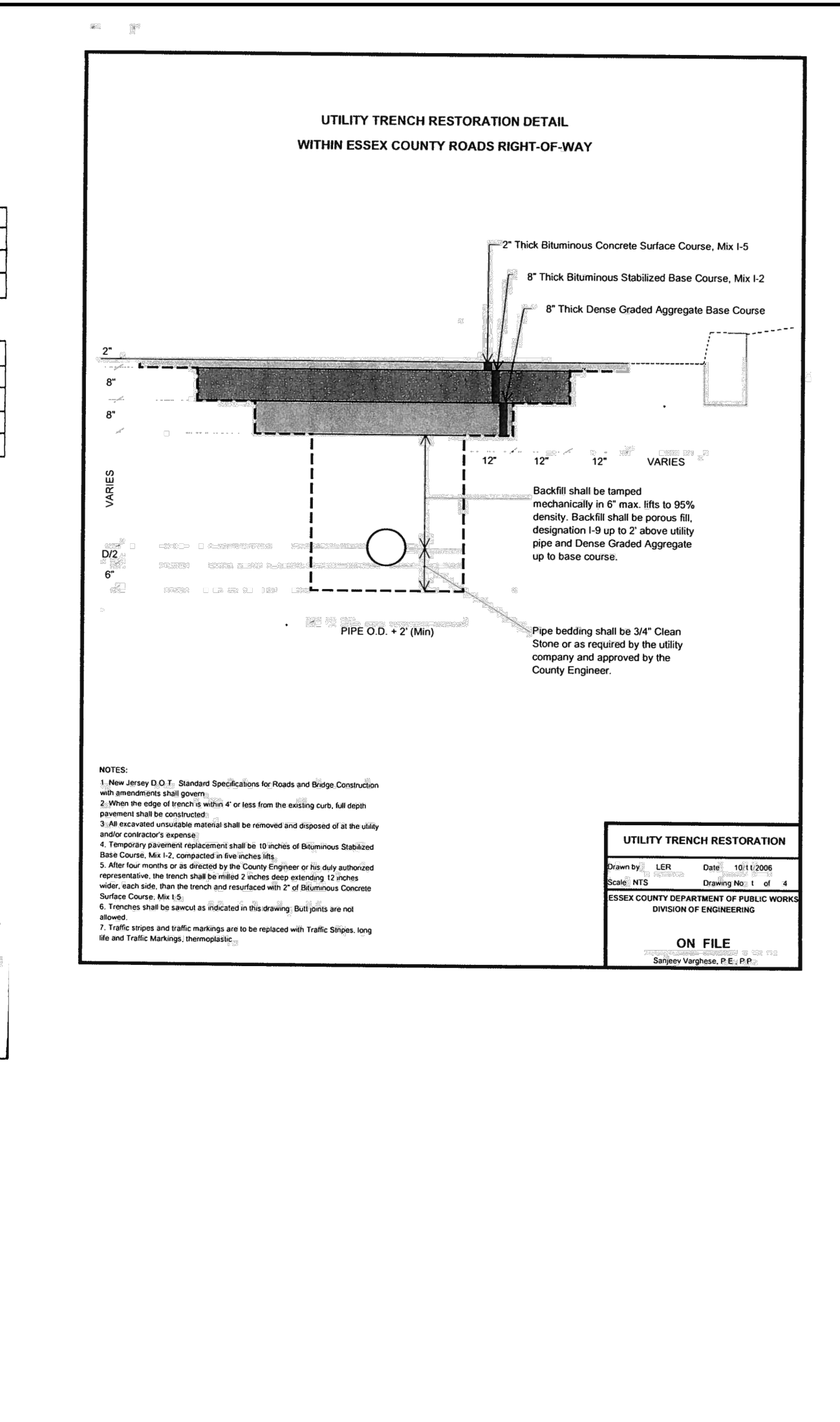
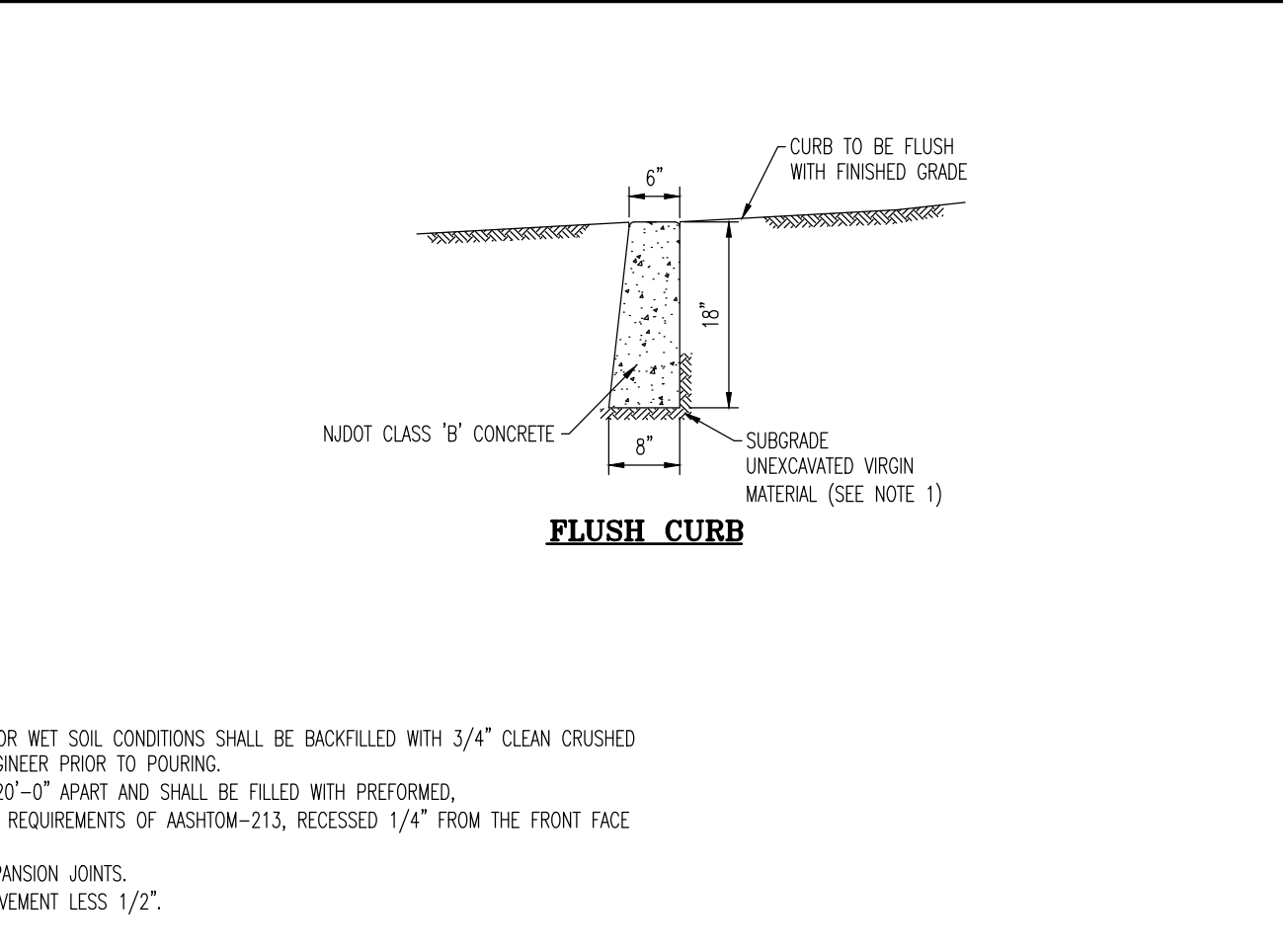
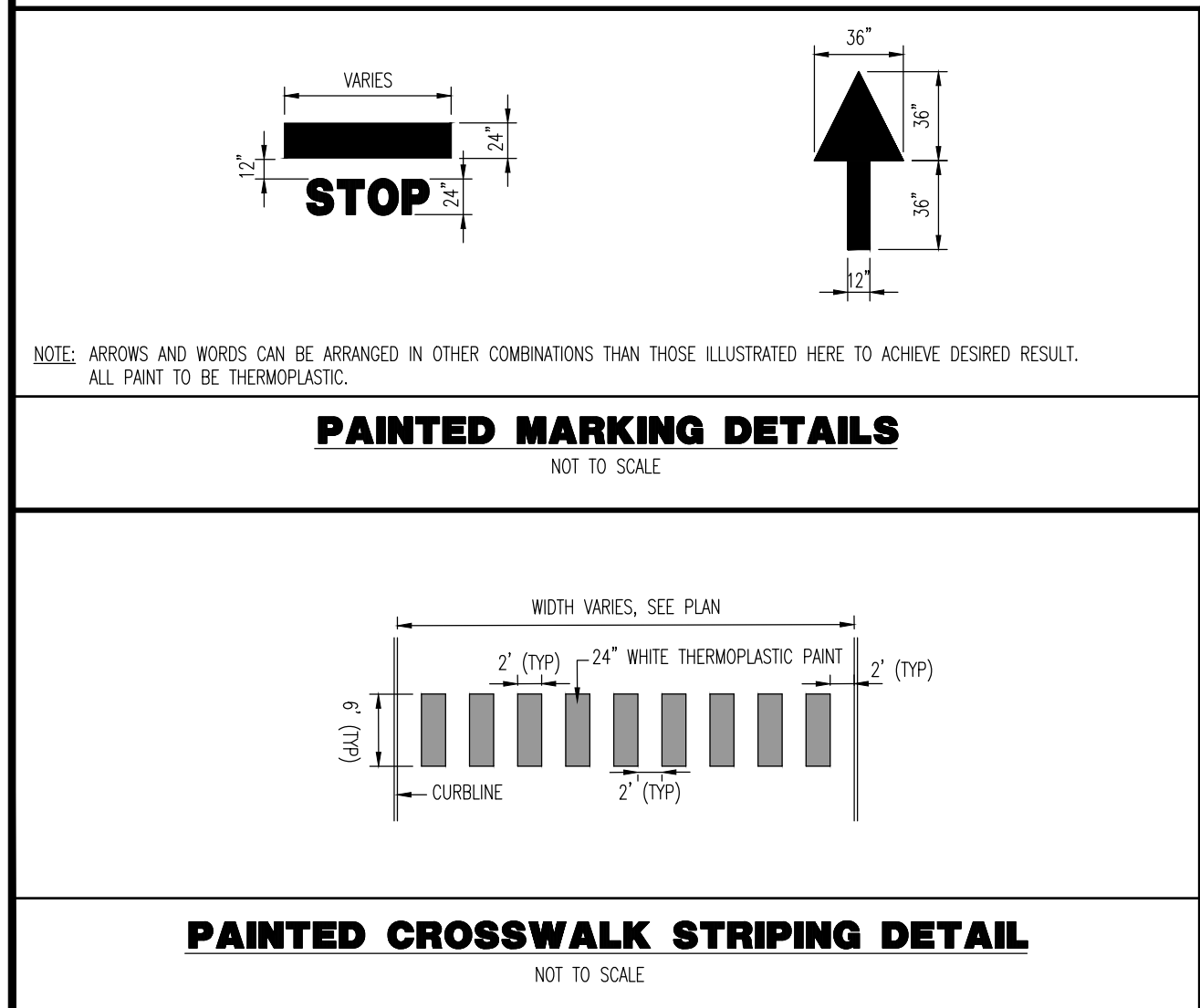
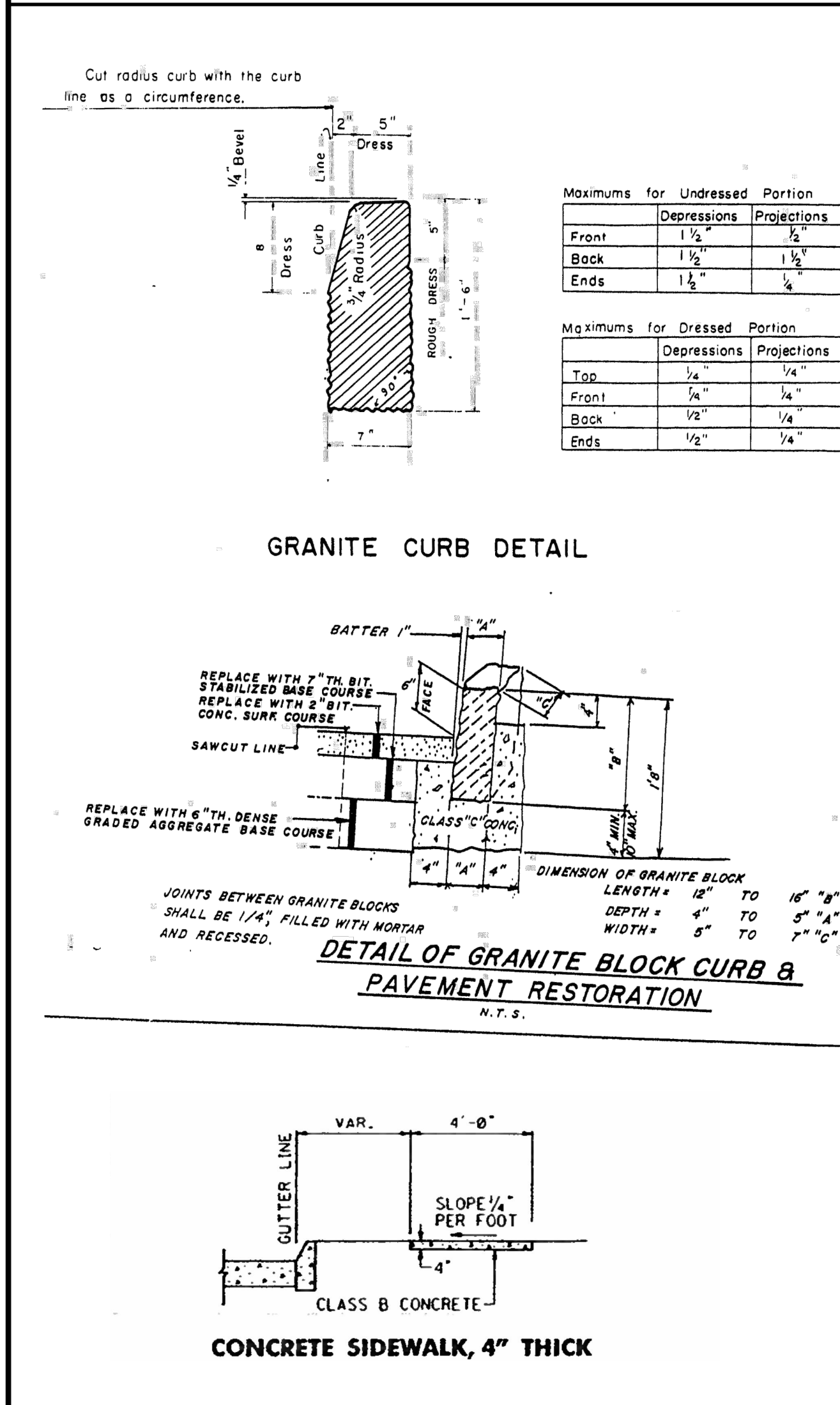
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CONCRETE, UTILITY, OR GAS LOCATIONS  
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PREPARING TO ENTER THE EARTH'S  
