

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR

STORAGE PLATFORM, LLC

PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES

BLOCK 2303, LOTS 1, 2, 3, 4, 13 & 14; TAX MAP SHEETS 20, 22 & 23 - LATEST REV. DATED 01/1987

256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE,

TOWNSHIP OF SOUTH ORANGE VILLAGE

ESSEX COUNTY, NEW JERSEY

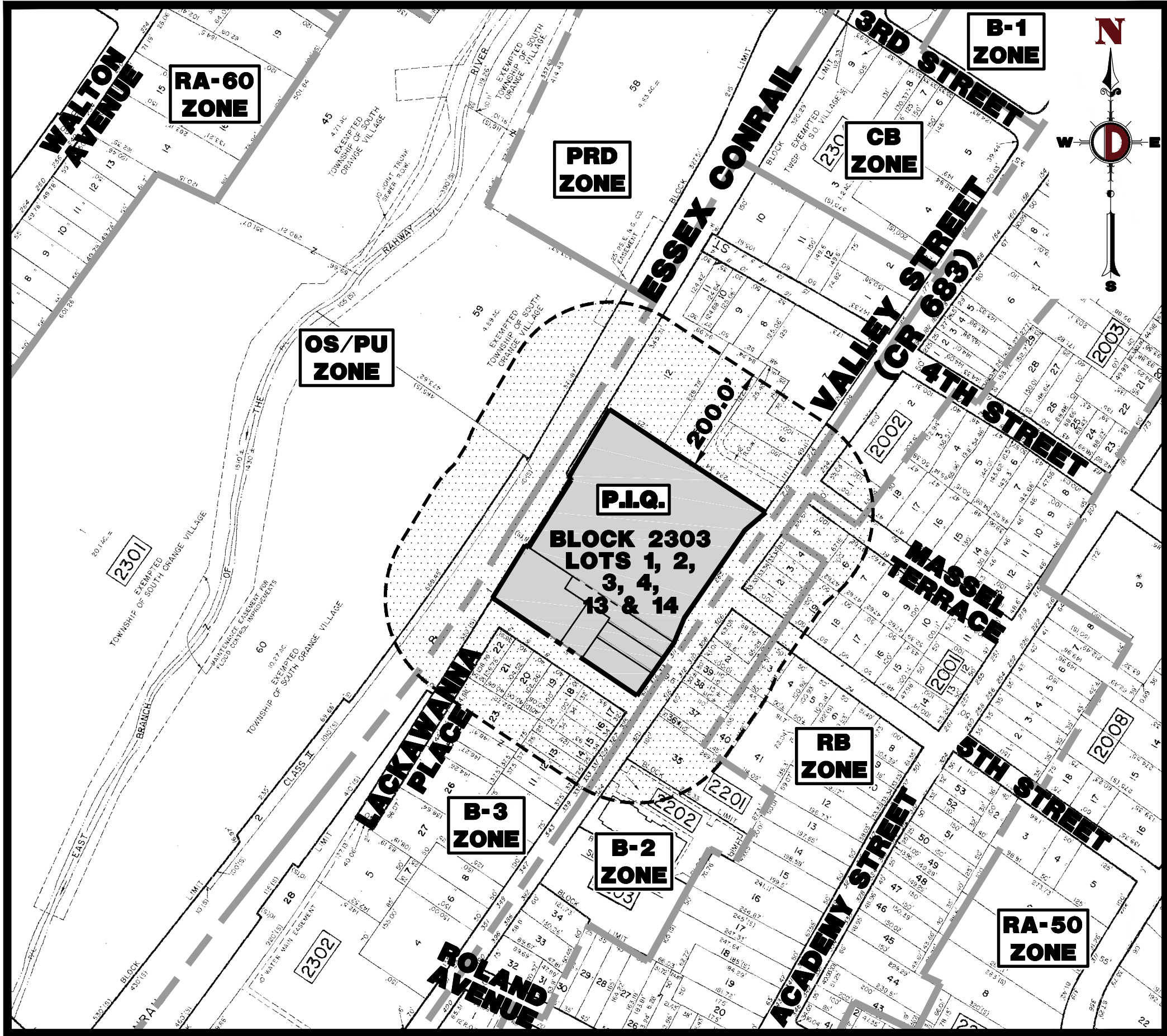
200' PROPERTY OWNERS LIST (BLOCK 2303, LOTS 1-3, 13 & 14)

PROPERTY OWNER	BLOCK	LOT
DEUTSCH, E & ARL DORNFIELD &L DEUTSCH 268 VALLEY ST SOUTH ORANGE, NJ 07079	2001	1
ZHANG, JIAN FENG & HUANG, JIN XIU 266 VALLEY STREET, 2ND FL SOUTH ORANGE, N.J. 07079	2001	2
VALLEY AUTO SALES, LLC 300-106 VALLEY STREET SOUTH ORANGE, N.J. 07079	2201	1
CALCOTTI, AMBROGIO + FELOMENA 308 VALLEY STREET SOUTH ORANGE, N.J. 07079	2201	2
BRISSETT, TONYA 62 FIFTH ST SOUTH ORANGE, N.J. 07079	2201	3
QUADEL, DONNA 66 FIFTH ST SOUTH ORANGE, N.J. 07079	2201	4
320 VALLEY SO LLC 125 CHURB AVE #2005 LYNHURST, NJ 07071	2201	35
TOWNSHIP OF SOUTH ORANGE VILLAGE VILLAGE HALL SOUTH ORANGE, N.J. 07079	2201	36
316 VALLEY STREET, LLC 56 CREST DRIVE SOUTH ORANGE, N.J. 07079	2201	37
CARDONE, JOHN L CINDY 310 VALLEY STREET SOUTH ORANGE, N.J. 07079	2201	39
TRONCONE, RICHARD + JOANNE 1892 HOVSONS BLVD TOMR RIVER, NJ 08753	2201	40
SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079	2202	1
SETON HALL UNIVERSITY 400 SOUTH ORANGE SOUTH ORANGE, N.J. 07079	2202	1
ERIC LACKAWANNA/ NJ TRANSIT ONE PENN PLAZA NEWARK, N.J. 07102	2300	1
TOWNSHIP OF SOUTH ORANGE VILLAGE VILLAGE HALL SOUTH ORANGE, N.J. 07079	2301	59
TOWNSHIP OF SOUTH ORANGE VILLAGE VILLAGE HALL SOUTH ORANGE, N.J. 07079	2301	60
CHEN, CHAO HUA + ZHI MING WANG 335 VALLEY STREET SOUTH ORANGE, NJ 07079	2302	12
RESSOM, YACOB 333 VALLEY STREET SOUTH ORANGE, NJ 07079	2302	13
KIT, ANDREW & FISHER, CATHERINE 16 LACKAWANNA PL SOUTH ORANGE, NJ 07079	2302	14
LAM, TOI YAM + WAI CHING 79 ARNOLD TERRACE SOUTH ORANGE, NJ 07079	2302	15
MOLINARO, ANTHONY PO BOX 692 SPRINGFIELD, N.J. 07081	2302	16
MOLINARO, ANTHONY POB 692 SPRINGFIELD, N.J.07081	2302	17
KIT, ANDREW W 16 LACKAWANNA PLACE SOUTH ORANGE, NJ 07079	2302	18
PATEL, VIJAY P. & BHAVNA V 10 LACKAWANNA PLACE SOUTH ORANGE, NJ 07079	2302	19
8 LACKAWANNA LLC 8 LACKAWANNA PLACE SOUTH ORANGE, NJ 07079	2302	20
KUMANYIKA, KATHLEEN F 377 S HARRISON ST # 14K EAST ORANGE, NJ 07018	2302	21
PENA, NELSON 2-4 LACKAWANNA PLACE SOUTH ORANGE, NJ 07079	2302	22
JBN 362-370 LACKAWANNA PLACE, LLC. 363 VALLEY STREET SOUTH ORANGE, NJ 07079	2302	23
TOWNSHIP OF SOUTH ORANGE VILLAGE VILLAGE HALL SOUTH ORANGE, N.J. 07079	2303	4