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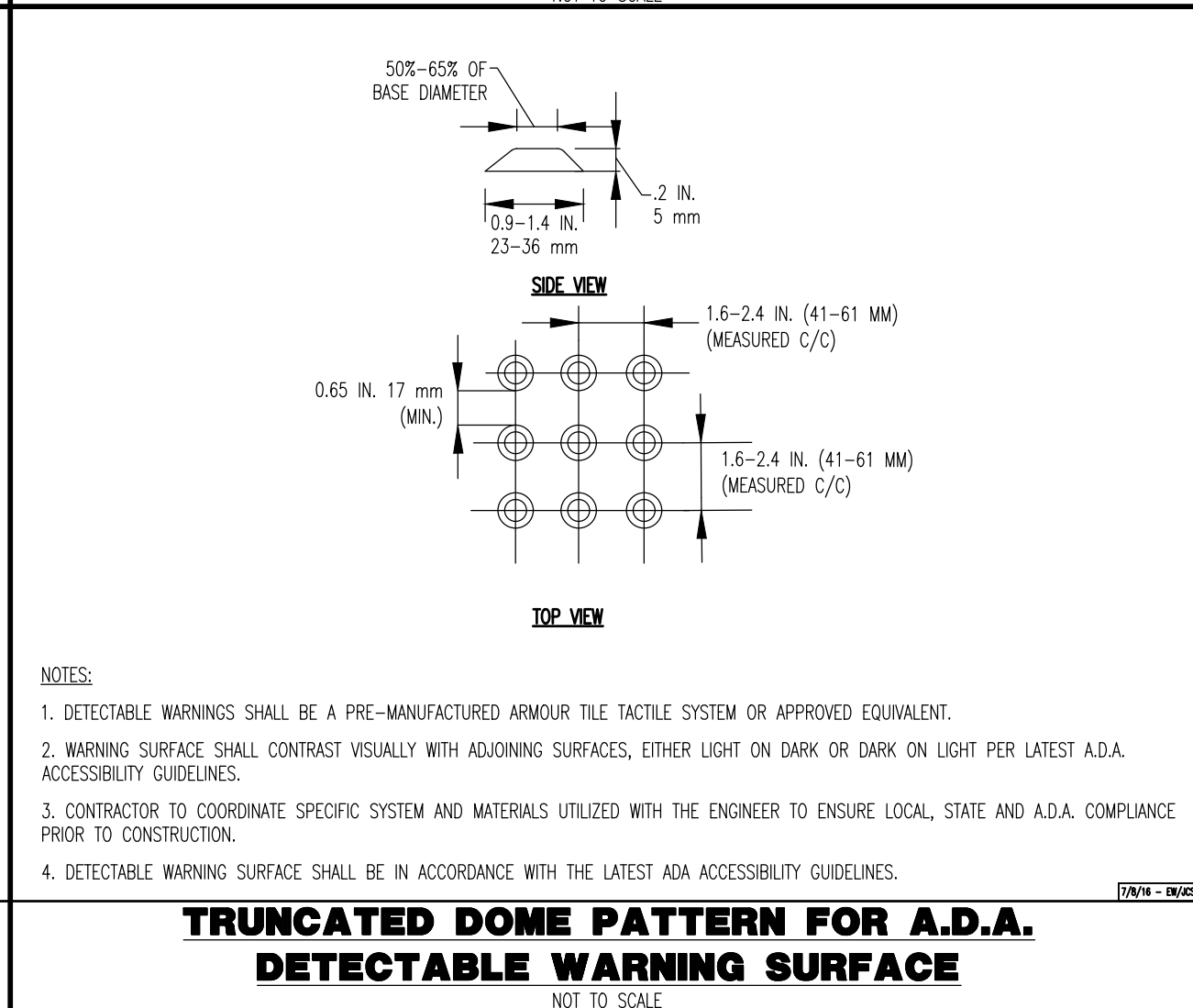
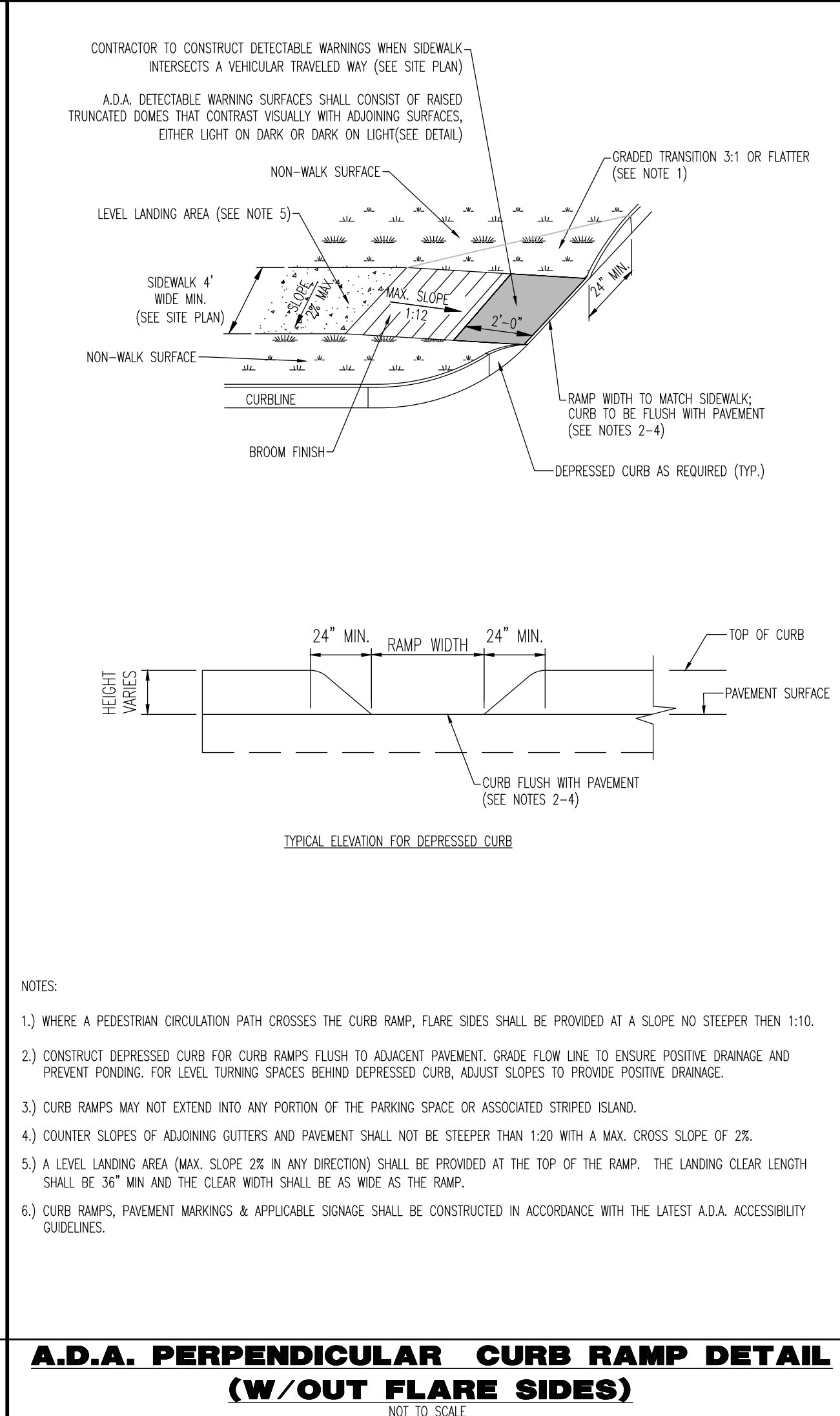
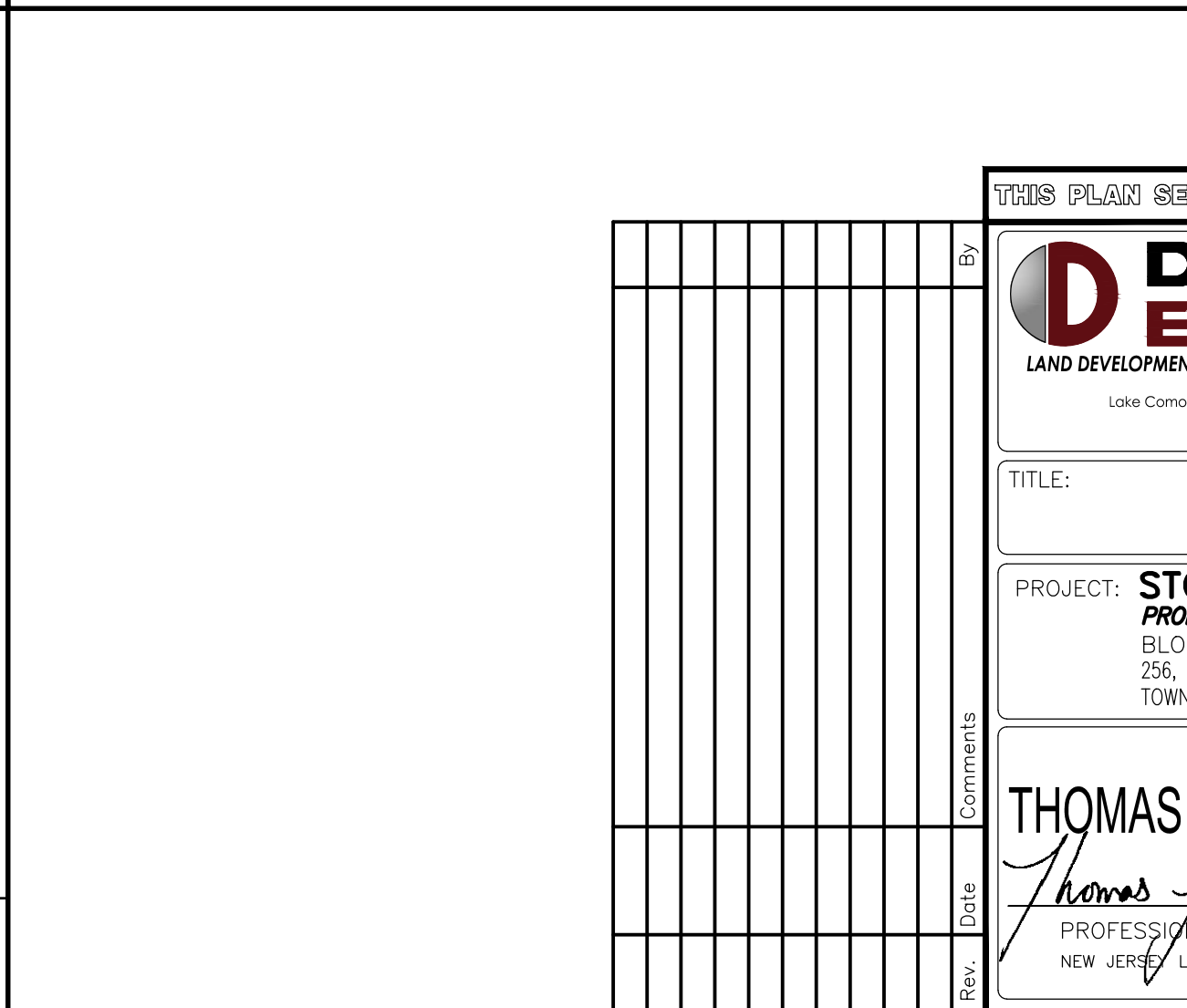
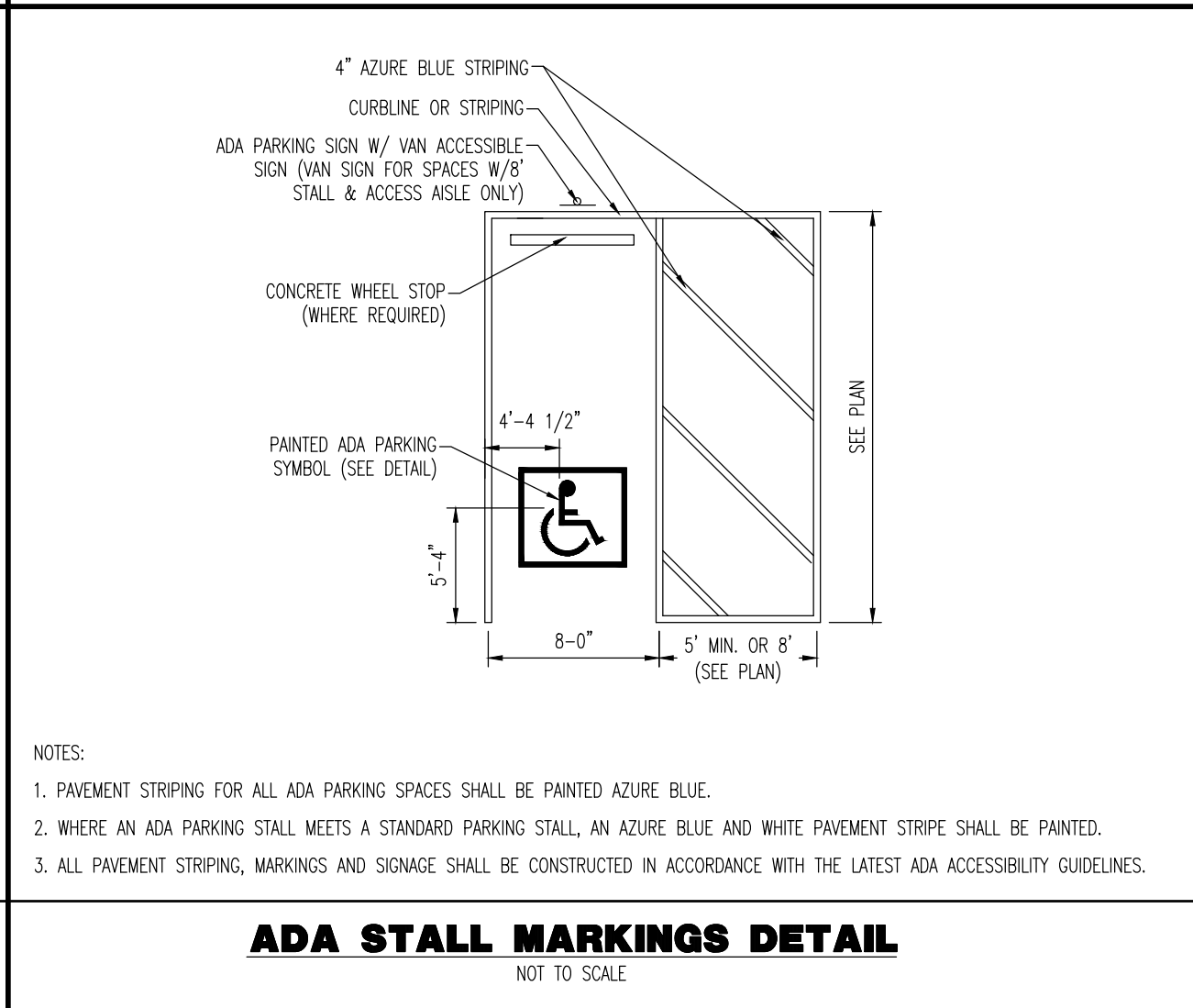
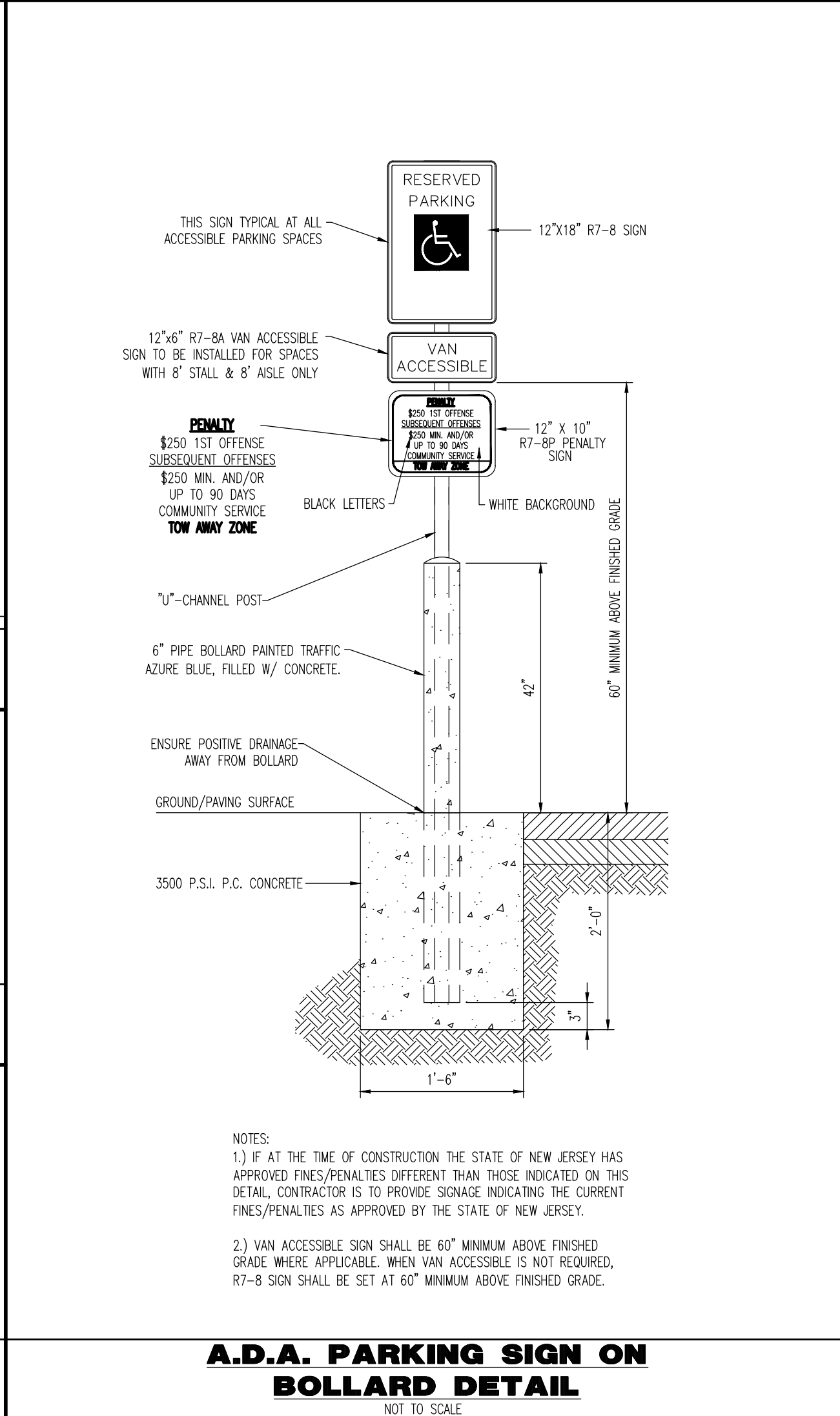
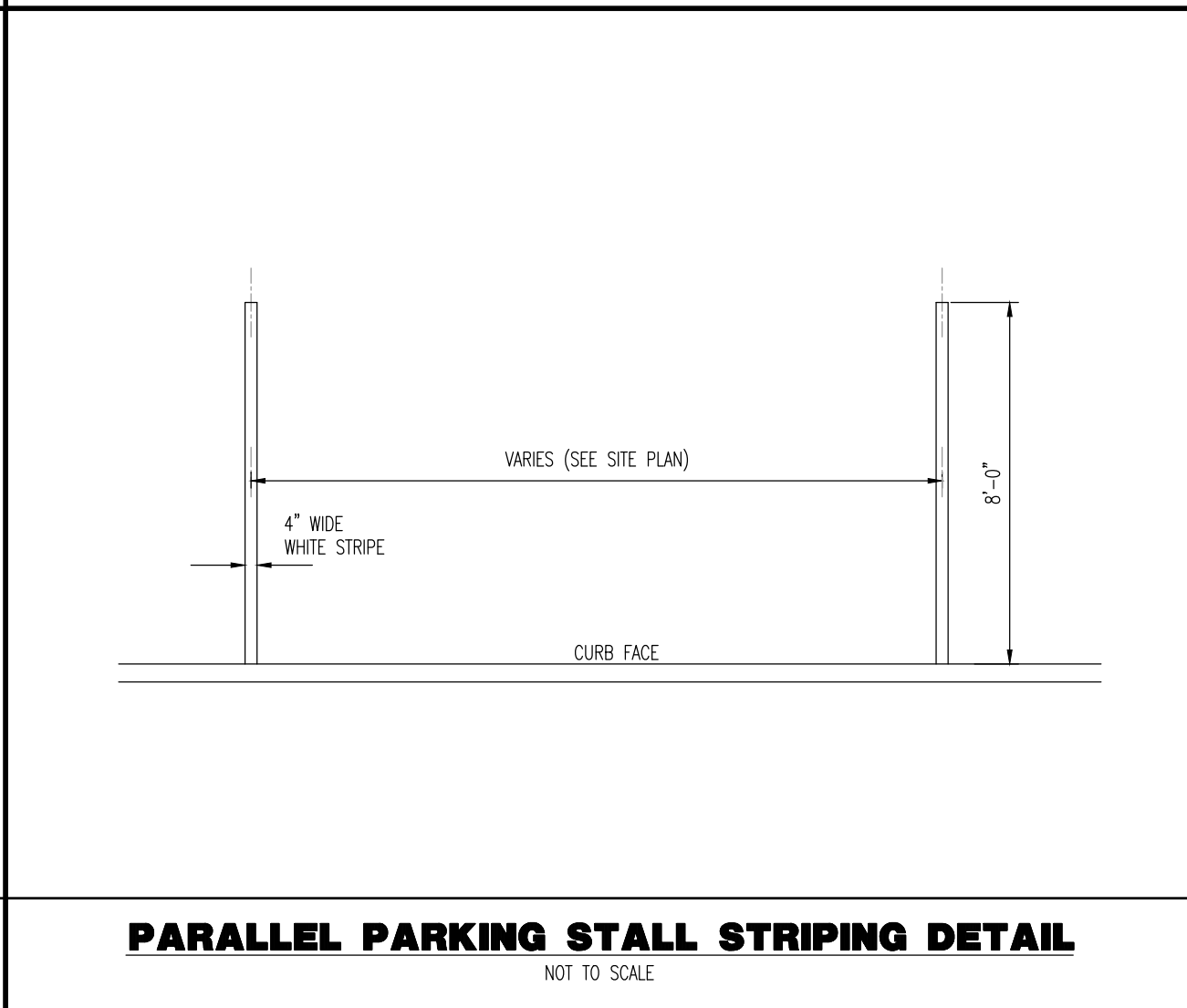
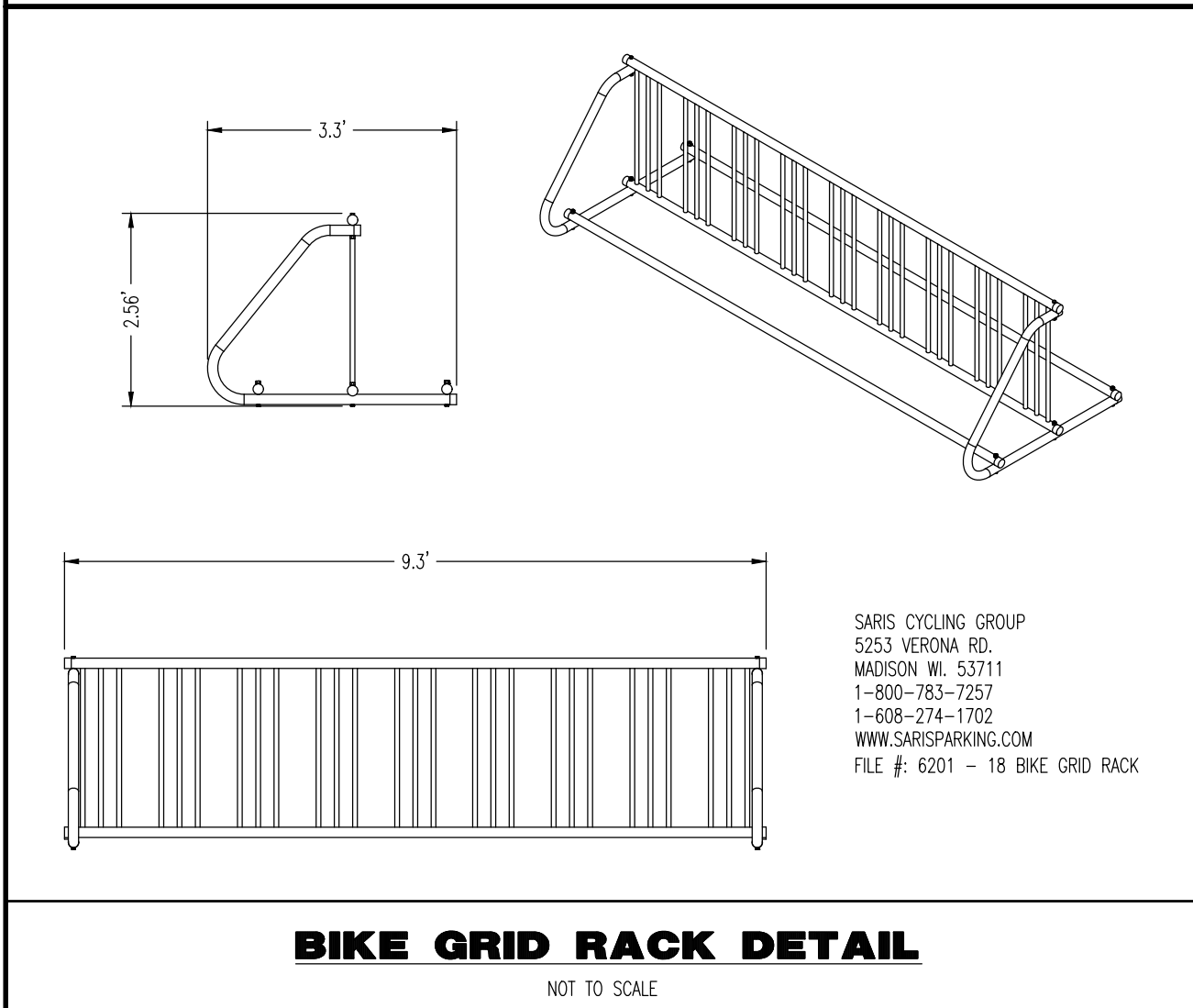
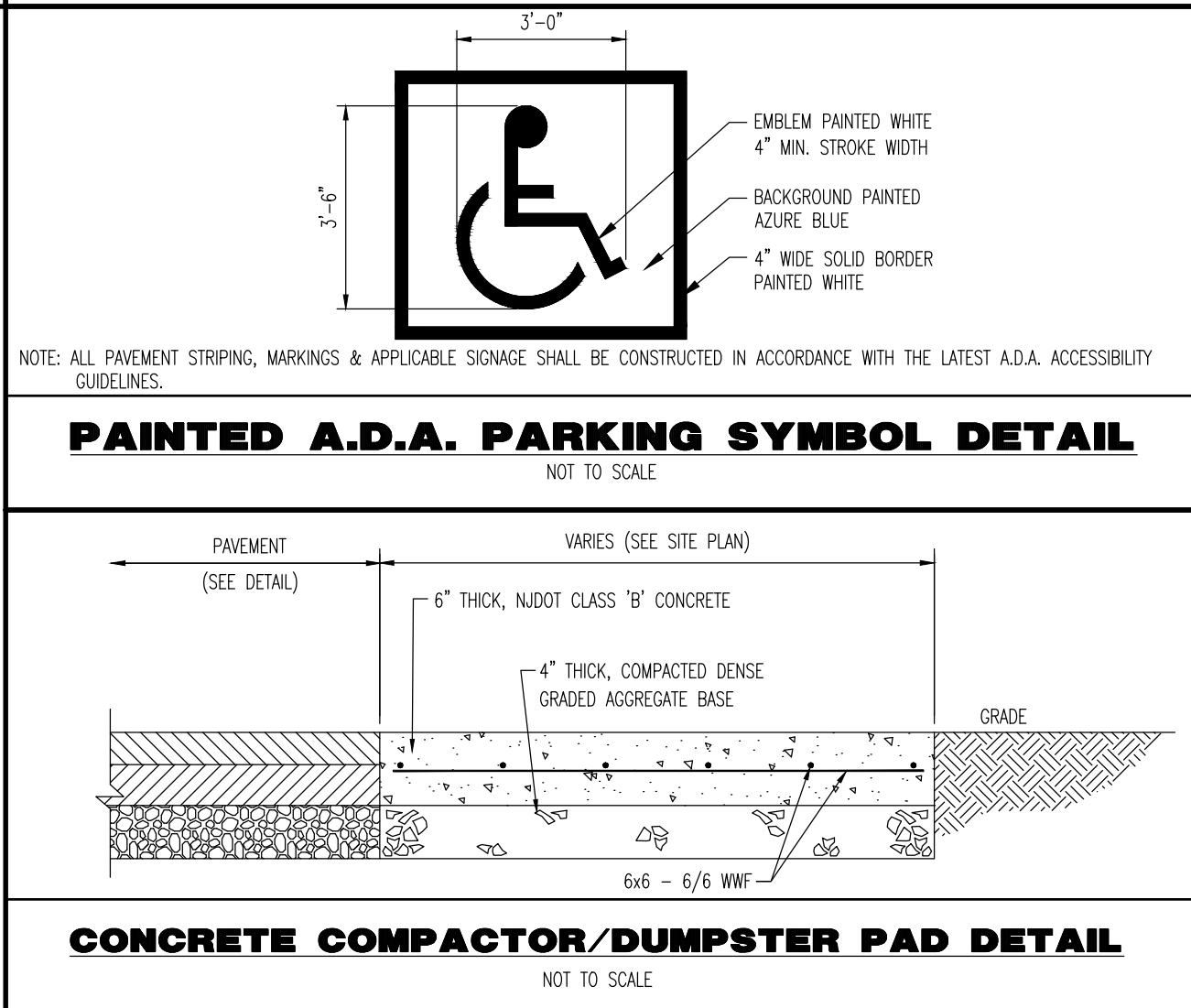
CONCRETE CURB DETAIL

NOT TO SCALE



6" BOLLARD DETAIL

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1954 Main Street  
Lake Como, NJ 07719  
T: 732.974.0198  
F: 732.974.3521  
www.dynamiceng.com

PROJECT: **STORAGE PLATFORM, LLC**  
**PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES**  
BLOCK 2303, LOTS 1, 2, 3, 4, 13 & 14  
256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKWANA PLACE  
TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY

JOB No: 2624-99-007  
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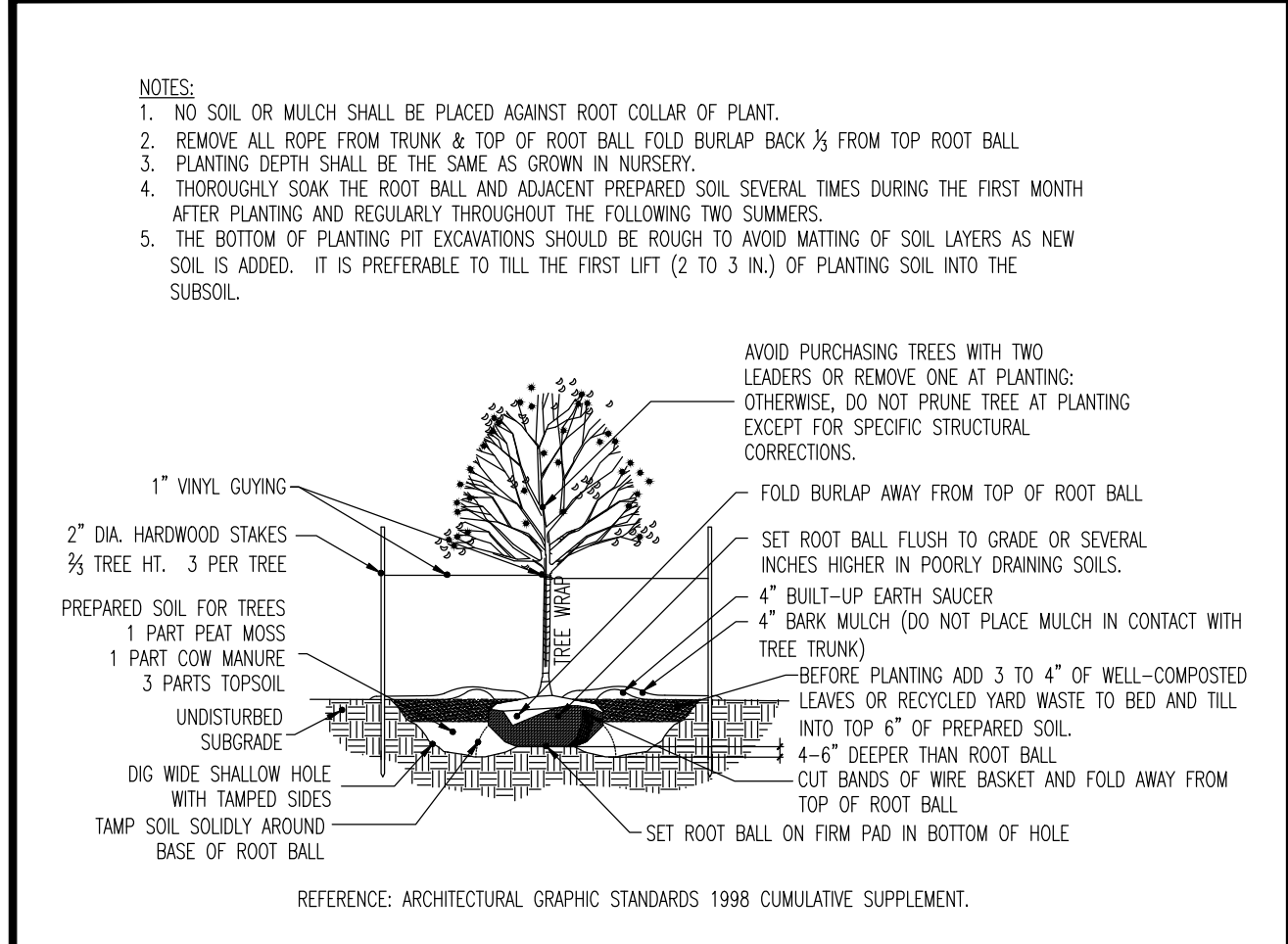
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SHEET No: 12 OF 19

THOMAS J. MULLER  
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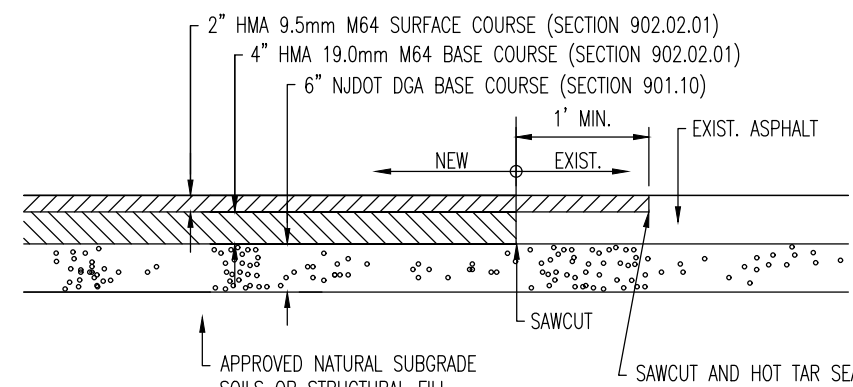
PROTECT YOURSELF  
ALL STATES REQUIRE REGISTRATION OF CONTRACTORS, ENGINEERS, OR ANY OTHERS PREPARING TO OFFER THE STATE'S SERVICE. REGISTERED IN NEW JERSEY FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM





### DECIDUOUS TREE PLANTING DETAIL

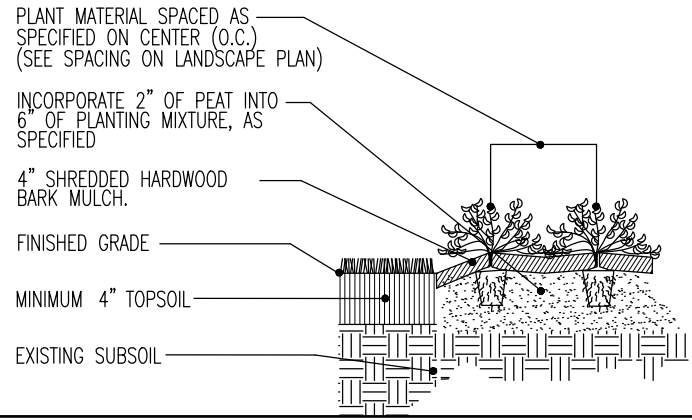
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- NOTES:
- ALL PAVEMENT SECTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2019.
  - OWNER SHALL CONTACT AND ENGAGE DYNAMIC EARTH, LLC, TO INSPECT AND TEST SUBGRADE SOILS. CONTRACTOR SHALL CONTACT DYNAMIC EARTH, LLC AT (908) 879-7085 (WWW.DYNAMIC-EARTH.COM) AT ONSET OF CONSTRUCTION TO CONFIRM REQUIREMENTS AND COORDINATE INSPECTIONS.
  - SUBGRADE SOILS SHALL BE APPROVED BY DYNAMIC EARTH, LLC. APPROVED NATURAL SOILS SHALL BE COMPACTED AND PROFILESOLLED WITH A LOADED TANGENT AXLE TRUCK TO A FIRM AND UNWEAVING CONDITION. UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED WITH STRUCTURAL FILL OR STABILIZED AS DIRECTED BY DYNAMIC EARTH, LLC. ANY STRUCTURAL FILL AT OR BELOW PAVEMENT SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM-D1557.
  - CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT SECTION DESCRIPTION.

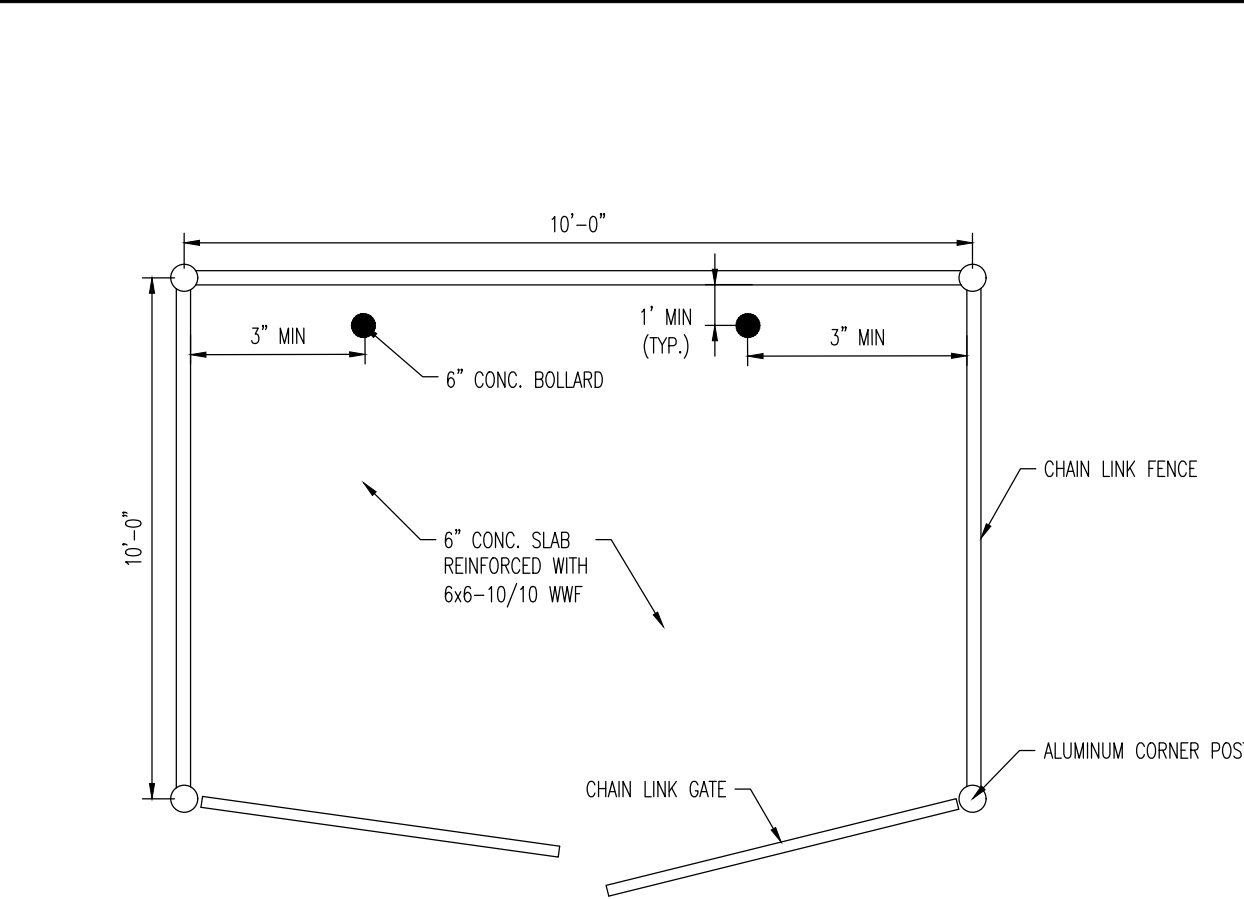
### PAVING DETAIL

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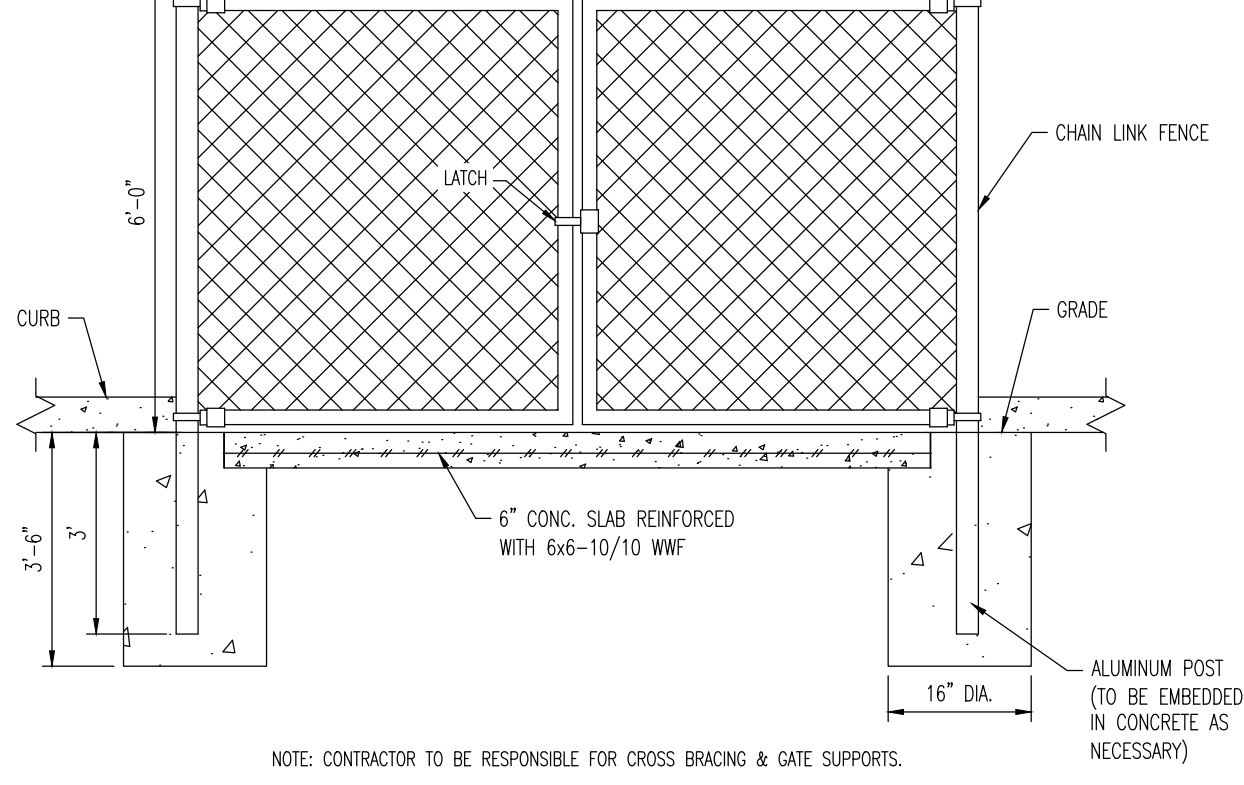
### PERENNIAL/GROUND COVER PLANTING DETAIL