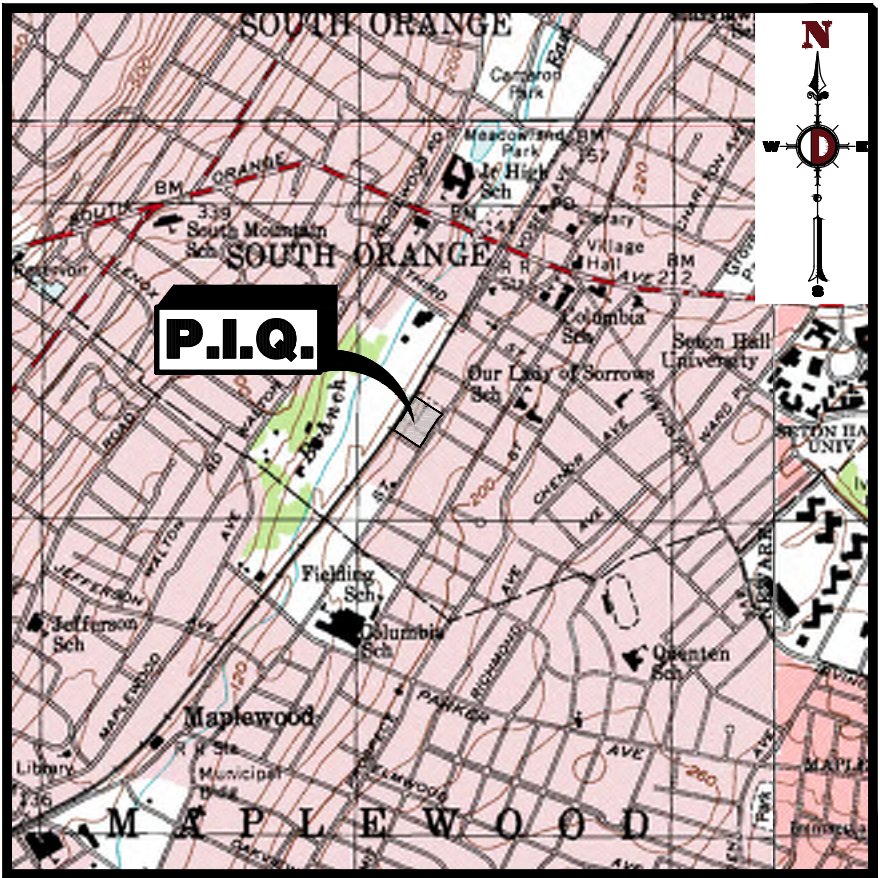
200' PROPERTY OWNERS LIST (BLOCK 2303, LOT 4)

PROPERTY OWNER	BLOCK	LOT
ALSO TO BE NOTIFIED: NEW JERSEY AMERICAN WATER 167 JOHN F. KENNEDY PARK-BLUG A SHORT HILLS, NEW JERSEY 07078		
PUBLIC SERVICE ELECTRIC & GAS CO. MANAGER-CORPORATE PROPERTIES 80 PARK PLACE, T68 NEWARK, NEW JERSEY 07102		
VERIZON 540 BROAD STREET NEWARK, NEW JERSEY 07101		
CABLEVISION 186 WEST MARK STREET NEWARK, NEW JERSEY 07103		
VERIZON 61 5TH LLC PO BOX 216 WEST ORANGE, NJ 07052	2001	5
RAMPERSAUD, L + SANCHAR, J 62 MASSEL TERR SOUTH ORANGE, NJ 07079	2001	6
MALESPINA, JOSEPH + ELISSA 66 MASSEL TERR SOUTH ORANGE, NJ 07079	2001	7
LYNTHURST 61 5TH LLC PO BOX 216 WEST ORANGE, NJ 07052	2001	19
SHAH, REKHA + KAMLESH 3 TULIP COURT LIVINGSTON, N.J. 07039	2002	1
ALLEGANCE COMMUNITY BANK 200 VALLEY STREET SOUTH ORANGE, N.J. 07079	2002	2
BLACKMAN, STACY 59 MASSEL TERRACE SOUTH ORANGE, NJ 07079	2002	18
VALLEY AUTO SALES, LLC 300-106 VALLEY STREET SOUTH ORANGE, N.J. 07079	2201	1
CALCOTTI, AMBROGIO + FELOMENA 308 VALLEY STREET SOUTH ORANGE, NJ 07079	2201	2
BRISSETT, TONYA 62 FIFTH ST SOUTH ORANGE, NJ 07079	2201	3
PUBLIC SERVICE ELECTRIC + GAS CO 80 PARK PLACE T-6 NEWARK, NJ 07102	2303	3
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AREA MAP
1" = 200'