NOT TO SCALE



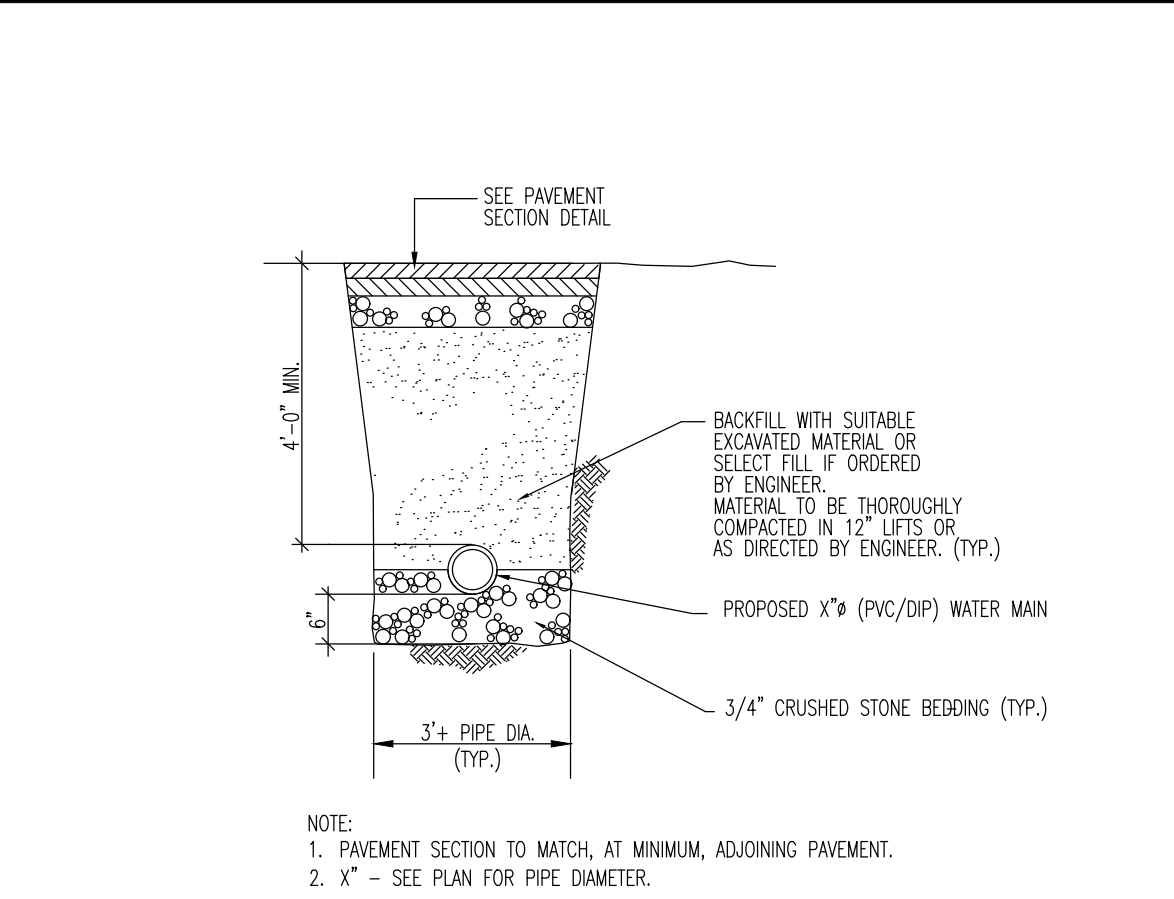
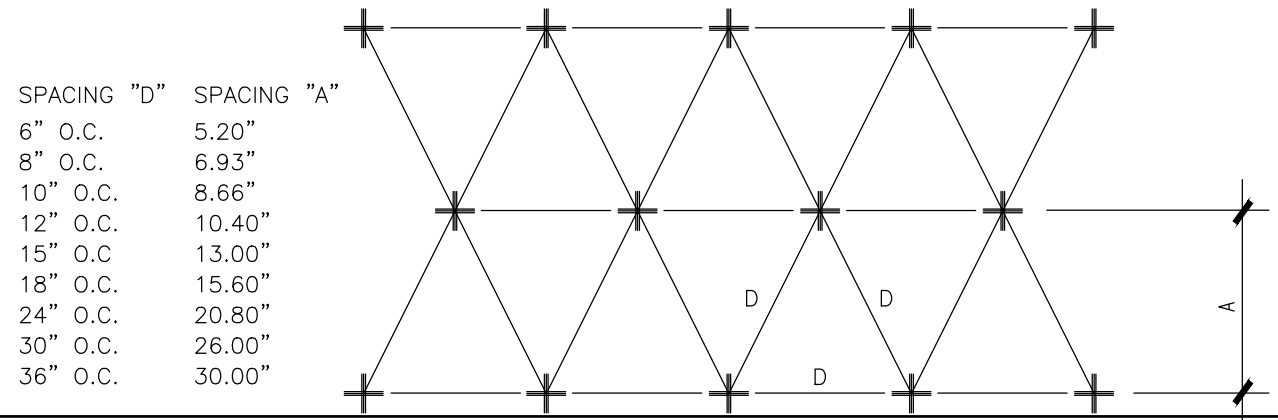
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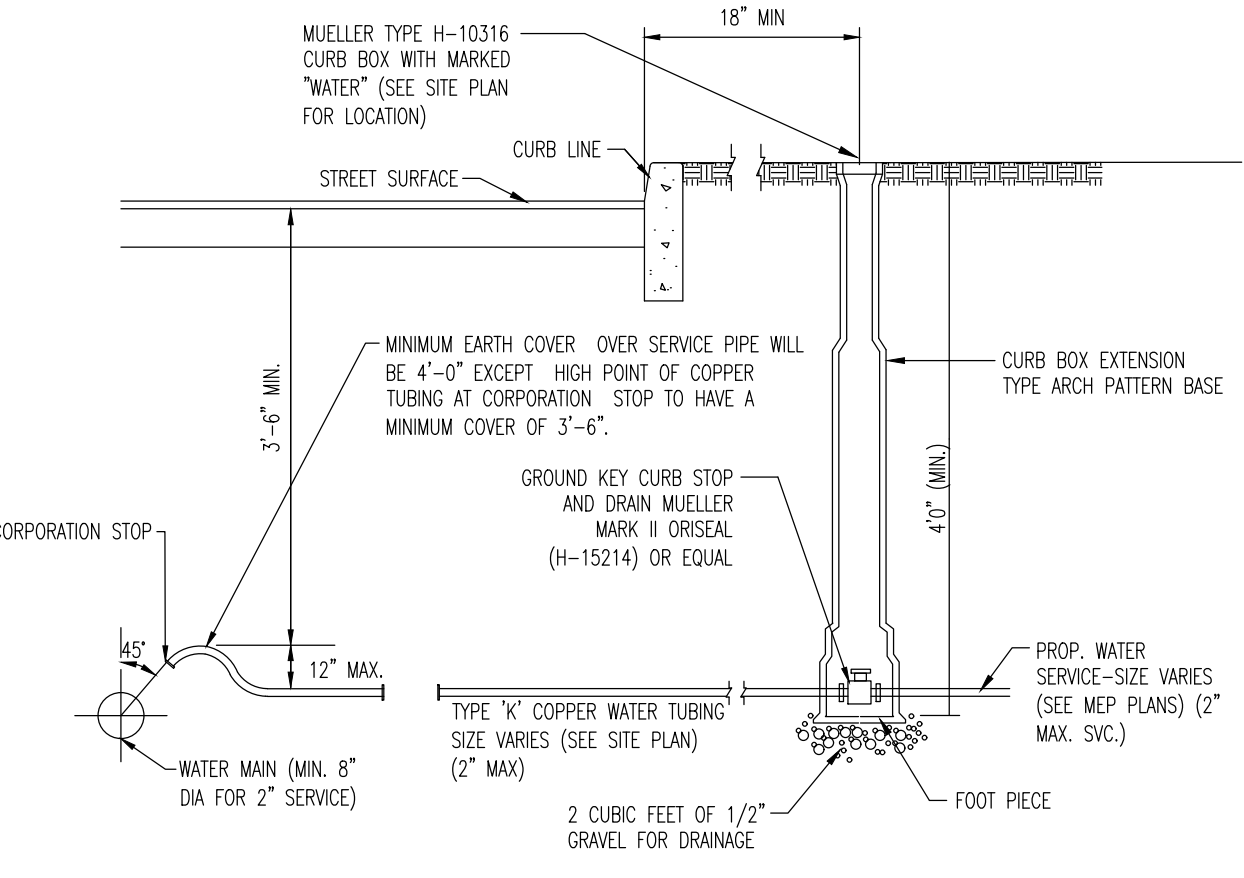
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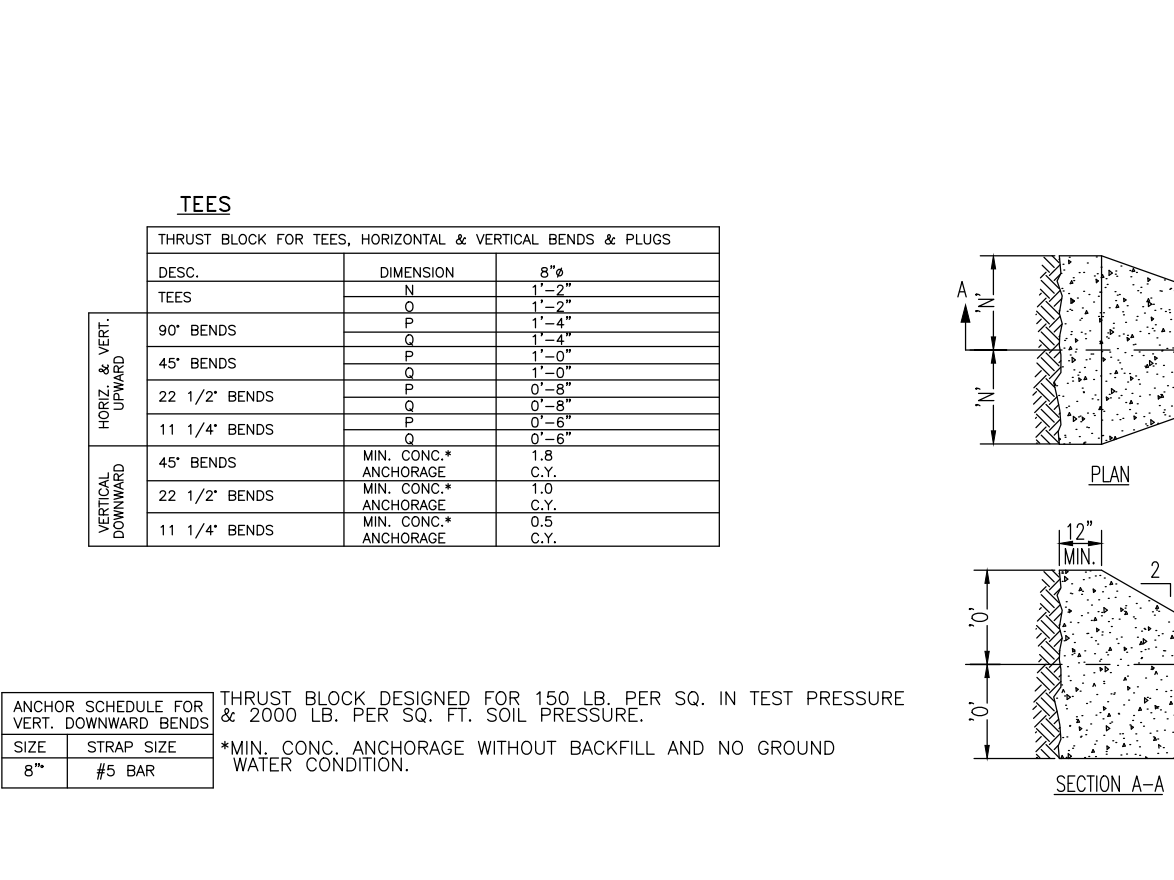
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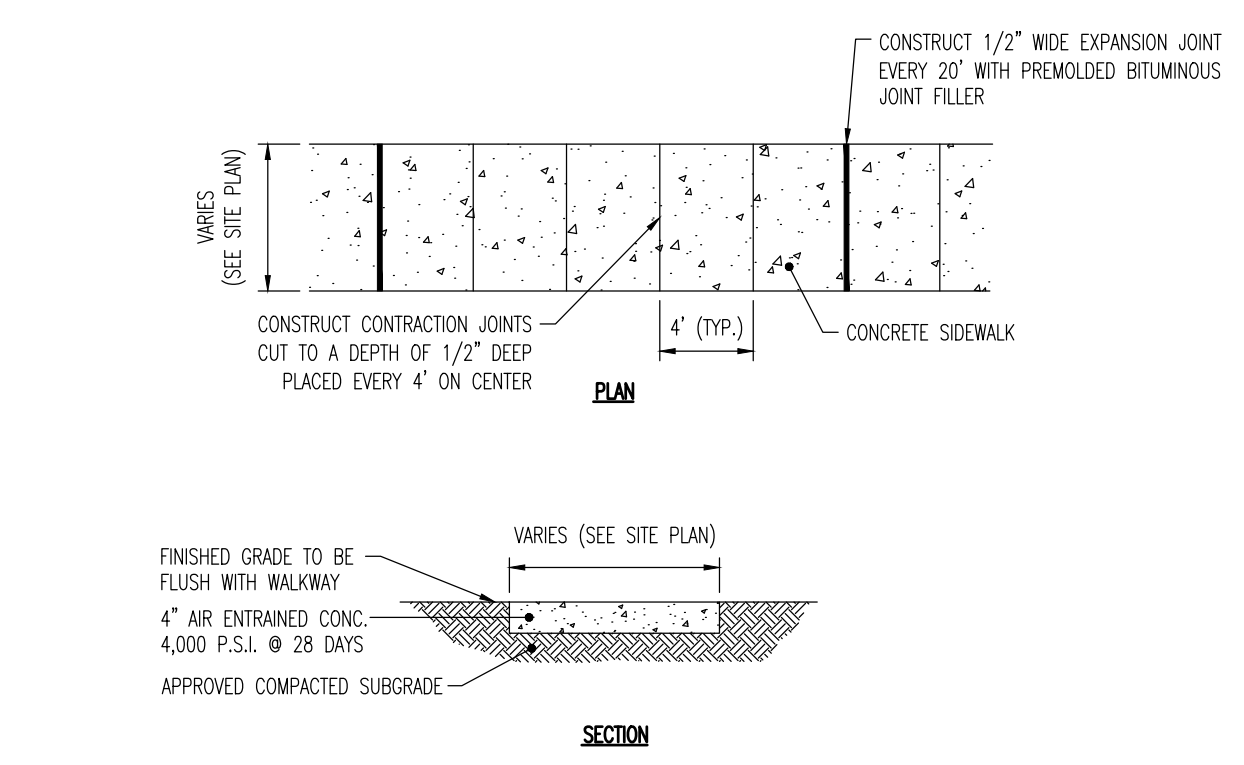
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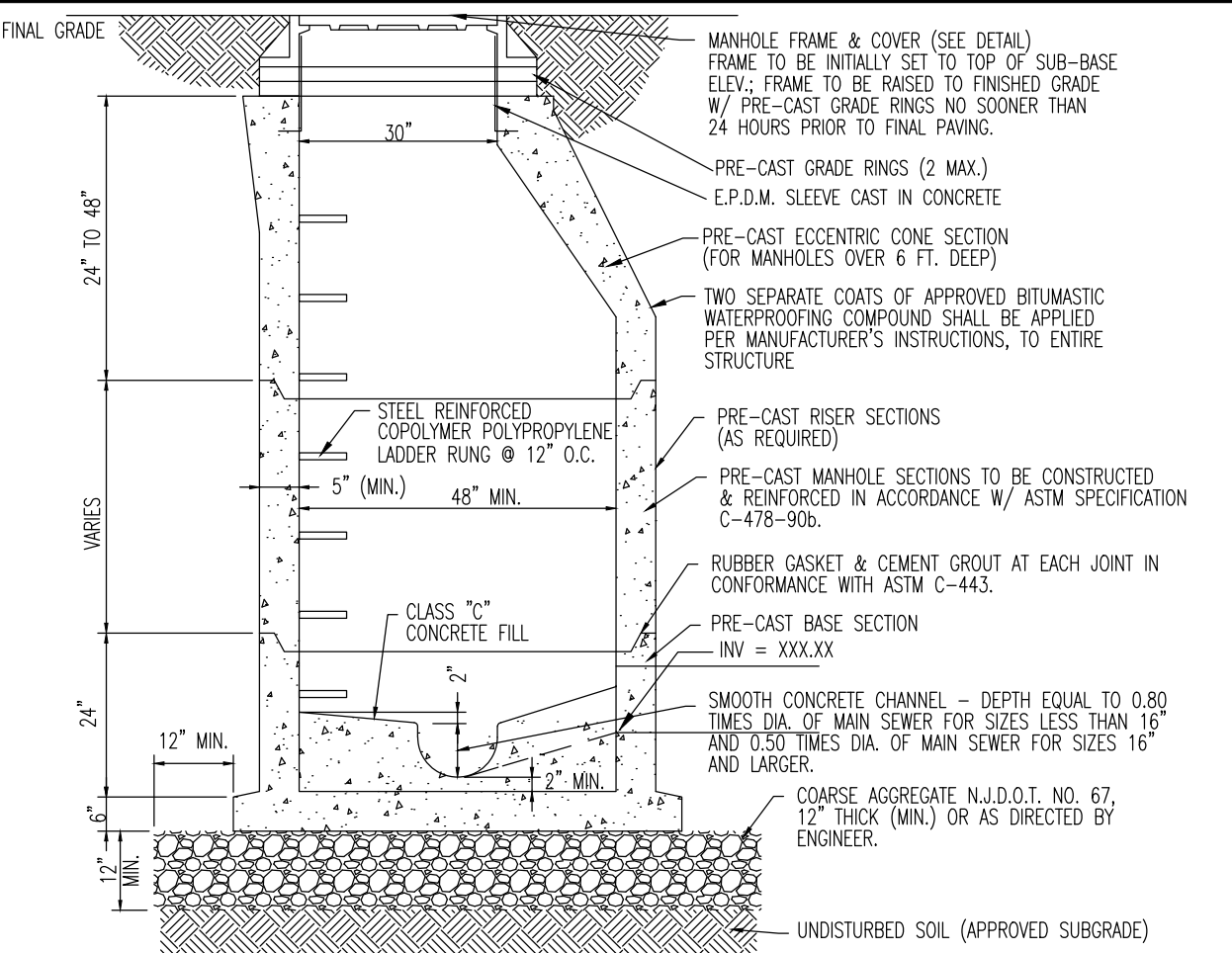
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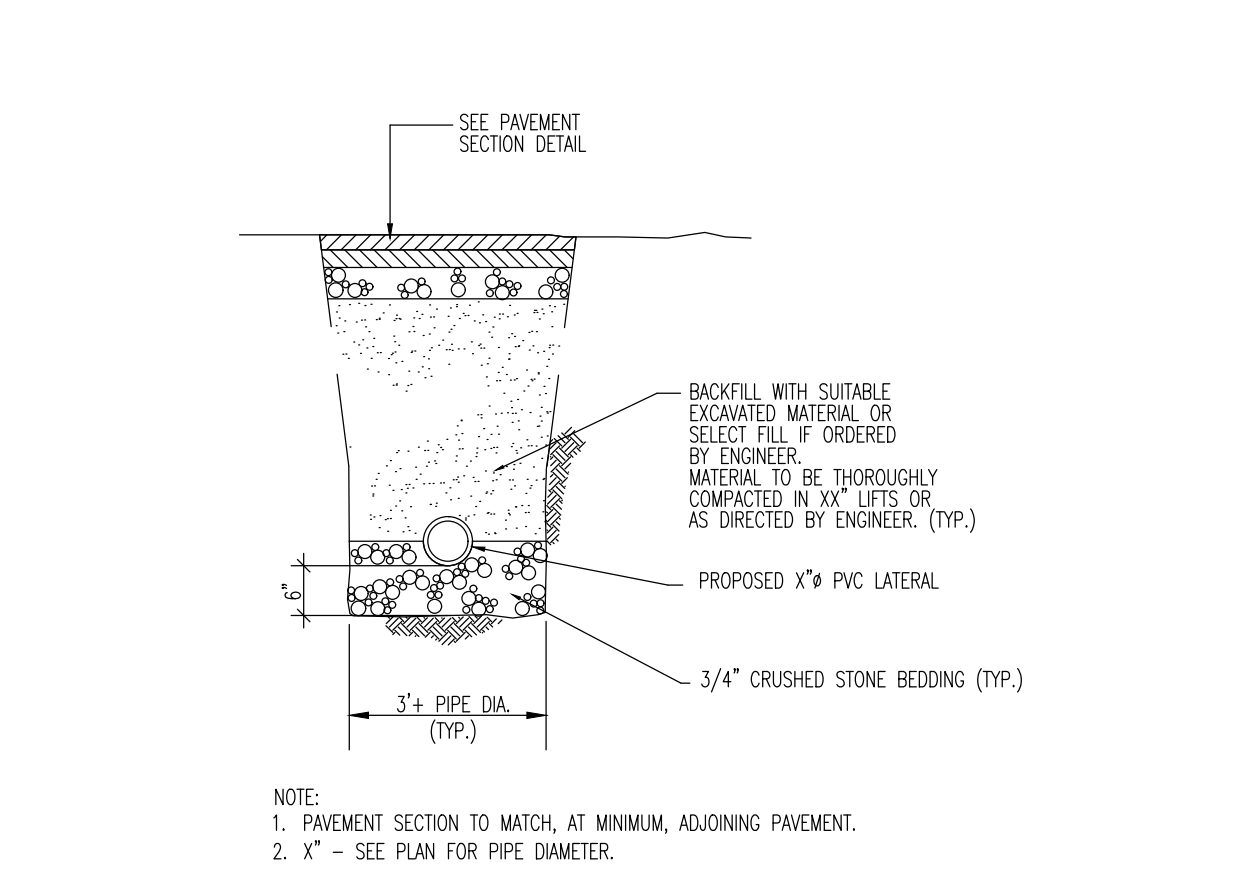
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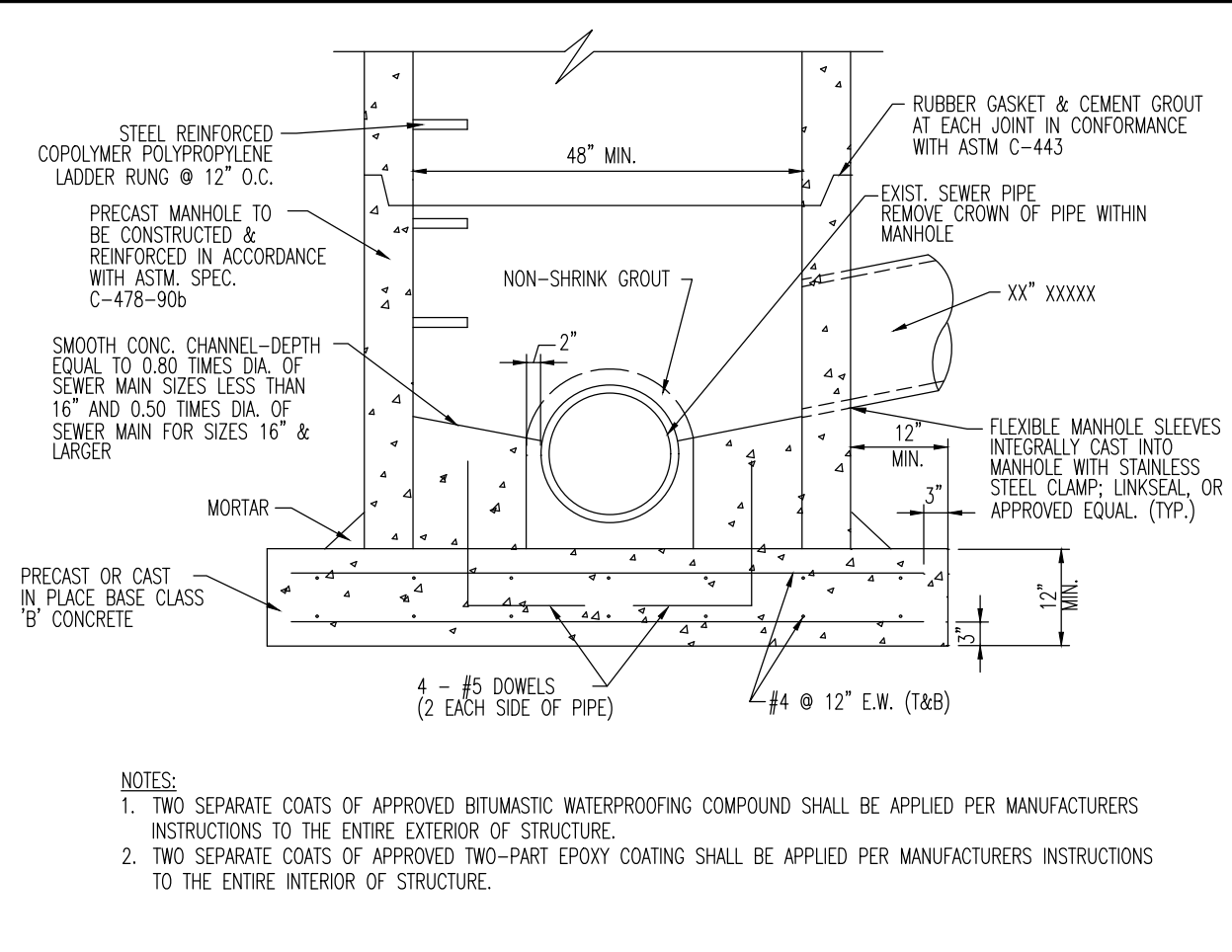
### PRECAST SANITARY MANHOLE

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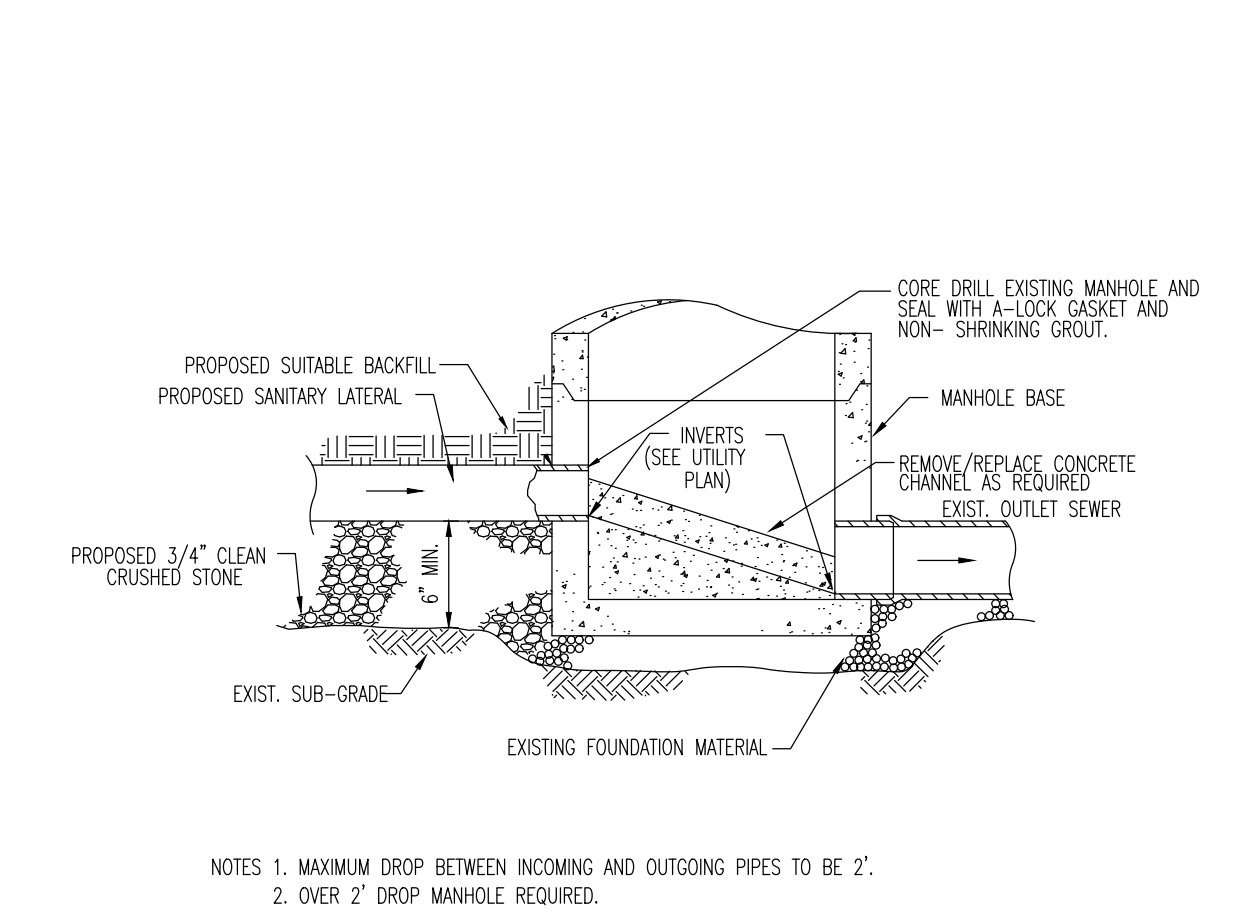
### SANITARY SEWER TRENCH DETAIL

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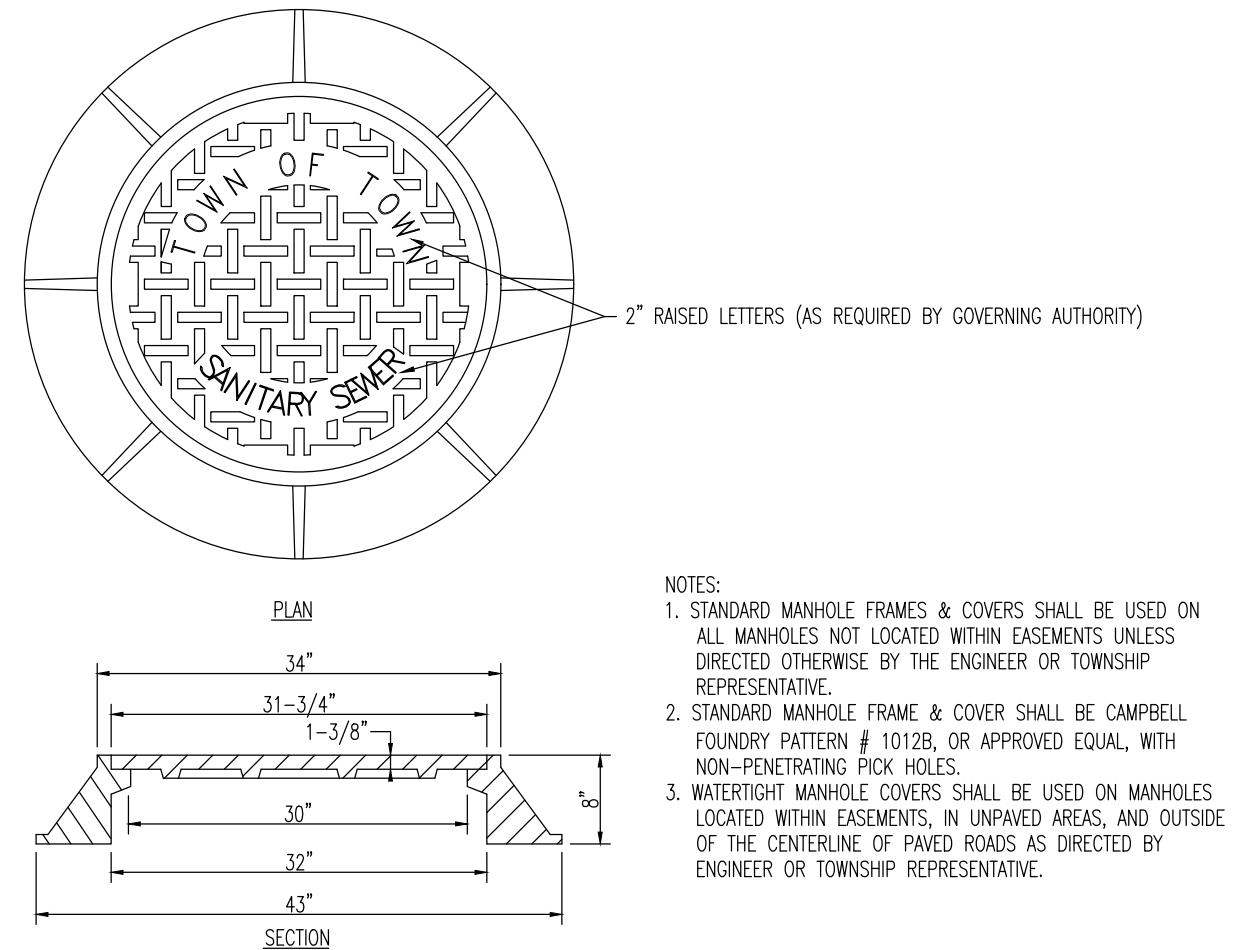
### SANITARY SEWER DOGHOUSE MANHOLE DETAIL

NOT TO SCALE



### SAN. LATERAL TO MH CONNECTION DETAIL

NOT TO SCALE



### SANITARY MANHOLE FRAME DETAIL

NOT TO SCALE

### SIGNAGE CHART

SIGN	REQUIREMENTS	PROPOSED
	NUMBER OF FACADE SIGNS: N/S	NUMBER OF SIGNS: TBD UPON COMPLETION OF ARCHITECTURAL DESIGN
	MAXIMUM FACADE SIGN AREA: - VALLEY STREET FRONTAGE: 200 SF [2][4] - LACKAWANNA PLACE FRONTAGE: 100 SF [2][4][5] - FOUNDERS PARK: 120 SF [3]	SIGN AREA: TBD UPON COMPLETION OF ARCHITECTURAL DESIGN SIGN AREA: TBD UPON COMPLETION OF ARCHITECTURAL DESIGN SIGN AREA: TBD UPON COMPLETION OF ARCHITECTURAL DESIGN TOTAL FACADE SIGN AREA: TBD UPON COMPLETION OF ARCHITECTURAL DESIGN SIGN PROJECTION: TBD UPON COMPLETION OF ARCHITECTURAL DESIGN
	MAXIMUM PROJECTION: 6 IN	
	NUMBER OF BLADE SIGNS: ONE (1) PER USE	NUMBER OF SIGNS: TBD UPON COMPLETION OF ARCHITECTURAL DESIGN
	MAXIMUM BLADE SIGN AREA: 45 SF	SIGN AREA: TBD UPON COMPLETION OF ARCHITECTURAL DESIGN
	MAX. PROJECTION: 3 FT	PROJECTION: TBD UPON COMPLETION OF ARCHITECTURAL DESIGN
	MINIMUM NUMBER OF SIGNS: ONE (1) PER USE [1]	NUMBER OF SIGNS: TBD UPON COMPLETION OF ARCHITECTURAL DESIGN
	N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE	

- [1] A MINIMUM OF ONE SIGN PER USE SHALL BE INSTALLED. COLORS AND/OR MATERIALS OF ALL SIGNS SHALL BE COMPLEMENTARY TO EACH OTHER. (REDEVELOPMENT PLAN § 7.4.1)
- [2] THE TOTAL AREA OF MARKETING-RELATED SIGNAGE, INCLUDING WALL SIGNS, PROJECTING SIGNS, CANOPY SIGNS, AND WINDOW SIGNS SHALL NOT EXCEED 200 SF ON THE VALLEY STREET FRONTAGE, AND 100 SF ON THE LACKAWANNA PLACE FRONTAGE. (REDEVELOPMENT PLAN § 7.4.2)
- [3] ONE SIGN RELATED TO THE COMMUNITY AND/OR PARK USES MAY BE PROVIDED ON THE SIDE FACADE FACING FOUNDERS PARK BUT SHALL NOT EXCEED 120 SF. MURALS ARE NOT SUBJECT TO THE MAXIMUM SIZE REQUIREMENT AND SHALL FOLLOW THE PROCEDURE ESTABLISHED IN THE CORRESPONDING VILLAGE ORDINANCE. (REDEVELOPMENT PLAN § 7.4.3)
- [4] SIGNS MAY BE INSTALLED ABOVE THE GROUND FLOOR ARCHITECTURAL SIGN BAND AS ALLOWED BY THE APPROVING AUTHORITY BUT SHALL NOT EXCEED 100 SF ON LACKAWANNA PLACE AND 140 SF ON VALLEY STREET. (REDEVELOPMENT PLAN § 7.4.4)
- [5] NO SIGNS SHALL BE PROVIDED OUTSIDE OF THE FRONT 60 LINEAR FEET OF THE LACKAWANNA PLACE FACADE. THIS SHALL NOT APPLY TO THOSE REQUIRED FOR SAFETY OR WAYFINDING, AS DETERMINED BY THE APPROVING AUTHORITY. (REDEVELOPMENT PLAN § 7.4.5)
- [6] NO SIGN SHALL BE INTERNALLY ILLUMINATED, EXTERNAL BACKLIT CHANNEL LETTERS ARE ENCOURAGED. (REDEVELOPMENT PLAN § 7.4.6)
- [7] ILLUMINATED SIGNAGE SHALL BE TURNED OFF BETWEEN THE HOURS OF 10PM AND 6AM, WITH THE EXCEPTION OF THOSE REQUIRED FOR SAFETY OR WAYFINDING, AS DETERMINED APPROPRIATE BY THE APPROVING AUTHORITY. (REDEVELOPMENT PLAN § 7.4.7)
- [8] UNLESS SPECIFIED IN THE REDEVELOPMENT PLAN, ALL SIGNAGE SHALL COMPLY WITH THE ARTICLE 185-XXII OF THE VILLAGE'S LAND DEVELOPMENT ORDINANCE AT THE TIME OF EXECUTION OF THE REDEVELOPMENT AGREEMENT. (REDEVELOPMENT PLAN § 7.4.8)
- [9] SIGNS THAT EXCEED ABOVE THE ROOFLINE OF A PARAPET OR BEYOND THE ENDS OF THE WALL TO WHICH THEY ARE ATTACHED OR WHICH PROJECT MORE THAN SIX INCHES FROM THE WALL TO WHICH THEY ARE ATTACHED ARE PROHIBITED, UNLESS THEY ARE PROJECTING SIGNS. (S 185-140.9)
- [10] A SIGN MUST BE POSITIONED IN THE NATURAL ARCHITECTURAL SIGN BAND ON A BUILDING FACADE IF ONE EXISTS. IF SUCH SIGN BAND DOES NOT EXIST, THE BOTTOM OF THE SIGN MAY NOT BE POSITIONED TO GO MORE THAN 12 INCHES ABOVE THE TOP OF THE DISPLAY WINDOW. (S 185-141.6,7)
- [11] NO SIGN MAY CONSIST OF MORE THAN 6 TOTAL COLORS, INCLUDING THE BACKGROUND COLOR, WITHOUT THE WRITTEN APPROVAL OF THE DESIGN REVIEW BOARD OR TECHNICAL REVIEW COMMITTEE. LETTERING MUST GIVE A CONSISTENT, LEGIBLE, AND PROFESSIONAL APPEARANCE. (S 185-141.8)
- [12] ALL WALL SIGNS MOUNTED ON A SIGN BOARD MUST HAVE A FINISHED EDGE. (S 185-142.8.1.C)
- [13] WALL SIGNS CONSISTING OF INDIVIDUAL LETTERS OR GRAPHICS MAY BE PAINTED ON BUILDINGS AND MUST ADHERE TO THE GUIDELINES ABOVE. THIS DOES NOT INCLUDE MURALS, WHICH ARE REGULATED BY SUBSECTION 5(1)(v). (S 185-142.8.1.d)
- [14] MURALS ARE PERMITTED ON EXTERIOR WALLS OF COMMERCIAL BUILDINGS IN 8-1, 8-2, 8-3 AND REDEVELOPMENT ZONES SUBJECT TO DESIGN REVIEW AND APPROVAL BY THE VILLAGE ZONING OFFICIAL. THE NAME OF THE BUSINESS MAY NOT BE INCLUDED IN THE MURAL DESIGN. A TO-SCALE DRAWING OF THE MURAL AND SAMPLE SWATCHES OF THE BACKGROUND COLOR TO BE USED MUST BE SUBMITTED FOR APPROVAL BEFORE PERMIT IS APPROVED. (S 185-142.8.1.a)
- [15] THE AREA OF A SIGN SHALL BE COMPUTED AS THE TOTAL SQUARE FOOT CONTENT OF THE BACKGROUND UPON WHICH THE LETTERING, ILLUSTRATION OR DISPLAY IS PRESENTED, INCLUDING MOUNTING ON FRAMES. (S 185-145.A)
- [16] THE AREA OF A SIGN CONTAINING INDIVIDUAL LETTERS SHALL BE COMPUTED AS THE TOTAL SQUARE FOOT AREA OF THE SMALLEST RECTANGLE WHICH CAN ENCLOSE ALL OF THE LETTERS OR FIGURES. (S 185-145.B)
- [17] WHEN THE NAME OR ADVERTISING MESSAGE IS DIVIDED INTO A NUMBER OF PANELS OR PARTS, IT SHALL BE CONSIDERED AS ONE SIGN. (S 185-145.D)

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Newtown, Pennsylvania 1-267.685.0274 | Philadelphia, Pennsylvania 1-215.253.4888 | Southampton, Pennsylvania 1-610.598.4400

TITLE:

### CONSTRUCTION DETAILS

PROJECT: **STORAGE PLATFORM, LLC**  
**PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES**  
BLOCK 2-305, LOTS 1, 2, 3, 4, 1-3 & 1-4  
256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE  
TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY