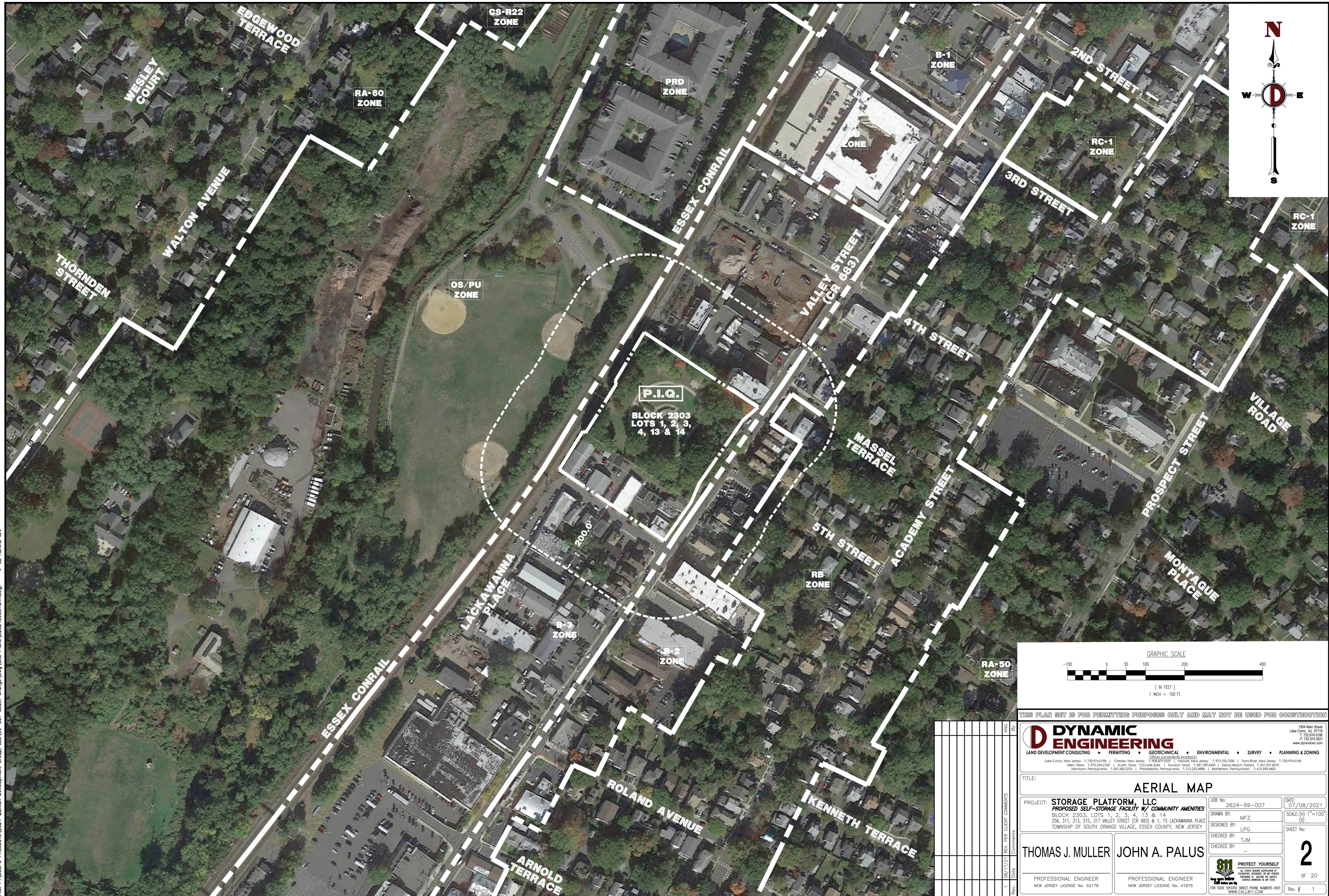


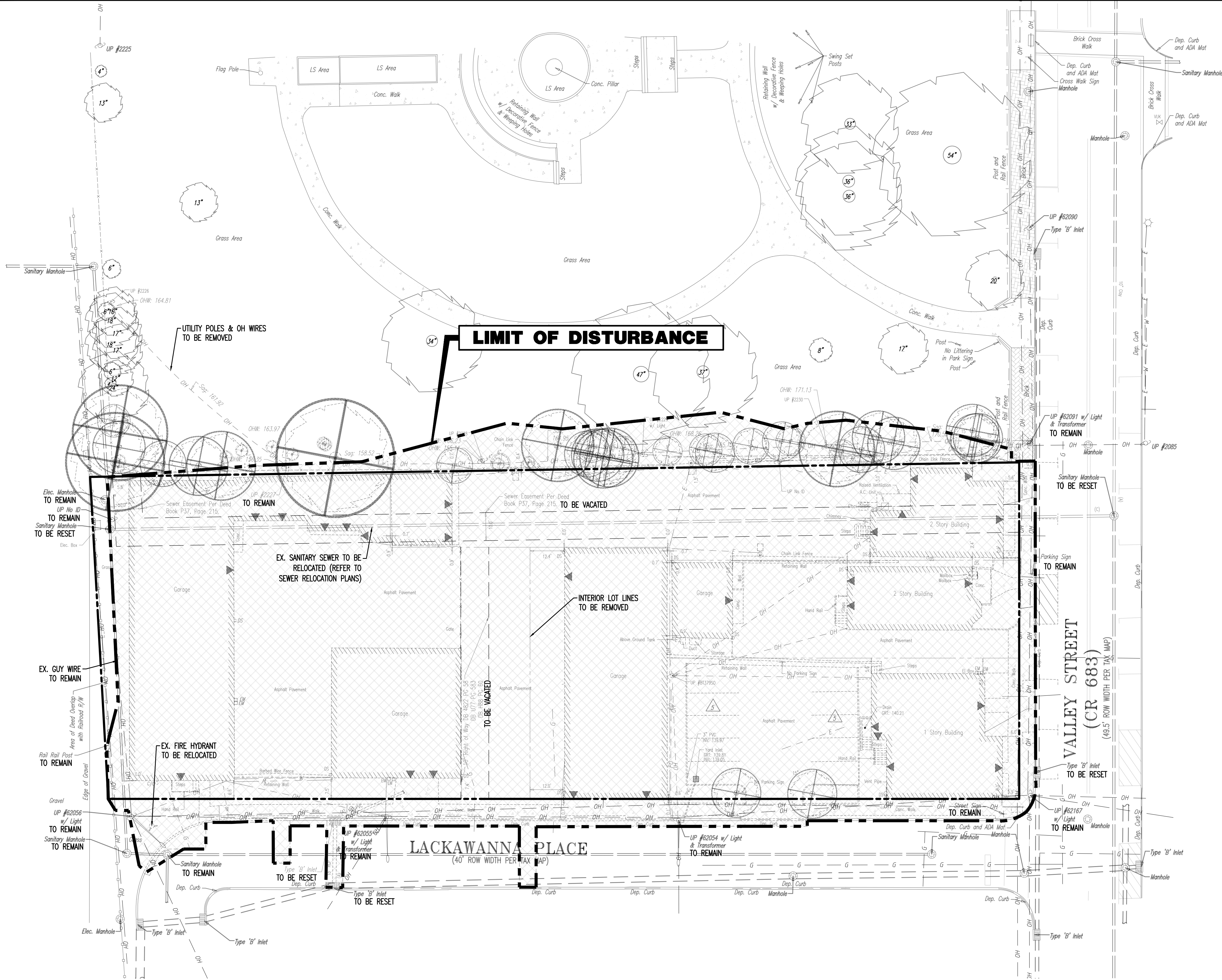
KEY MAP
1" = 2000'