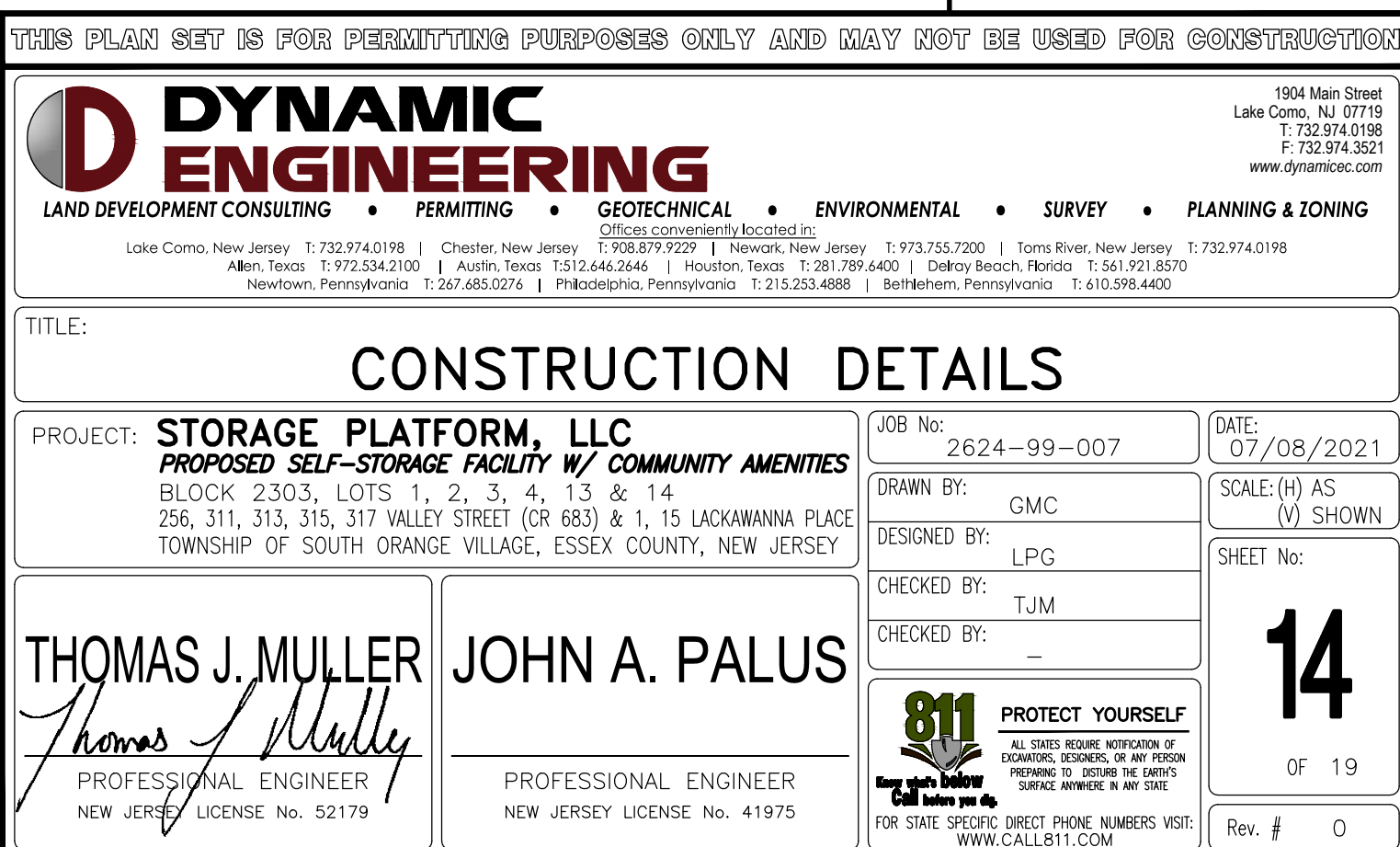
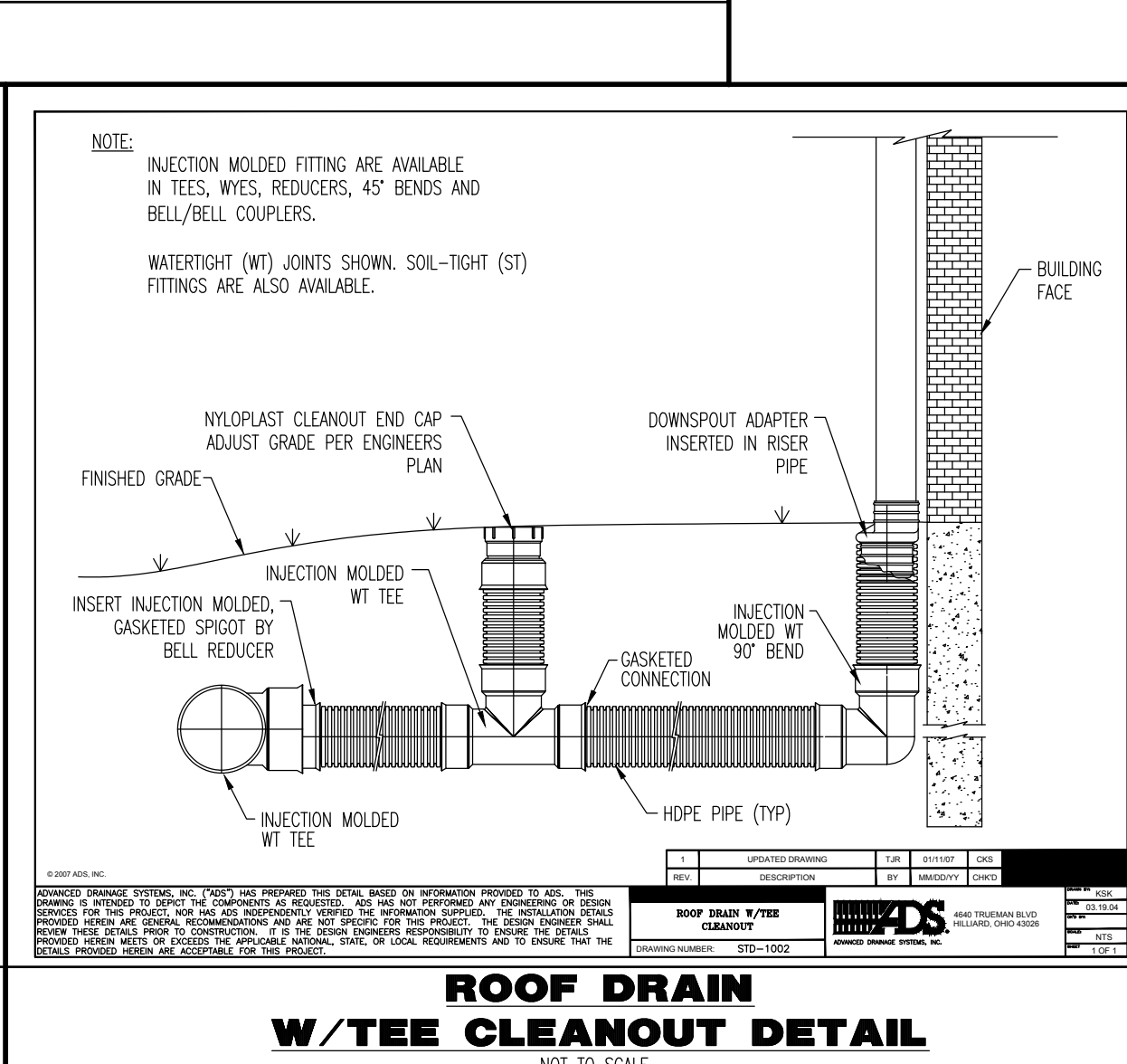
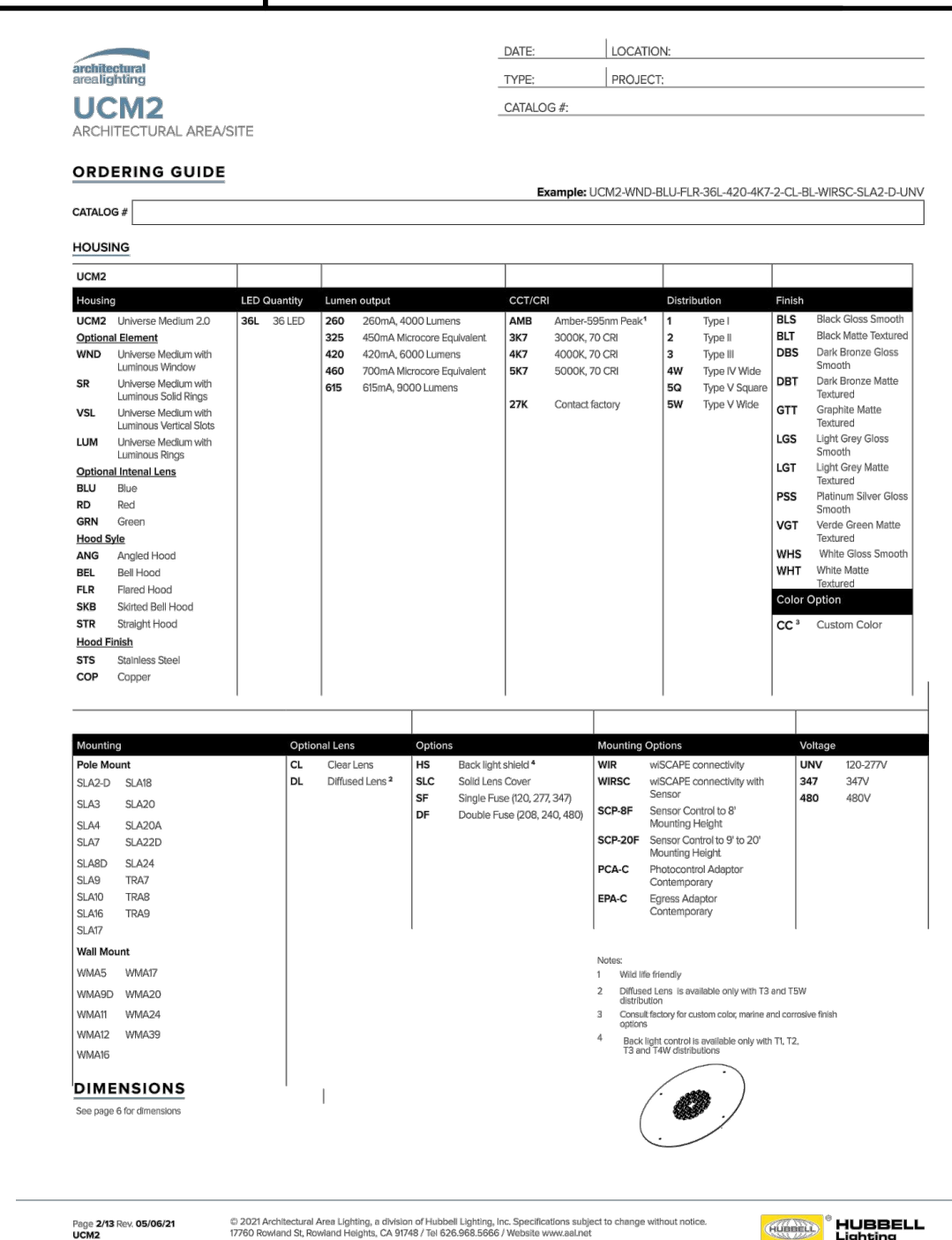
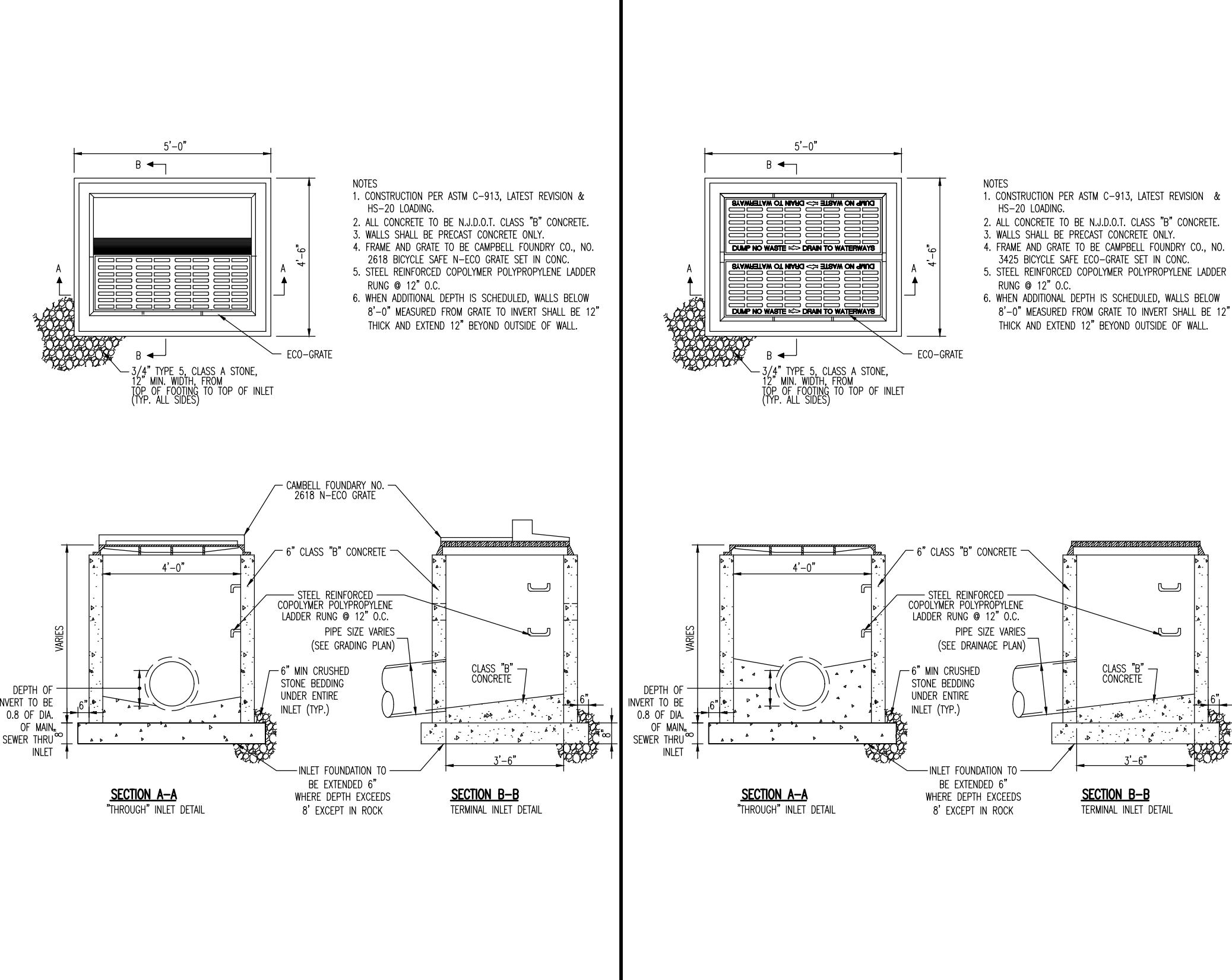
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DATE: 07/08/2021  
DRAWN BY: GMC  
SCALE: (H) AS SHOWN  
DESIGNED BY: LPM  
SHEET NO: 13 OF 19  
CHECKED BY: TJM  
CHECKED BY: -

THOMAS J. MULLER  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 52179

JOHN A. PALUS  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 41975

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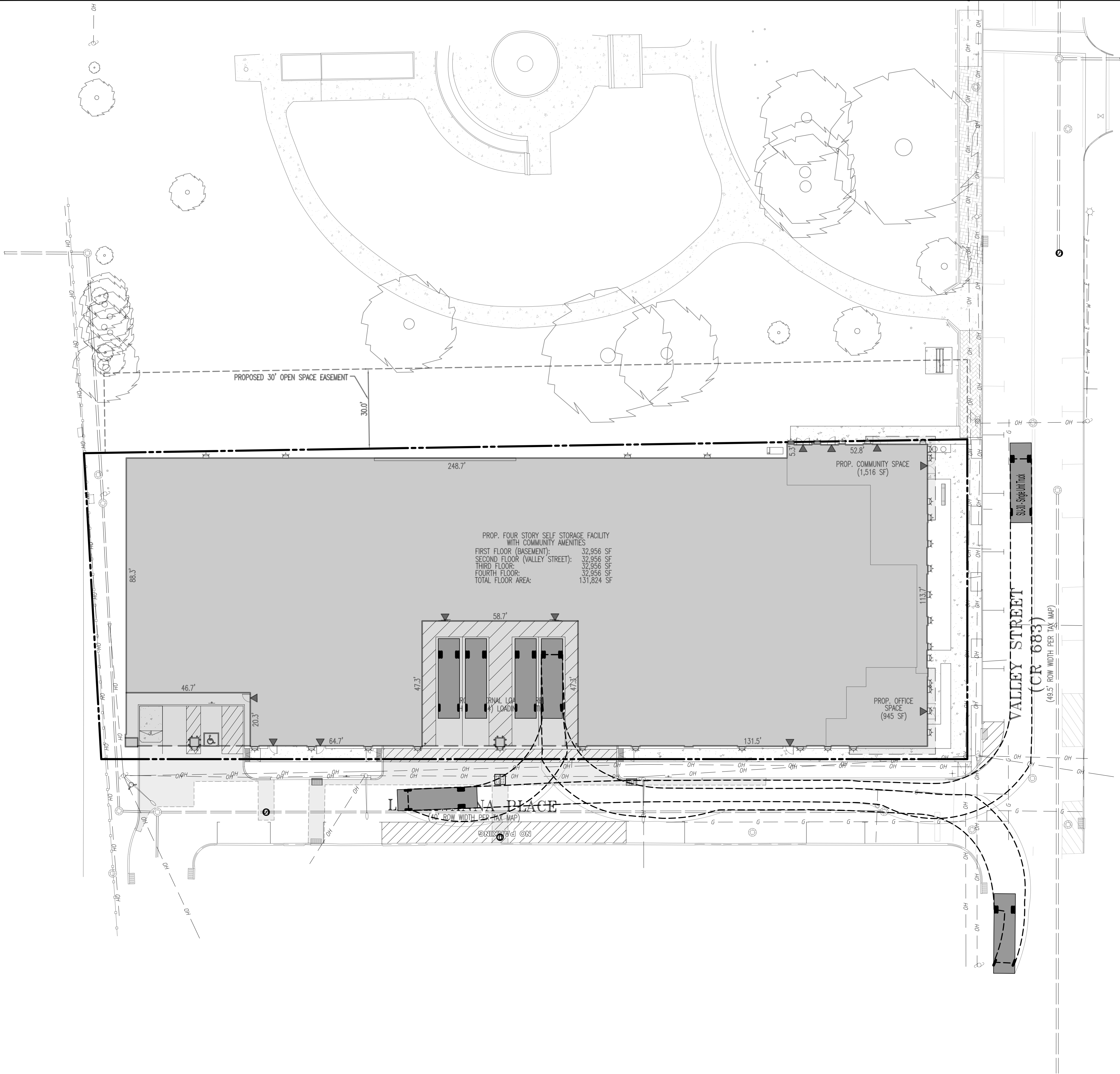




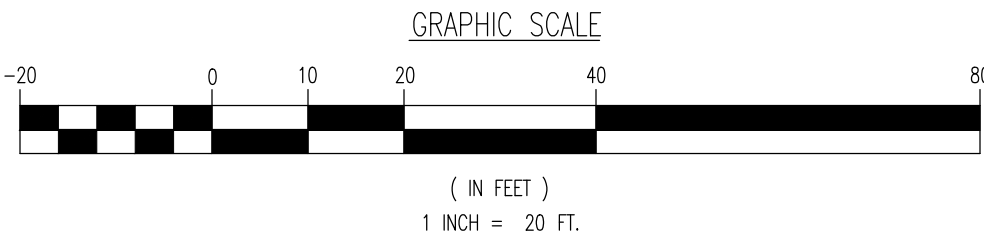
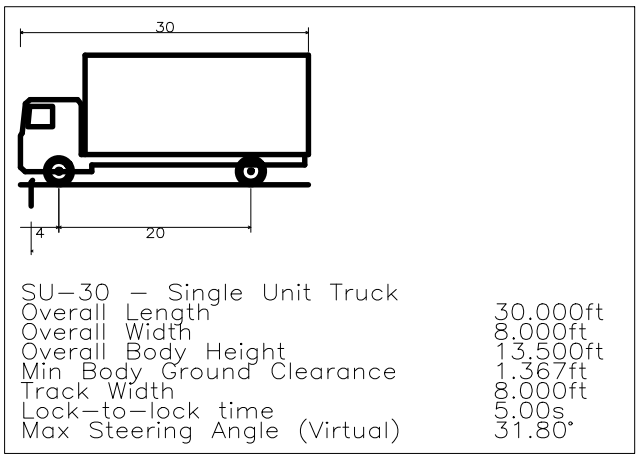
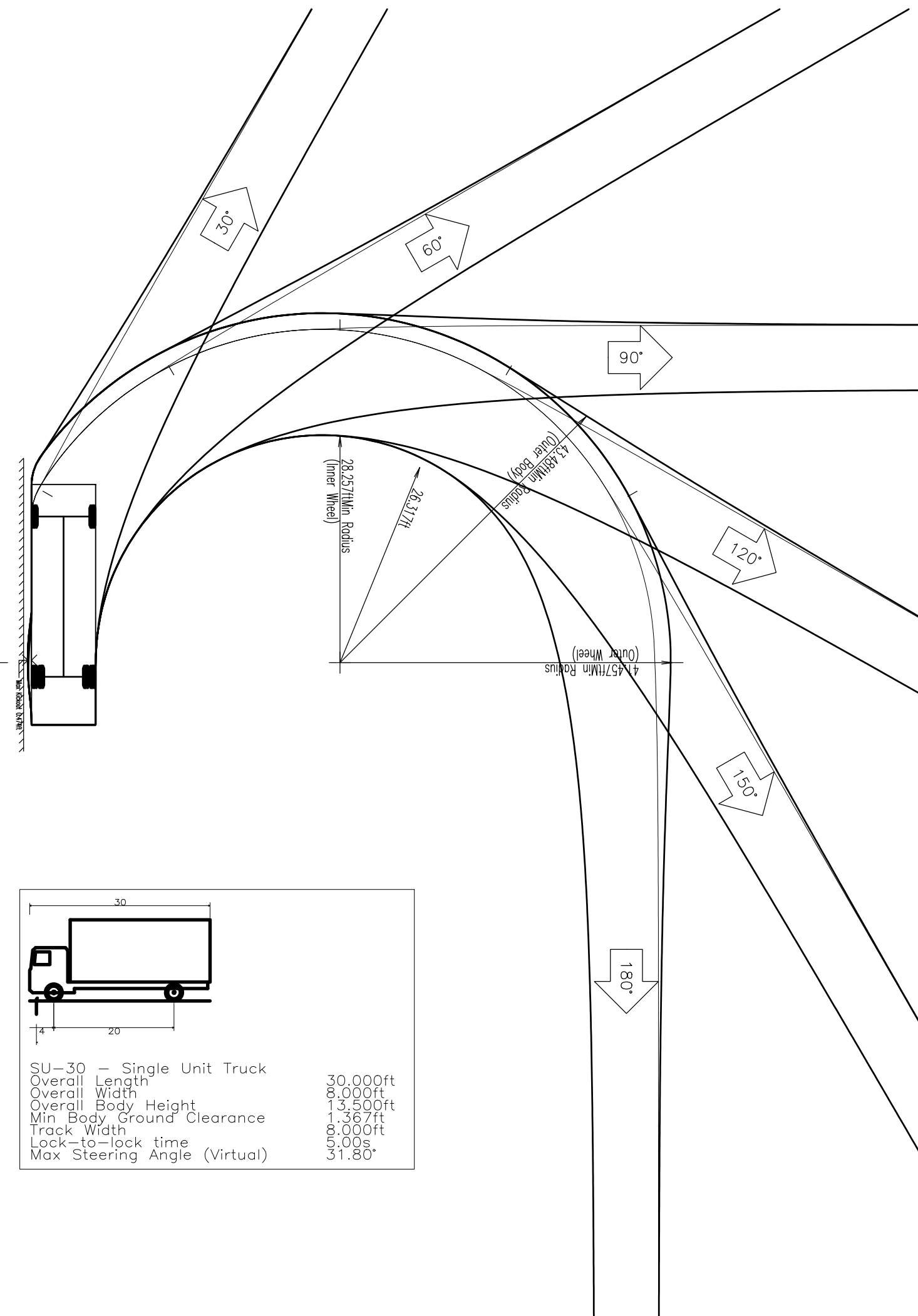
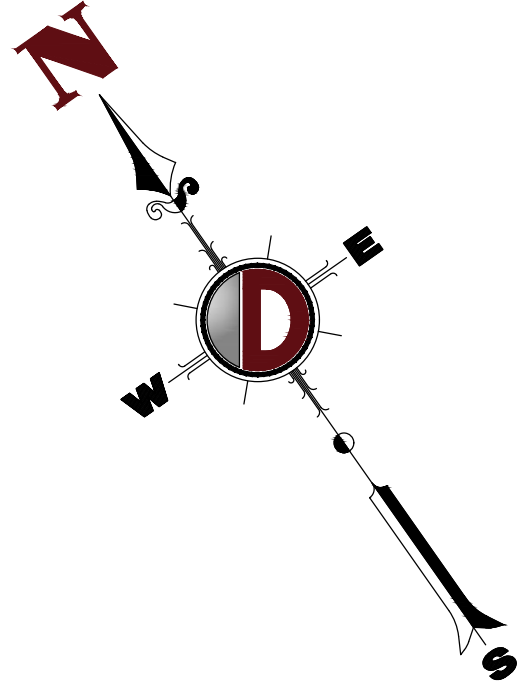