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THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DYNAMIC ENGINEERING LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING Lake Como, New Jersey 1-732.974.0198 Chester, New Jersey 1-908.879.9229 Newark, New Jersey 1-973.755.7200 Toms River, New Jersey 1-732.974.0198 Allen, Texas 1-972.534.2103 Austin, Texas 1-817.244.2444 Houston, Texas 1-281.789.4400 Delray Beach, Florida 1-561.921.8570 Newtown, Pennsylvania 1-267.685.0276 Philadelphia, Pennsylvania 1-215.253.4588 Bethlehem, Pennsylvania 1-610.596.4400		1904 Main Street Lake Como, NJ 07719 T: 732.974.0198 F: 732.974.3521 www.dynamiccec.com	
TITLE: COVER SHEET			
PROJECT: STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES BLOCK 2303, LOTS 1, 2, 3, 4, 13 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY		JOB No: 2624-99-007 DATE: 07/08/2021 DRAWN BY: MFZ DESIGNED BY: LPG CHECKED BY: TJM CHECKED BY: -	
THOMAS J. MULLER		JOHN A. PALUS	
PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52179		PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975	
ALL STATES REQUIRE REGISTRATION OF GEOTECHNICAL ENGINEERS. IF ANY OTHER STATEMENT IS REQUIRED, SEE THE STATE'S OFFICE WEBSITE. IF ANY STATE FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM		SHEET No: 1 OF 20 Rev. # 1	





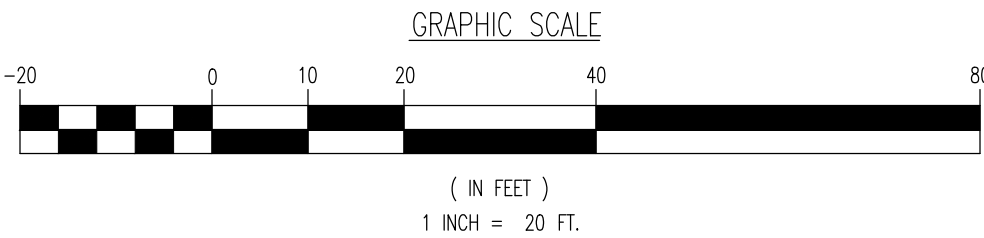
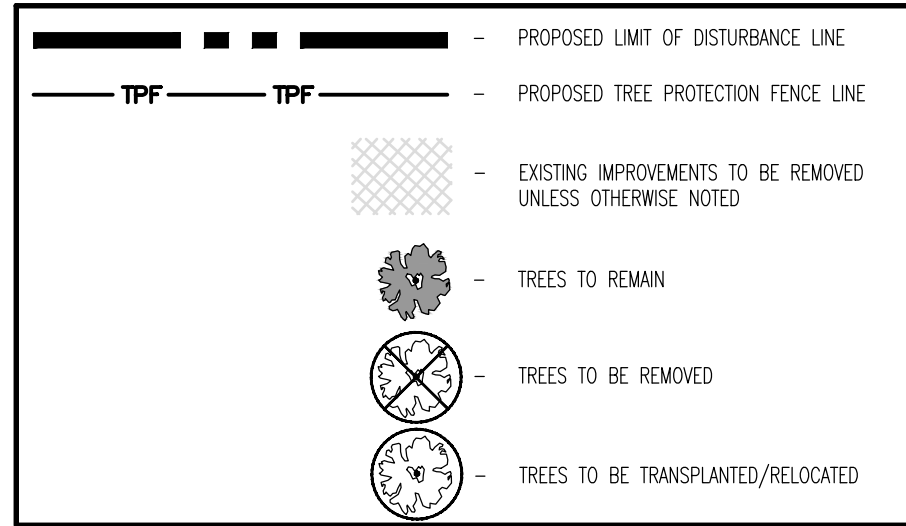
DEMOLITION NOTES

1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOSTS, DERRICKS OR OTHER SUITABLE METHODS.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAYMENT OR, BREAK BASEMENT FLOOR SLABS SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED SHALL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.

NOTES

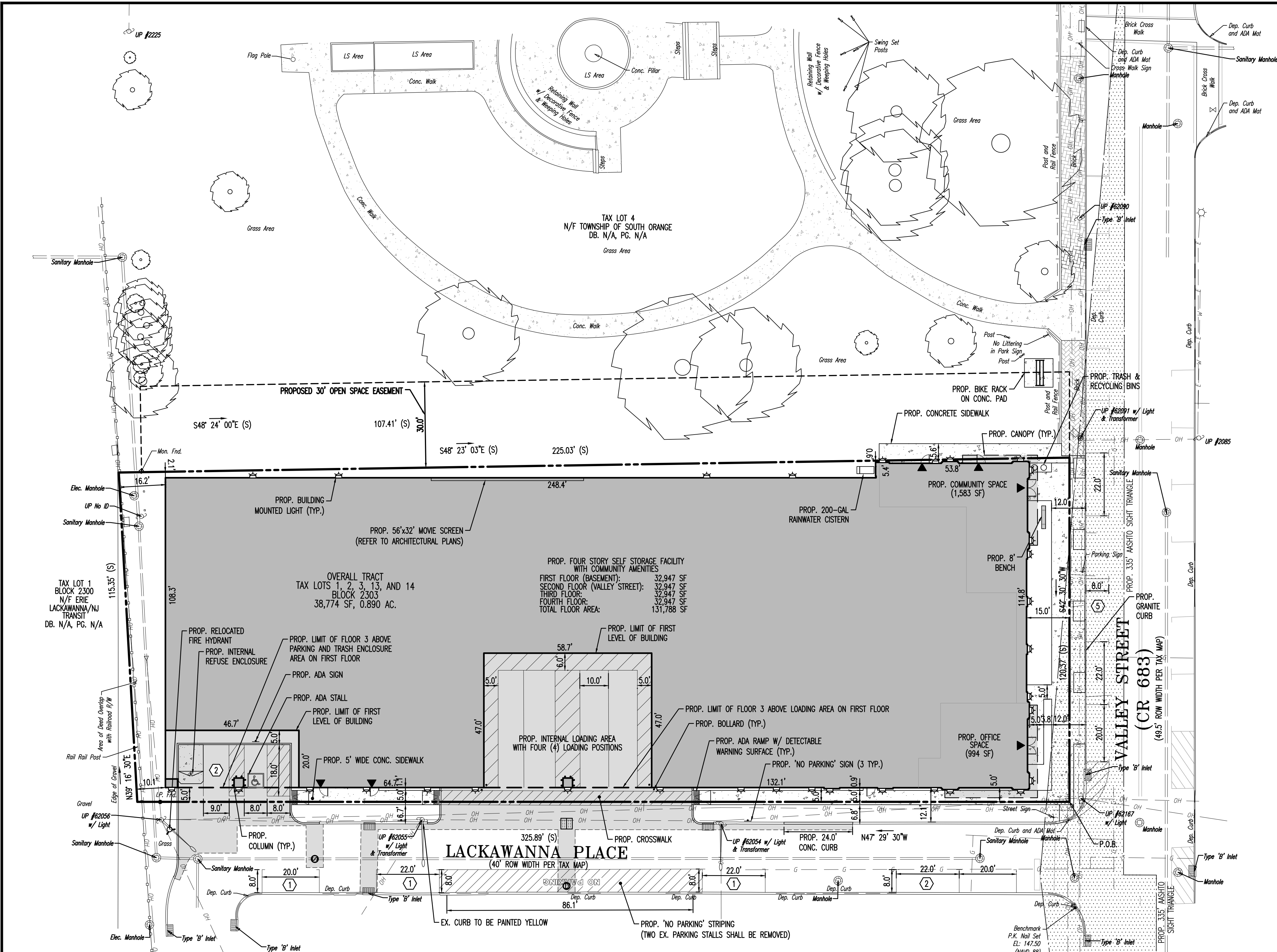
1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.