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File: P:\VEPCP PROJECTS\2824\_Quintan Development Group, LLC\99-007 South Orange\Draw\Site Plans\0282499075V0.dwg, ---> VEHICLE CIRCULATION PLAN A (SU-30)

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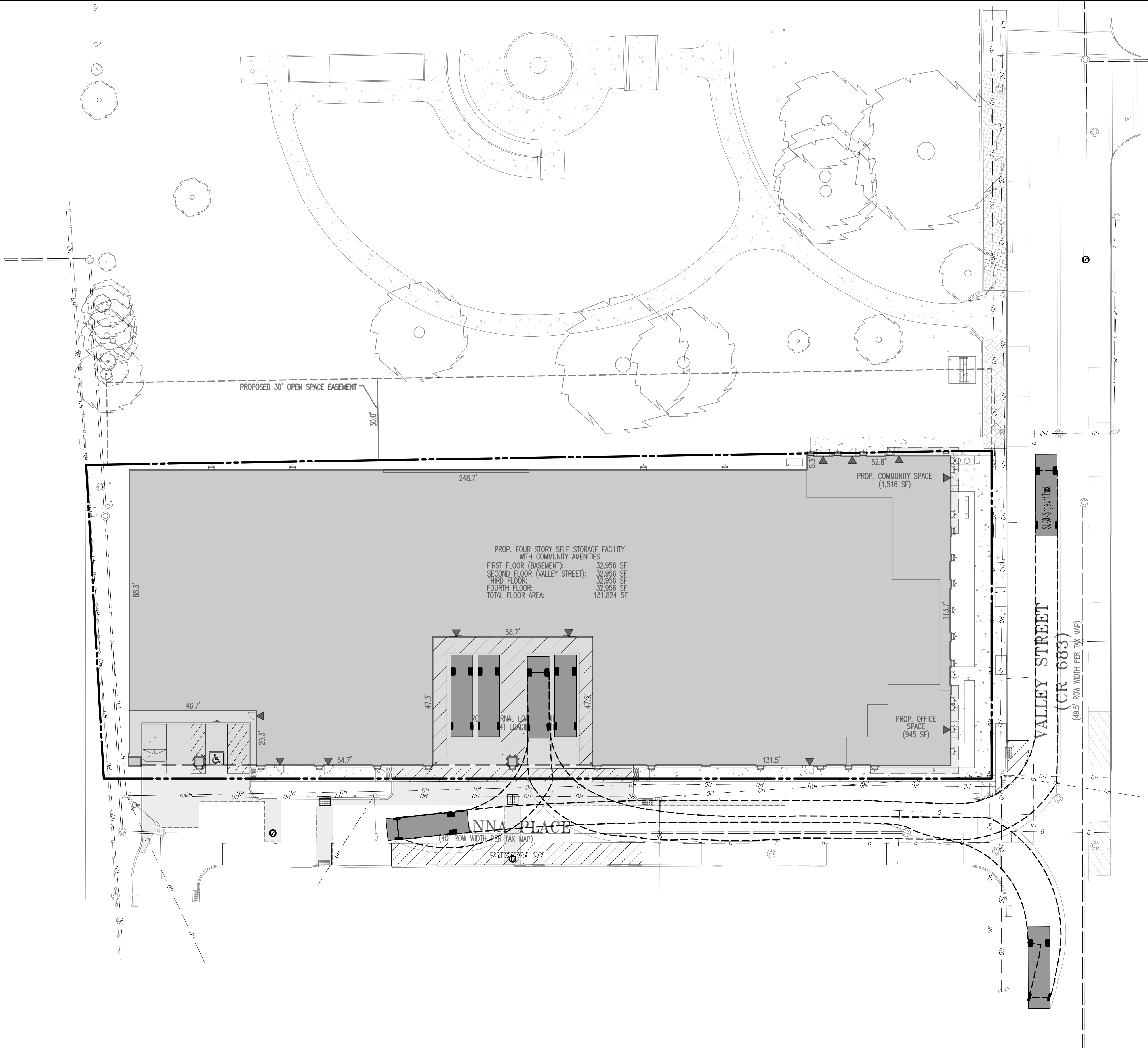
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TITLE: <b>VEHICLE CIRCULATION PLAN A (SU-30)</b>			
PROJECT: <b>STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES</b> BLOCK 2.303, LOTS 1, 2, 3, 4, 13 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY		JOB No: 2624-99-007 DRAWN BY: GMC DESIGNED BY: LPG CHECKED BY: TJM CHECKED BY: -	DATE: 07/08/2021 SCALE: (H) 1"=20' (V) SHEET No: <b>15</b> OF 19 Rev. # 0
THOMAS J. MULLER <i>Thomas J. Muller</i> PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 521975		JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975	
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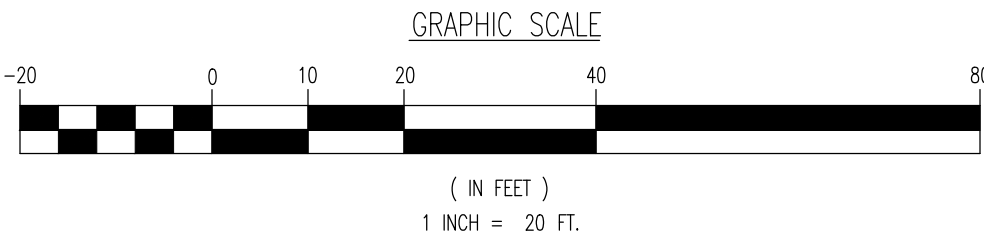
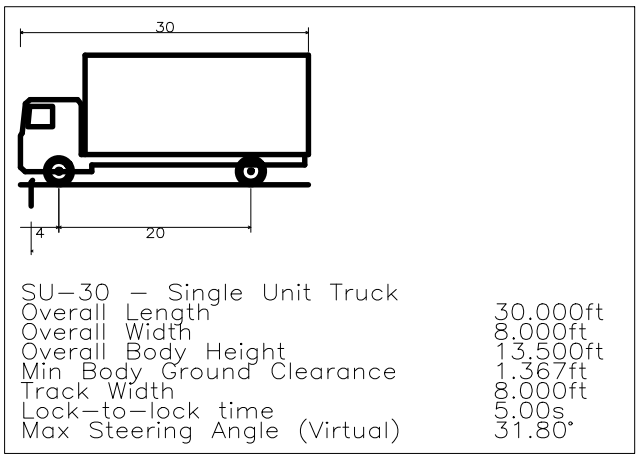
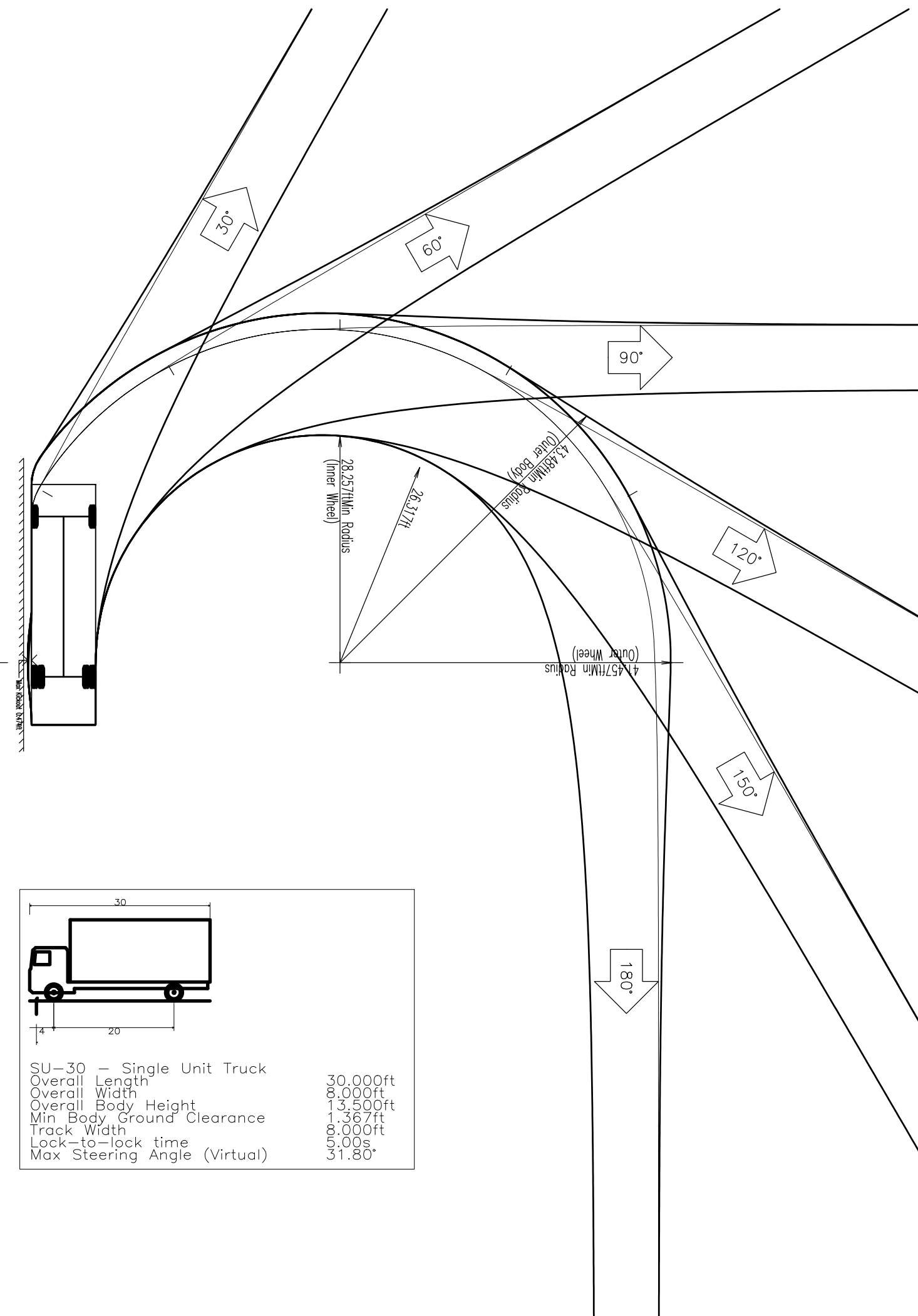
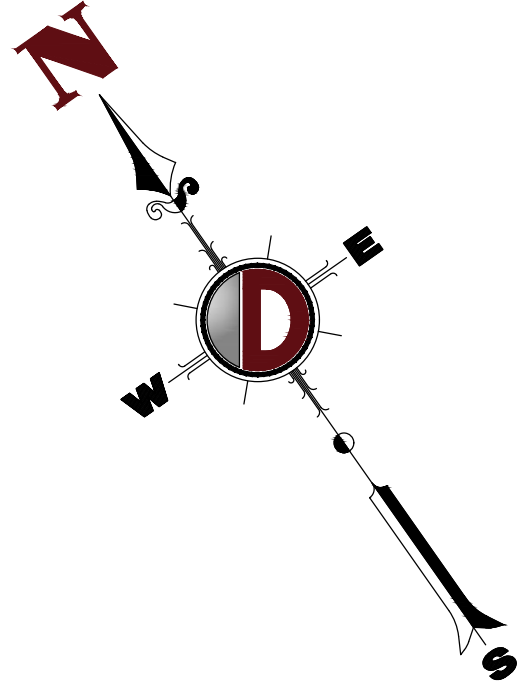


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Allen, Texas T: 972.334.2100 | Austin, Texas T: 512.444.2444 | Houston, Texas T: 281.709.4400 | Lakewood Beach, Florida T: 561.921.8570  
Newtown, Pennsylvania T: 267.685.0276 | Philadelphia, Pennsylvania T: 215.253.4888 | Baltimore, Pennsylvania T: 410.598.4400

TITLE: **VEHICLE CIRCULATION PLAN B (SU-30)**

PROJECT: **STORAGE PLATFORM, LLC**  
**PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES**  
BLOCK 2.303, LOTS 1, 2, 3, 4, 13 & 14  
256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE  
TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY

JOB No: 2624-99-007  
DATE: 07/08/2021  
DRAWN BY: GMC  
SCALE: (H) 1"=20' (V)  
DESIGNED BY: LPG  
SHEET No: 16 OF 19  
CHECKED BY: TJM  
REVIEWED BY: -

THOMAS J. MULLER  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 521975

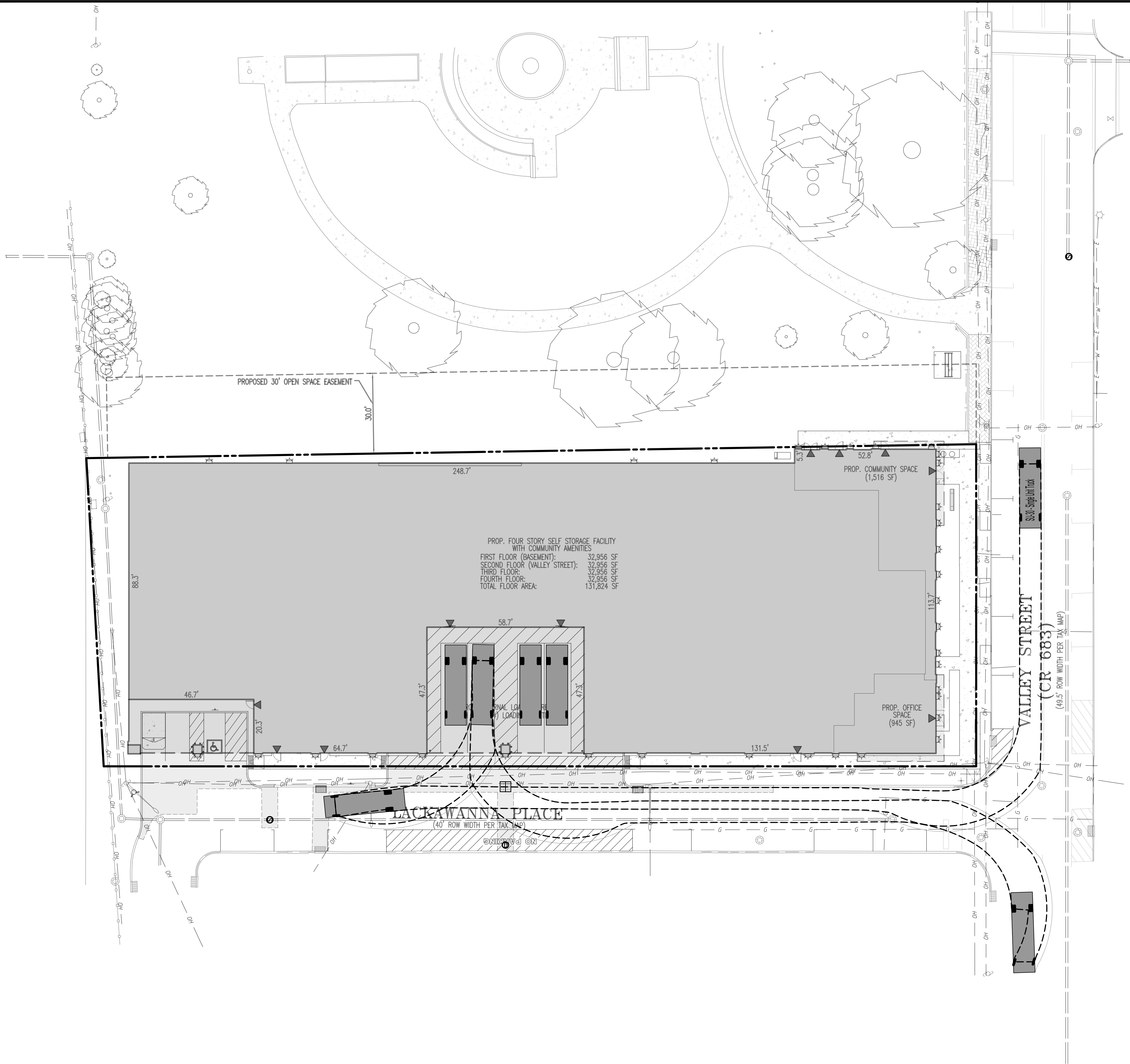
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PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 41975