DEMOLITION PLAN LEGEND



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DYNAMIC ENGINEERING LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING Lake Como, New Jersey 1-732-974-0198 Chester, New Jersey 1-908-879-9229 Newark, New Jersey 1-973-755-7200 Toms River, New Jersey 1-732-974-0198 Allen, Texas 1-972-334-2100 Austin, Texas 1-512-444-2444 Houston, Texas 1-281-789-4400 Delray Beach, Florida 1-561-921-8570 Newtown, Pennsylvania 1-267-683-0274 Philadelphia, Pennsylvania 1-215-253-4888 Bethlehem, Pennsylvania 1-610-598-4400		1954 Main Street Lake Como, NJ 07719 T: 732.974.0198 F: 732.974.3521 www.dynamicoc.com	
TITLE: DEMOLITION PLAN			
PROJECT: STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES BLOCK 2.303, LOTS 1, 2, 3, 4, 13 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY		JOB No: 2624-99-007 DATE: 07/08/2021 DRAWN BY: GMC DESIGNED BY: LPG CHECKED BY: TJM CHECKED BY: -	
THOMAS J. MULLER PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52179		JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975	
811 PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF CONCRETE, REBAR, OR ANY OTHER PREPARING TO EXPOSE THE EARTH'S SURFACE. ADVISE 811 OR YOUR FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM		3 OF 20 Rev. # 1	



10. LOADING REQUIREMENTS
A. A MAXIMUM OF 70% OF TOTAL PARKING SPACES MAY BE OVERSIZED/LOADING SPACES WITH A MINIMUM DIMENSION OF 10' WIDE AND 30' LONG. (REDEVELOPMENT PLAN § 6.3.B.iii)
11. DRIVEWAY REQUIREMENTS
A. VEHICULAR ACCESS TO PARKING FACILITIES SHALL BE LOCATED AND DESIGNED TO MINIMIZE CONFLICTS WITH PEDESTRIAN CIRCULATION. (REDEVELOPMENT PLAN § 6.3.B.ii)
B. THE SITE MAY NOT HAVE MORE THAN TWO CURB CUTS. THERE SHALL BE NO DRIVEWAY/CURB CUTS ON VALLEY STREET. (REDEVELOPMENT PLAN § 6.3.B.iv)
12. SIDEWALK REQUIREMENTS
J. THE AREA BETWEEN THE CURB AND THE BUILDING ALONG VALLEY STREET SHALL INCLUDE, AT MINIMUM, A 12' WIDE SIDEWALK, AND A 3' WIDE PLANTING/LANDSCAPED AREA AT THE BASE OF THE BUILDING. (REDEVELOPMENT PLAN § 7.6.D.i)
K. THE AREA BETWEEN THE CURB AND THE BUILDING ALONG LACKAWANNA PLACE SHALL INCLUDE, AT MINIMUM, A 6' WIDE SIDEWALK, AND A 1' WIDE PLANTING/LANDSCAPED AREA AT THE BASE OF THE BUILDING. (REDEVELOPMENT PLAN § 7.6.D.ii)
L. AT LEAST ONE TRASH RECEPTACLE, ONE RECYCLING RECEPTACLE, AND ONE BENCH SHALL BE PROVIDED IN THE VALLEY STREET SIDEWALK AREA. (REDEVELOPMENT PLAN § 7.6.D.iii)
M. ANY STREET FURNITURE AND STREETSCAPE PROVIDED SHALL BE LOCATED SUCH THAT A MINIMUM OF 8' ON VALLEY STREET AND 5' ON LACKAWANNA PLACE OF UNOBTSTRUCTED SIDEWALK REMAINS FOR THE SAFE PASSAGE OF PEDESTRIANS. THE PALATE OF FURNITURE, FIXTURES, AND FINISHES SHOULD COMPLEMENT THE BUILDING ARCHITECTURE AND ARE HUMAN-ORIENTED. (REDEVELOPMENT PLAN § 7.6.D.iv)
N. ADA COMPLIANT TACTILE PAVERS SHALL BE USED TO DEFINE THE EDGE OF ANY SERVICE DRIVE OR DRIVEWAYS. (REDEVELOPMENT PLAN § 7.6.D.v)
13. BICYCLE PARKING REQUIREMENTS
A. A MINIMUM OF 1 BICYCLE PARKING SPACE PER 300 SF OF COMMUNITY SPACE SHALL BE PROVIDED. (REDEVELOPMENT PLAN § 6.3.B.iv)
B. THE REQUIRED BICYCLE PARKING MUST PROVIDE SPACES FOR AT LEAST 8 BICYCLES. (REDEVELOPMENT PLAN § 6.3.C.i)
C. THE REQUIRED BICYCLE PARKING MAY BE PROVIDED OFF-SITE BUT MUST BE WITHIN 200' OF THE COMMUNITY SPACE ENTRANCE. ALL REQUIRED OUTDOOR BICYCLE PARKING MUST BE CONVENIENT AND ACCESSIBLE TO A MAIN BUILDING ENTRANCE AND STREET ACCESS. (REDEVELOPMENT PLAN § 6.3.C.ii)
D. ADDITIONAL BICYCLE PARKING MAY BE REQUIRED AS PART OF THE FINAL DESIGN FOR IMPROVEMENTS TO FOUNDERS PARK INCLUDED AS AN EXHIBIT TO ANY EXECUTED REDEVELOPMENT AGREEMENT. (REDEVELOPMENT PLAN § 6.3.C.iii)
E. OUTDOOR BICYCLE PARKING SHALL BE SITED IN A HIGHLY VISIBLE LOCATION, SUCH AS WITHIN VIEW OF PASSERS-BY, RETAIL ACTIVITY, OFFICE WINDOWS, AN ATTENDANT OR OTHER PERSONNEL TO DISCOURAGE THEFT AND VANDALISM AND PROMOTE AWARENESS OF EXISTENCE AND AVAILABILITY. (REDEVELOPMENT PLAN § 6.3.C.iv)
F. OUTDOOR BICYCLE PARKING SHALL BE LOCATED 50' AS NOT TO BLOCK THE PEDESTRIAN PATH ON A SIDEWALK OR WITHIN A SITE. A MINIMUM OF 6' OF UNOBTSTRUCTED PASSAGE WHEN PARKING IS IN USE IS REQUIRED ON PUBLIC SIDEWALKS. (REDEVELOPMENT PLAN § 6.3.C.v)
G. BICYCLE RACKS MUST BE SECURELY ATTACHED TO CONCRETE FOOTINGS AND MADE TO WITHSTAND SEVERE WEATHER AND PERMANENT EXPOSURE TO THE ELEMENTS. (REDEVELOPMENT PLAN § 6.3.C.vi)
H. ALL BICYCLE RACKS SHALL BE LOCATED AT LEAST 24" IN ALL DIRECTIONS FROM A WALL, DOOR, LANDSCAPING, OR OTHER OBSTRUCTION THAT WOULD REDUCE USE OF THE RACKS DIFFICULT OR IMPRACTICAL. (REDEVELOPMENT PLAN § 6.3.C.vii)
I. SITE PLANS SHALL SHOW THE PROPOSED LOCATION OF BICYCLE PARKING/STORAGE FACILITIES ON THE SITE AND ON THE BUILDING FLOOR PLAN DESIGN. A CONSTRUCTION DETAIL OF THE BICYCLE RACK OR OTHER STORAGE FACILITIES SHALL BE PROVIDED. (REDEVELOPMENT PLAN § 6.3.C.viii)
14. FENCE REQUIREMENTS
A. THE MAXIMUM HEIGHT FOR FENCES AND WALLS, INCLUDING RETAINING WALLS, STARNWELLS, UTILITY SCREENING, TRASH ENCLOSURES, ETC SHALL BE 6 FEET. (REDEVELOPMENT PLAN § 6.3.A.i)
B. THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WARNERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WARNERS.
15. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
16. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
17. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS.
18. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
19. THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.

21. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
22. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
23. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
24. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
25. ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C., ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RECEIVING OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
26. NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C. NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION METHODS, SEQUENCES, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
27. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS. COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT DYNAMIC ENGINEERING CONSULTANTS, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF DYNAMIC ENGINEERING CONSULTANTS, P.C. IN WRITING BY THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
28. IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
29. THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.
30. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CONNECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
31. ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
32. THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.
33. CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL, PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTOR'S RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
34. CONTRACTOR IS TO BE ADVISED THAT THE ENGINEER WAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN DESIGN. AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL AND MUST BE CONFIRMED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMP AND ACCESSIBLE ROUTE MUST COMPLY WITH NAC 5.2.3-7 AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.

GENERAL NOTES

1. THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:

BOUNDARY AND TOPOGRAPHIC SURVEY
DYNAMIC SURVEY, LLC
100 MAIN STREET
LAKE COME, NJ 07719
SURVEYOR FILE NO. 3674--99-0075
DATED JANUARY 5, 2021

2. APPLICANT:

STORAGE PLATFORM, LLC
157 COLUMBUS AVENUE
NEW YORK, NY 10022

3. OWNERS:

315-317 VALLEY STREET, LLC
10 KENDALL COURT
MENDHAM, NJ 07945

315 VALLEY STREET, LLC
10 KENDALL COURT
MENDHAM, NJ 07945

MOLINARO, ANTHONY
505 655
SPRINGFIELD, NJ 07081

FULLER, DAVID J.
1 LACKAWANNA PLACE
SOUTH ORANGE, NJ 07079

TOWNSHIP OF SOUTH ORANGE VILLAGE
70 SOUTH ORANGE AVE, VILLAGE HALL
SOUTH ORANGE, NJ 07079

4. PARCEL DATA:

BLOCK 2303, LOTS 1-4, 13 & 14
256, 315, 317, 319, 317 VALLEY ST. & 1, 15 LACKAWANNA PL.
TOWNSHIP OF SOUTH ORANGE VILLAGE
ESSEX COUNTY, NEW JERSEY

5. ZONE:

LACKAWANNA + VALLEY REDEVELOPMENT AREA

6. EXISTING USE:

RESIDENTIAL DWELLING (NON-PERMITTED USE) (REDEVELOPMENT PLAN § 6.1.A)
DELICATESSEN (NON-PERMITTED USE) (REDEVELOPMENT PLAN § 6.1.A)
ANNUAL GROWING (NON-PERMITTED USE) (REDEVELOPMENT PLAN § 6.1.A)
AUTOMOBILE REPAIR FACILITY (NON-PERMITTED USE) (REDEVELOPMENT PLAN § 6.1.A)
SELF-STORAGE FACILITY (PERMITTED USE) (REDEVELOPMENT PLAN § 6.1.A)

7. PROPOSED USE:

SELF-STORAGE FACILITY (PERMITTED USE) (REDEVELOPMENT PLAN § 6.1.A)

8. SCHEDULE OF ZONING REQUIREMENTS (REDEVELOPMENT PLAN § 6.2)

ZONE REQUIREMENT	LACKAWANNA+VALLEY REDEVELOPMENT PLAN	EXISTING LOTS 1-3, 13 & 14*	PROPOSED LOTS 1-3, 13 & 14*
MINIMUM COMMUNITY SPACE (VALLEY STREET FRONTAGE) [1]	1,000 SF	N/A	1,516 SF
MAXIMUM LEASING OFFICE SPACE [2]	2,000 SF	N/A	945 SF
MINIMUM LOT AREA	38,000 SF (0.87 Ac)	38,780 SF (0.890 Ac)	38,780 SF (0.890 Ac)
MINIMUM LOT WIDTH	110 FT	120.37 FT	120.37 FT
MINIMUM LOT DEPTH	300 FT	317.89 FT	317.89 FT
MAXIMUM IMPERVIOUS COVERAGE	93%	94.7% (35,714 SF) (E)	91.7% (35,578 SF)
MAXIMUM BUILDING COVERAGE	85%	40.7% (15,798 SF)	85% (32,947 SF)
MAXIMUM FLOOR AREA RATIO	3.4	0.47 (18,080 SF)	3.4 (131,788 SF)
PRINCIPAL BUILDING			
- MINIMUM FRONT YARD SETBACK (VALLEY STREET)	15 FT [3]	5.6 FT	15 FT
- MINIMUM FRONT YARD SETBACK (LACKAWANNA PLACE)	5 FT [3]	0.0 FT (E)	5 FT
- MINIMUM SIDE YARD SETBACK (FOUNDERS PARK)	0 FT	0.7 FT	0.6 FT
- MAXIMUM SIDE YARD SETBACK (FOUNDERS PARK)	10 FT	0.7 FT	5.6 FT
- MINIMUM REAR YARD SETBACK (RAILROAD ROW)	9 FT [4]	8.0 FT	10.1 FT
- MAXIMUM BUILDING HEIGHT (VALLEY STREET FAÇADE)	36 FT [5][7][8]	< 36 FT	36.0 FT
- MAXIMUM BUILDING HEIGHT (REAR FAÇADE)	42 FT [6][7][8]	< 36 FT	44.9 FT (V)
- MAXIMUM NUMBER OF STORES	4 STORES	2 STORES	4 STORES
- MINIMUM FLOOR TO FLOOR GROUND FLOOR HEIGHT (VALLEY STREET)	11 FT	N/A	12 FT
ACCESSORY USE			
- MAXIMUM BUILDING HEIGHT	10 FT	N/A	N/A
- MINIMUM REAR YARD SETBACK (RAILROAD ROW)	3 FT	N/A	N/A
- MINIMUM SIDE YARD SETBACK (FOUNDERS PARK)	6 FT	N/A	N/A
MINIMUM GROUND-FLOOR TRANSPARENCY	60%	N/A	63.33%
MINIMUM UPPER-FLOOR TRANSPARENCY	30%	N/A	31.11%

- * LOT 4 (FOUNDERS PARK) HAS NOT BEEN INCLUDED IN THE BULK CALCULATIONS
[1] TO BE DETERMINED UPON COMPLETION OF ARCHITECTURAL DESIGN
[2] THE STOREFRONT OF THIS SPACE SHALL LIE ALONG THE FOUNDERS PARK AND VALLEY STREET FRONTAGE (REDEVELOPMENT PLAN § 6.2.A)
[3] LEASING OFFICE SPACE INCLUDING BREAK ROOMS, CLOSETS, ETC. (REDEVELOPMENT PLAN § 6.2.B)
[4] CANOPIES AND CORNICES UP TO 4 FEET EXTENSION SHALL BE EXCLUDED FROM THE SETBACK REQUIREMENTS. (REDEVELOPMENT PLAN § 6.2.ii)
[5] THE BUILDING SHALL BE SETBACK AN AVERAGE OF 12 FEET FROM THE REAR PROPERTY WITH NO POINT CLOSER THAN 9 FEET. (REDEVELOPMENT PLAN § 6.2.ii.v)
[6] MEASURED FROM THE AVERAGE GRADE AT THE PERIMETER OF THE BUILDING AT THE TWO POINTS OF THE REAR FAÇADE TO THE HIGHEST PART OF THE BUILDING AT THAT FAÇADE. (REDEVELOPMENT PLAN § 6.2.ii.v)
[7] MEASURED FROM THE AVERAGE GRADE AT THE PERIMETER OF THE BUILDING AT THE TWO POINTS OF THE REAR FAÇADE TO THE HIGHEST PART OF THE BUILDING AT THAT FAÇADE. (REDEVELOPMENT PLAN § 6.2.ii.v)
[8] NO POINT OF THE BUILDING SHALL BE MORE THAN 45 FEET FROM THE PERIMETER OF THE BUILDING TO THE HIGHEST POINT OF THE BUILDING. (REDEVELOPMENT PLAN § 6.2.ii.v)
[9] SOLAR PANELS AND SIMILAR SUSTAINABLE OR ENVIRONMENTALLY FRIENDLY MECHANICAL EQUIPMENT OR APPURTENANCES LESS THAN 10' TALL SHALL NOT BE COUNTED TO OVERALL HEIGHT. A PARAPET NO HIGHER THAN 5' TALL SHALL NOT BE INCLUDED IN THE MAXIMUM HEIGHT CALCULATION. ROOFTOP SCREENING SHALL NOT BE COUNTED TO OVERALL HEIGHT. (REDEVELOPMENT PLAN § 6.2.ii.v)
[10] SEE ARCHITECTURAL PLANS FOR CALCULATIONS
[11] NO PART OF ANY BUILDING NOR ANY STRUCTURE ATTACHED TO A BUILDING SHALL PROJECT INTO ANY REQUIRED YARD OR SETBACK AREA EXCEPT ORNAMENTAL FEATURES NOT EXTENDING TO THE FOUNDATION WALLS, BAY WINDOWS, BALCONIES, CHIMNEYS, IN ANY CASE PROJECTING NOT MORE THAN TWO FEET SHALL BE PERMITTED (§ 185-167.C.1.c)
[12] UNDER NO CIRCUMSTANCES SHALL ANY PROJECTIONS EXTEND CLOSER TO A PROPERTY LINE THAN 1/2 THE REQUIRED SETBACK DISTANCE (§ 185-167.C.2.d)

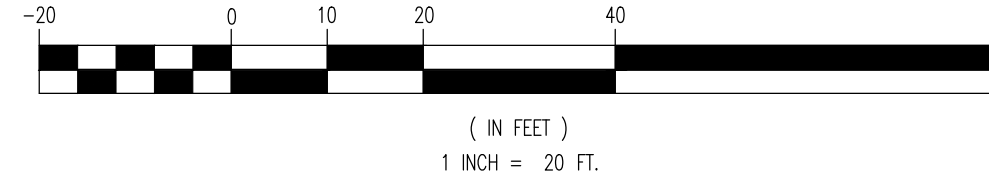
9. PARKING REQUIREMENTS
A. ALL ON-SITE PARKING AREAS SHALL MEET OR EXCEED AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS AND NJ BARRIER FREE SUBCODE. (REDEVELOPMENT PLAN § 6.3.B.i)
B. FOR SELF-STORAGE OFF-STREET PARKING, A MAXIMUM OF 70% OF TOTAL PARKING SPACES MAY BE OVERSIZED/LOADING SPACES WITH A MINIMUM DIMENSION OF 10' WIDE AND 30' LONG. (REDEVELOPMENT PLAN § 6.3.B.ii)
C. FOR SELF-STORAGE OFF-STREET PARKING, A MINIMUM OF 30% OF ALL PARKING SPACES MUST BE STANDARD PARKING SPACES WITH MINIMUM DIMENSIONS OF 9' WIDE AND 18' LONG FOR STANDARD PARKING SPACES AND 8' WIDE AND 22' LONG FOR PARALLEL PARKING SPACES. (REDEVELOPMENT PLAN § 6.3.B.iii)
D. FOR SELF-STORAGE OFF-STREET PARKING, UP TO 10% OF THE TOTAL PARKING SPACES PROVIDED MAY BE COMPACT PARKING SPACES WITH DIMENSIONS OF 8' WIDE AND 16' LONG FOR STANDARD PARKING SPACES AND 8' WIDE AND 20' LONG FOR PARALLEL PARKING SPACES. (REDEVELOPMENT PLAN § 6.3.B.iii)
E. ANY CHANGES TO ON-STREET PARKING ARE SUBJECT TO APPROVAL FROM THE BOARD OF TRUSTEES. (REDEVELOPMENT PLAN § 6.3.B.iv)
F. ALL EXISTING ON-STREET PARKING SHALL BE MAINTAINED FOR PUBLIC USE UNLESS MODIFICATIONS ARE APPROVED BY THE BOARD OF TRUSTEES. (REDEVELOPMENT PLAN § 6.3.B.vii)
G. SELF-STORAGE SHALL HAVE A MINIMUM OF 1 OFF-STREET PARKING SPACE PER 22,000 GFA (GROSS FLOOR AREA) OF BUILDING AREA (OF WHICH ONE MUST BE ADA COMPLIANT). (REDEVELOPMENT PLAN § 6.3.B.iii)
H. COMMERCIAL USES SHALL HAVE A MINIMUM OF 1 OFF-STREET PARKING SPACE PER EACH 1,000 GFA OF BUILDING AREA ABOVE 3,000 GSF OF BUILDING AREA. (REDEVELOPMENT PLAN § 6.3.B.iv)
I. OFFICES SHALL HAVE A MINIMUM OF 1 OFF-STREET PARKING SPACE PER EACH 1,000 GFA OF BUILDING AREA ABOVE 3,000 GSF OF BUILDING AREA. (REDEVELOPMENT PLAN § 6.3.B.iv)