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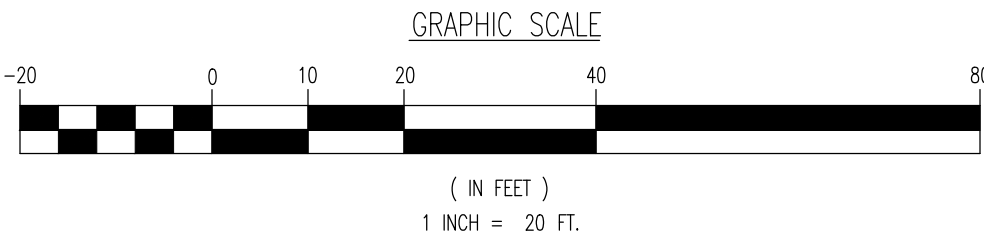
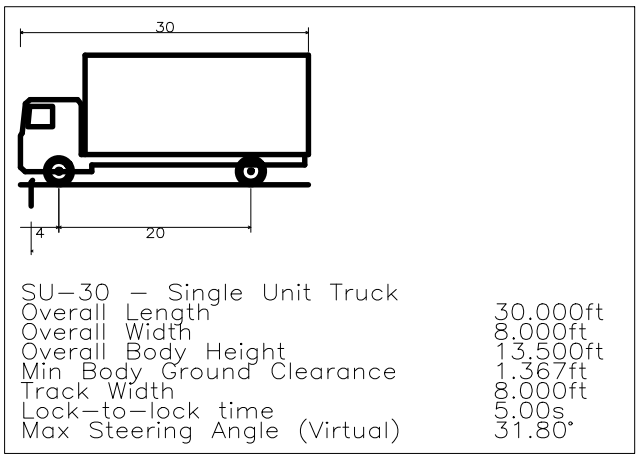
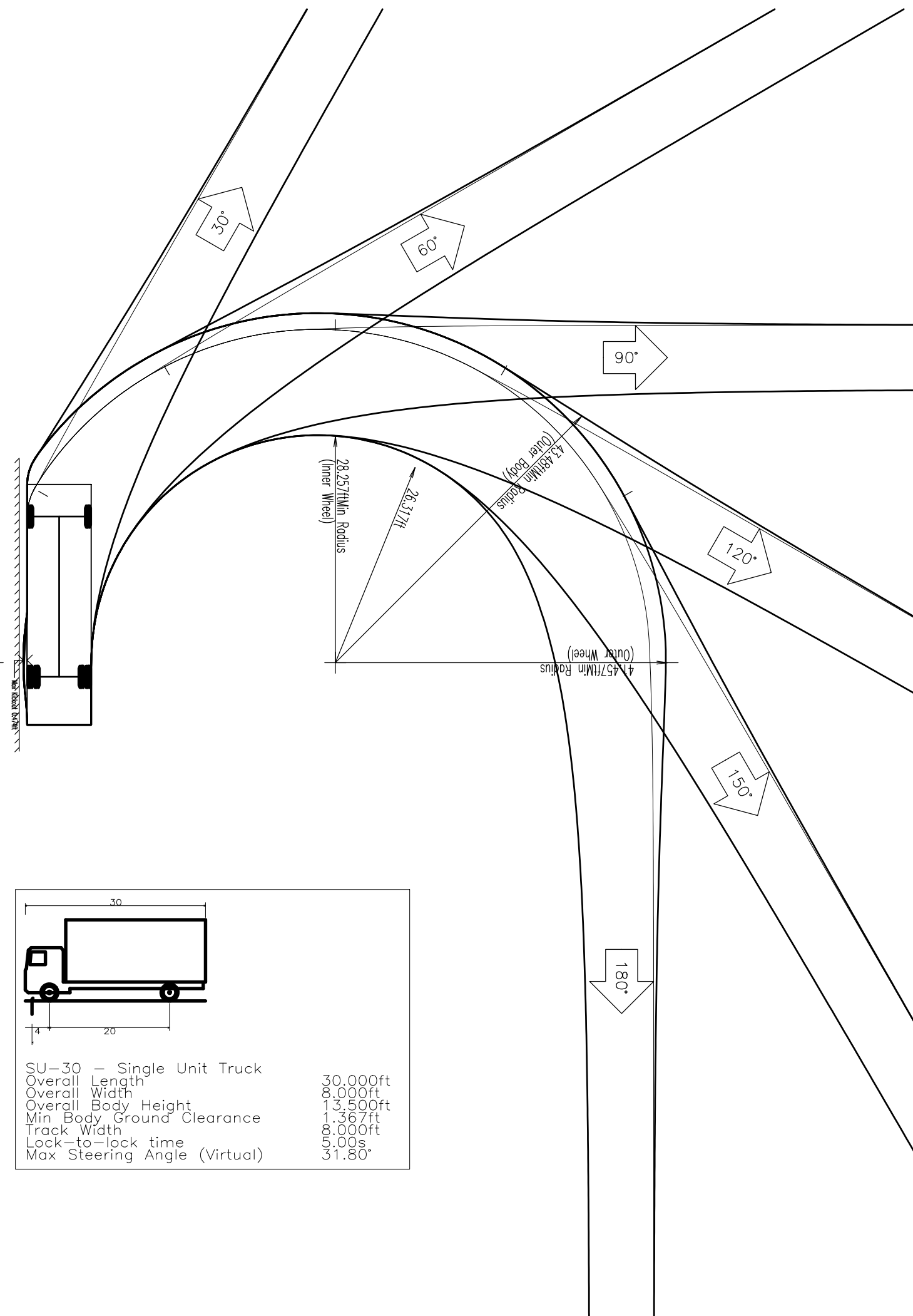
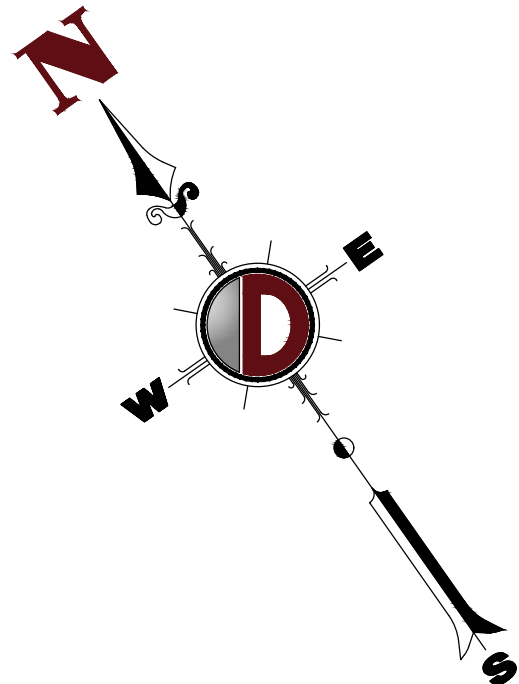


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Newtown, Pennsylvania T: 267.685.0276 | Philadelphia, Pennsylvania T: 215.253.4888 | Baltimore, Pennsylvania T: 410.598.4400

TITLE: **VEHICLE CIRCULATION PLAN C (SU-30)**

PROJECT: **STORAGE PLATFORM, LLC  
PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES**  
BLOCK 2.303, LOTS 1, 2, 3, 4, 13 & 14  
256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE  
TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY

JOB No: 2624-99-007  
DATE: 07/08/2021  
DRAWN BY: GMC  
SCALE: (H) 1"=20' (V)  
DESIGNED BY: LPG  
SHEET No: 17 OF 19  
CHECKED BY: TJM  
REVIEWED BY: -

**THOMAS J. MULLER**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 521975

**JOHN A. PALUS**  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 41975

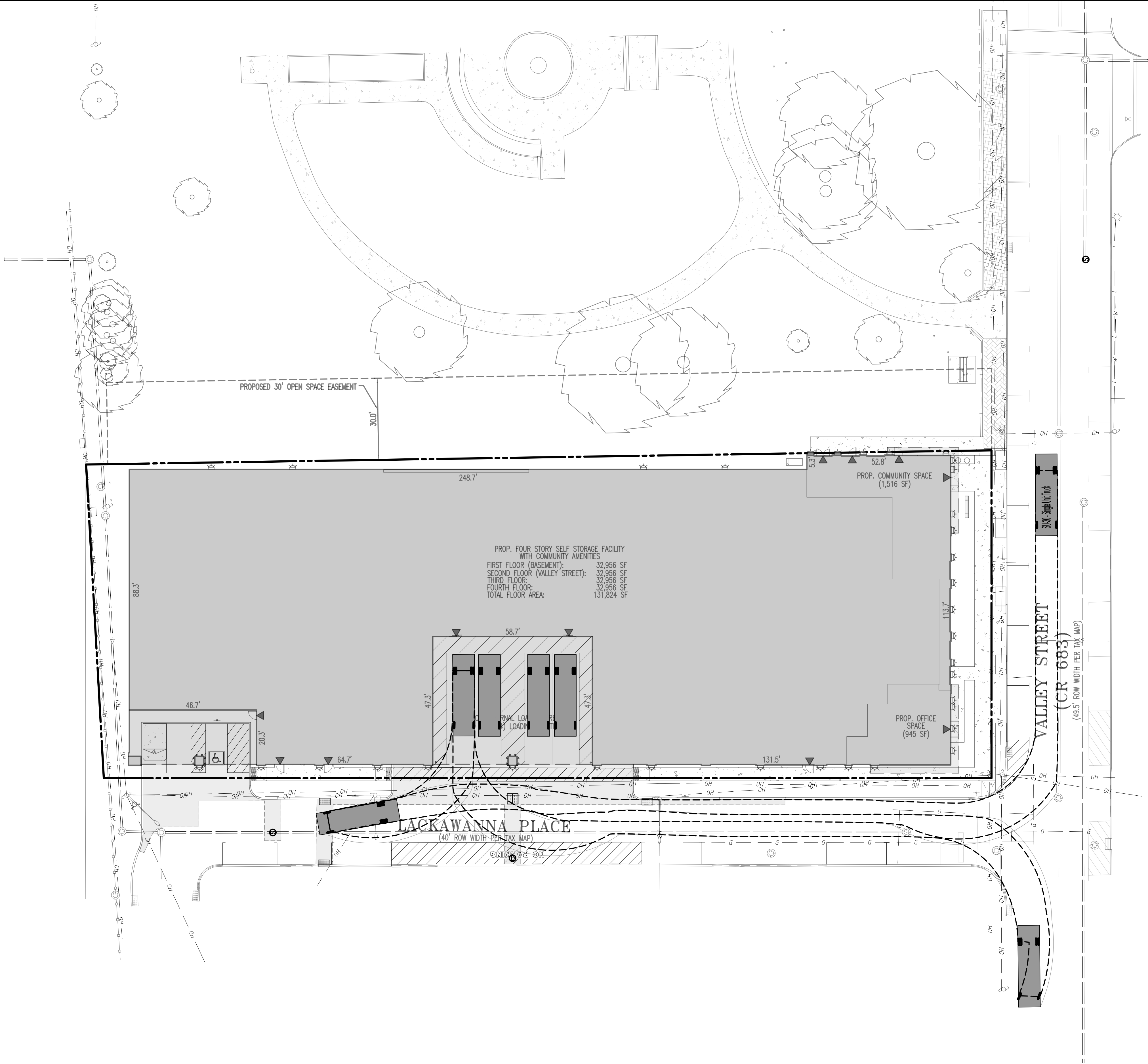


Rev. # 0

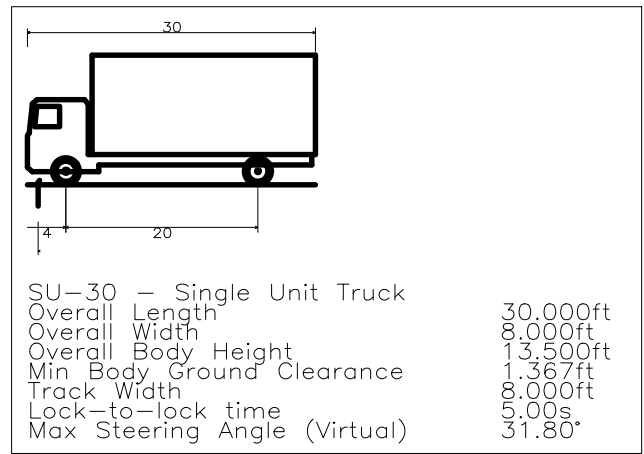
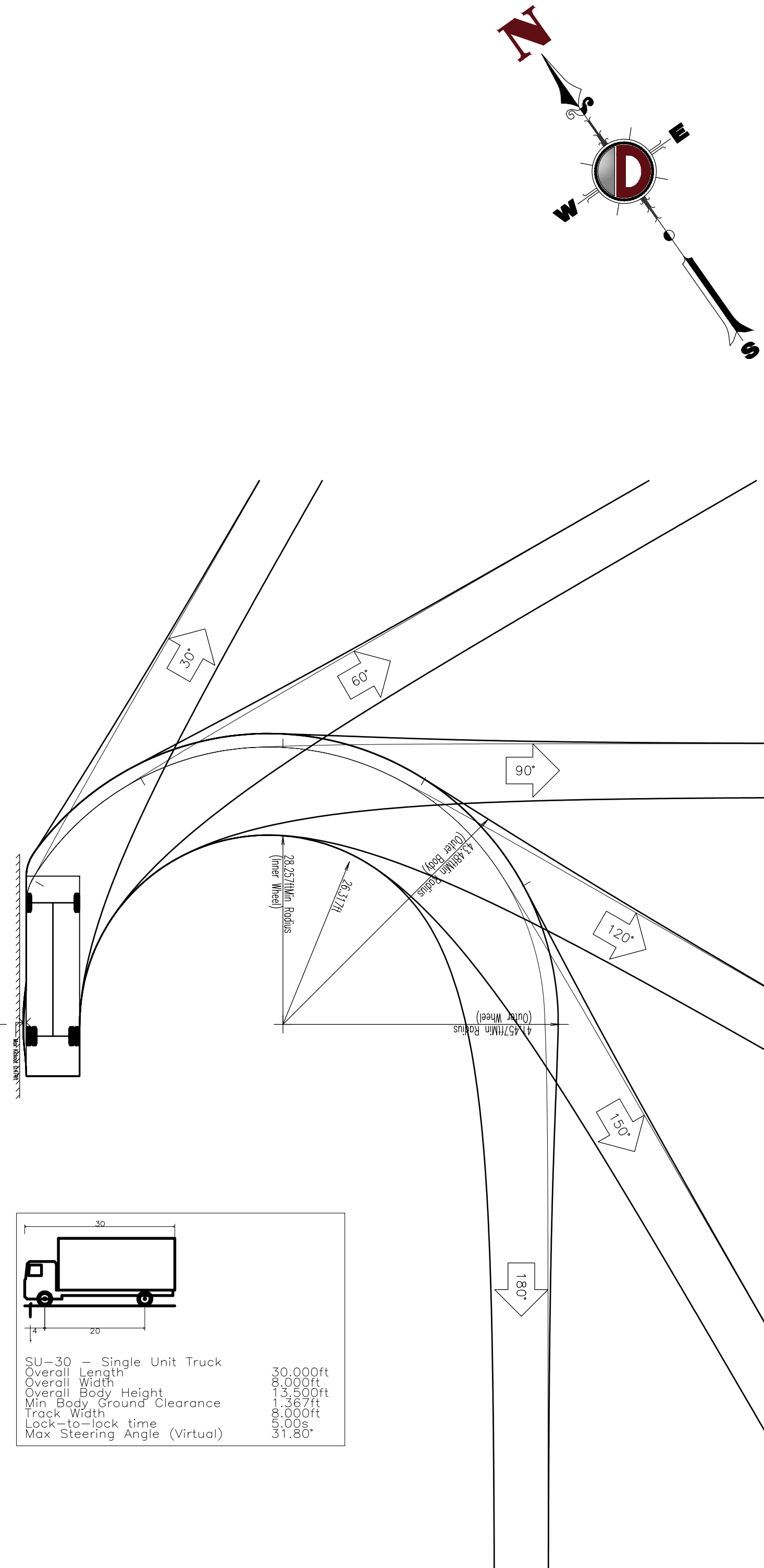


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Allentown, Pennsylvania 1-732.974.0198 | Allentown, Pennsylvania 1-732.974.0198 | Allentown, Pennsylvania 1-732.974.0198 | Allentown, Pennsylvania 1-732.974.0198  
Allentown, Pennsylvania 1-732.974.0198 | Allentown, Pennsylvania 1-732.974.0198 | Allentown, Pennsylvania 1-732.974.0198 | Allentown, Pennsylvania 1-732.974.0198

TITLE: **VEHICLE CIRCULATION PLAN D (SU-30)**

PROJECT: **STORAGE PLATFORM, LLC**  
**PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES**  
BLOCK 2.303, LOTS 1, 2, 3, 4, 13 & 14  
256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE  
TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY

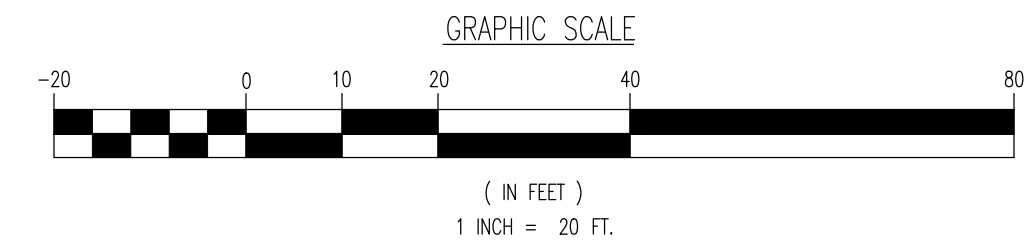
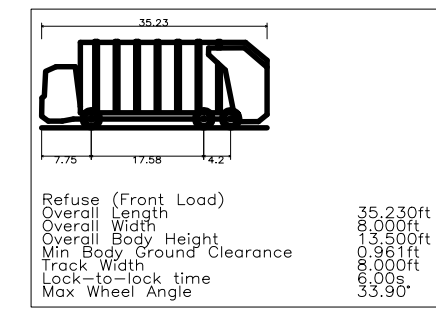
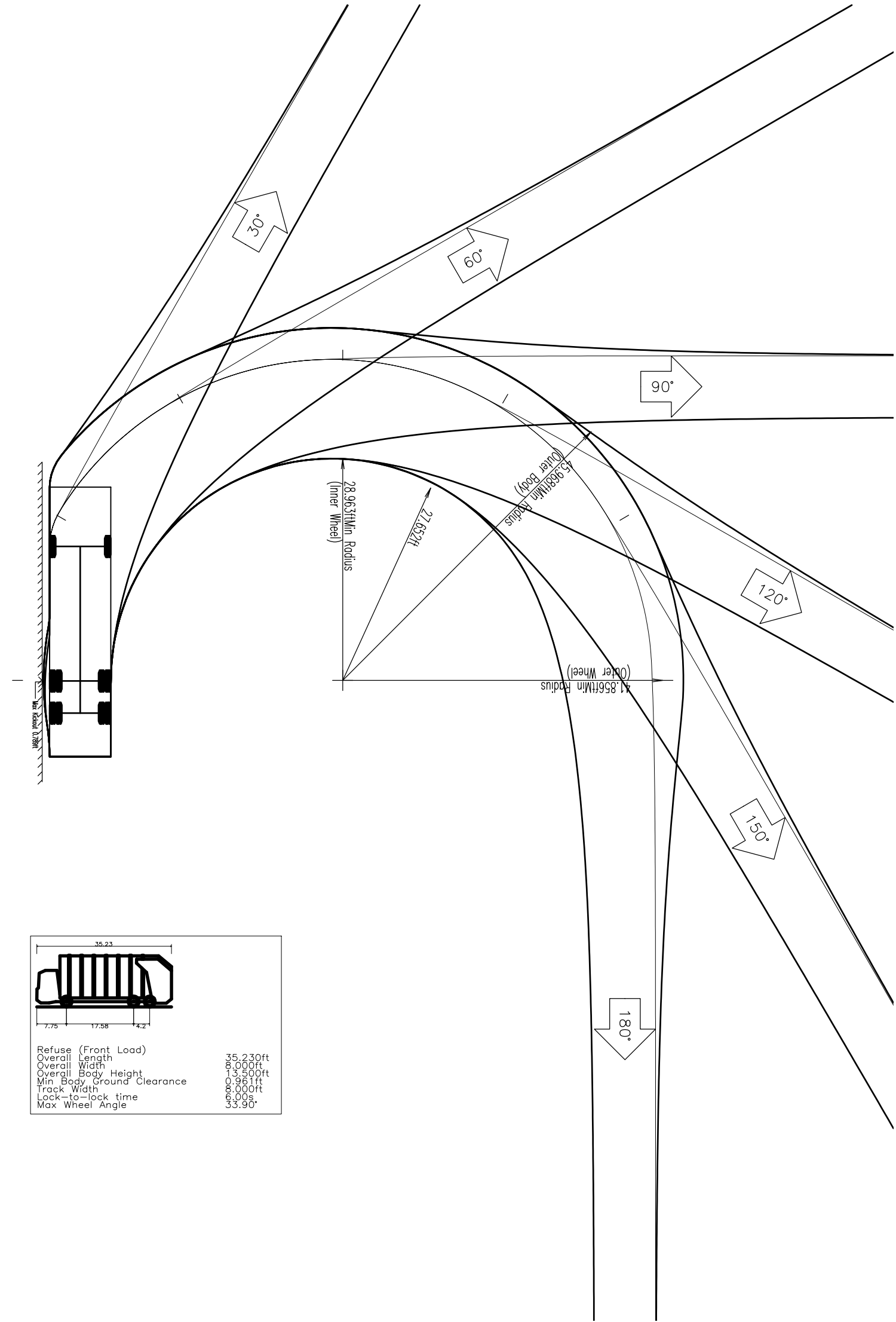
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DATE: 07/08/2021  
SCALE: (H) 1"=20' (V)  
SHEET No: 18 OF 19

THOMAS J. MULLER  
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 521975

JOHN A. PALUS  
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Newtown, Pennsylvania	T: 267.685.0276	Philadelphia, Pennsylvania	T: 215.253.4888	Bethlehem, Pennsylvania	T: 610.598.4400		

TITLE: **VEHICLE CIRCULATION PLAN (TRASH TRUCK)**

PROJECT:	<b>STORAGE PLATFORM, LLC</b>	JOB No:	2624-99-007	DATE:	07/08/2021
	<b>PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES</b>				
	BLOCK 2303, LOTS 1, 2, 3, 4, 13 & 14	DRAWN BY:	GMC	SCALE: (H) 1"=20'	
	256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE	DESIGNED BY:	LD	(V) 1"	
	TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY			CLIENT No:	

<div style="display: flex; justify-content: space-between;"> <div> <p>THOMAS J. MULLER</p> </div> <div> <p>JOHN A. BALUS</p> </div> </div>		<div style="display: flex; flex-direction: column; align-items: center;"> <div> <p>CHECKED BY:</p> <p>TJM</p> </div> <div> <p>CHECKED BY:</p> </div> </div>	<div style="display: flex; flex-direction: column; align-items: center;"> <div> <p>SHEET NO.</p> <p>10</p> </div> </div>
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<p><b>THOMAS J. MULLER</b>  <i>Thomas J. Muller</i>  <b>PROFESSIONAL ENGINEER</b>          NEW JERSEY LICENSE NO. 52179</p>	<p><b>JOHN A. PALUS</b>  <b>PROFESSIONAL ENGINEER</b>          NEW JERSEY LICENSE NO. 41975</p>	<p><b>811</b>          PROTECT YOURSELF          ALL STATES REQUIRE NOTIFICATION OF          EXISTING UTILITIES. ON ANY PROJECT          BEFORE YOU DIG, CALL 811 TO          LOCATE ALL UTILITIES IN YOUR AREA.          FOR STATE SPECIFIC DIG PROTECT NUMBERS VISIT:  <a href="http://WWW.CALL811.COM">WWW.CALL811.COM</a></p>	<p><b>OF 19</b></p>
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