PARKING CALCULATION:

COMMERCIAL: (0 SF)*(1 PARKING SPACE/1,000 SF OVER 3,000 GSF) = 0 SPACES
OFFICE: (0 SF)*(1 PARKING SPACE/1,000 SF OVER 3,000 GSF) = 0 SPACES
SELF-STORAGE: (129,327 SF)*(1 PARKING SPACE/22,000 SF) = 5.88 SPACES

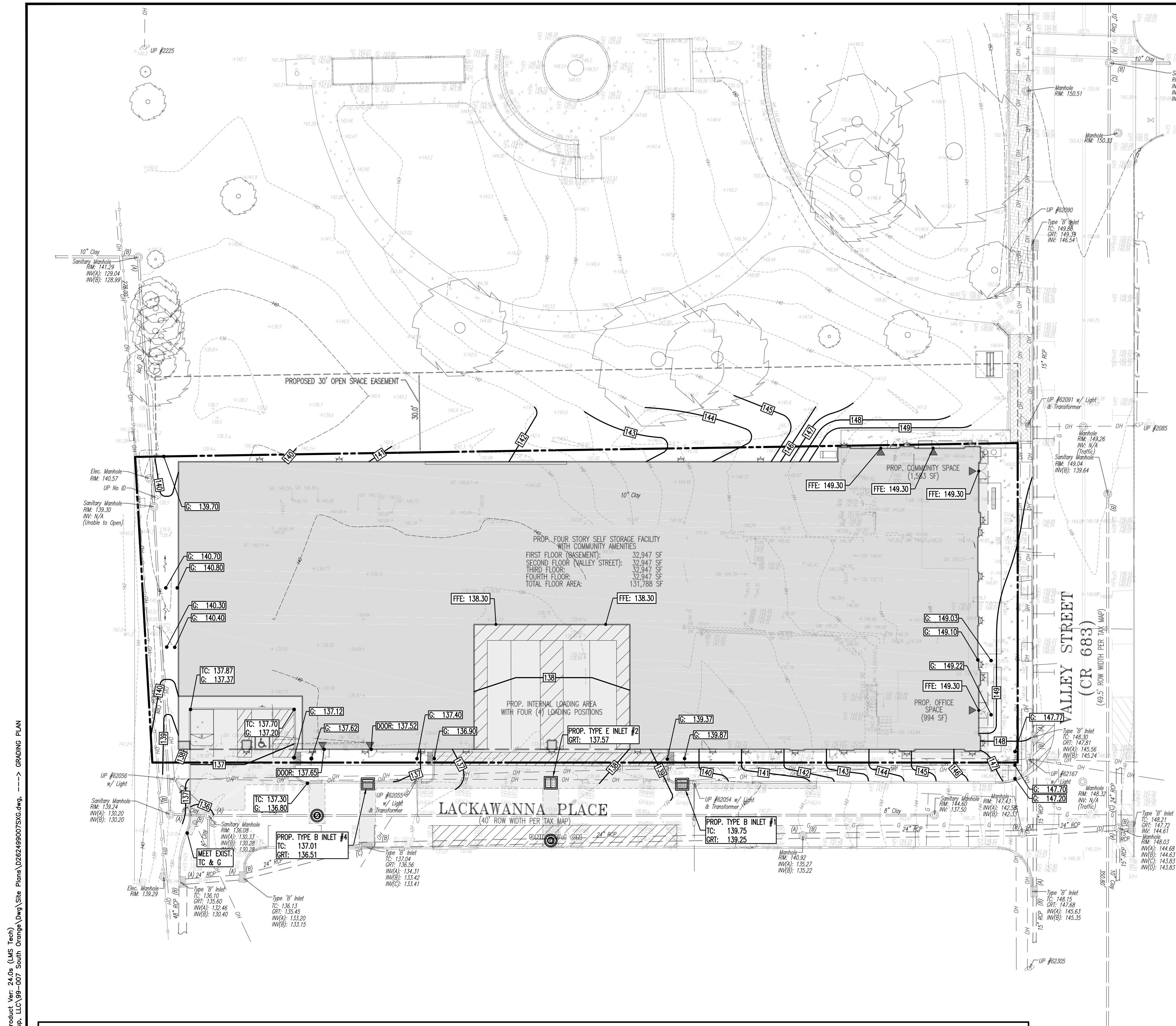
TOTAL PROPOSED = 6 SPACES (COMPLIES)

GRAPHIC SCALE



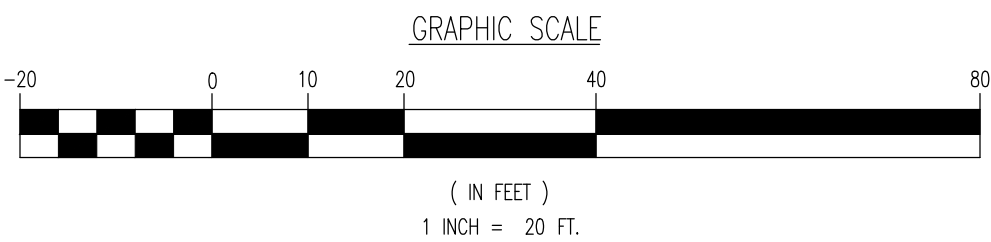
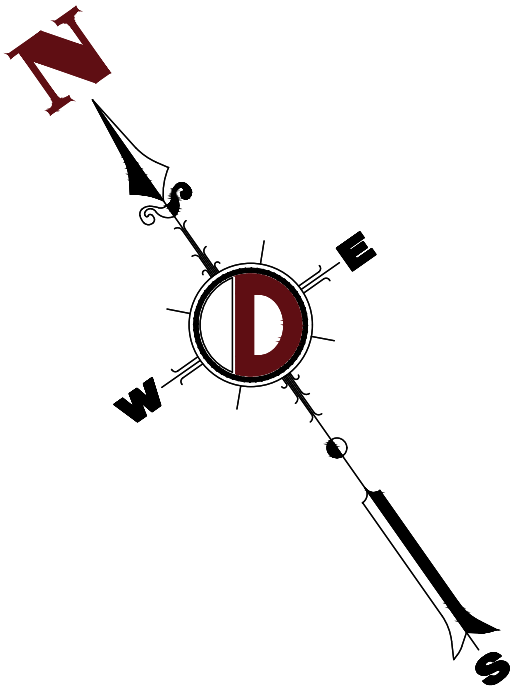
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TITLE: SITE PLAN			
PROJECT: STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY w/ COMMUNITY AMENITIES BLOCK 2303, LOTS 1, 2, 3, 4, 13 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY		JOB No: 2624--99--007 DATE: 07/08/2021 DRAWN BY: GMC DESIGNED BY: LPG CHECKED BY: TJM CHECKED BY: -	
THOMAS J. MULLER PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 52179		JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 41975	
811 PROTECT YOURSELF ALL SITES REQUIRE NOTIFICATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR OTHER DEEP WORK FOR STATE-OWNED DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM		4 OF 20 Rev. # 1	



GRADING NOTES

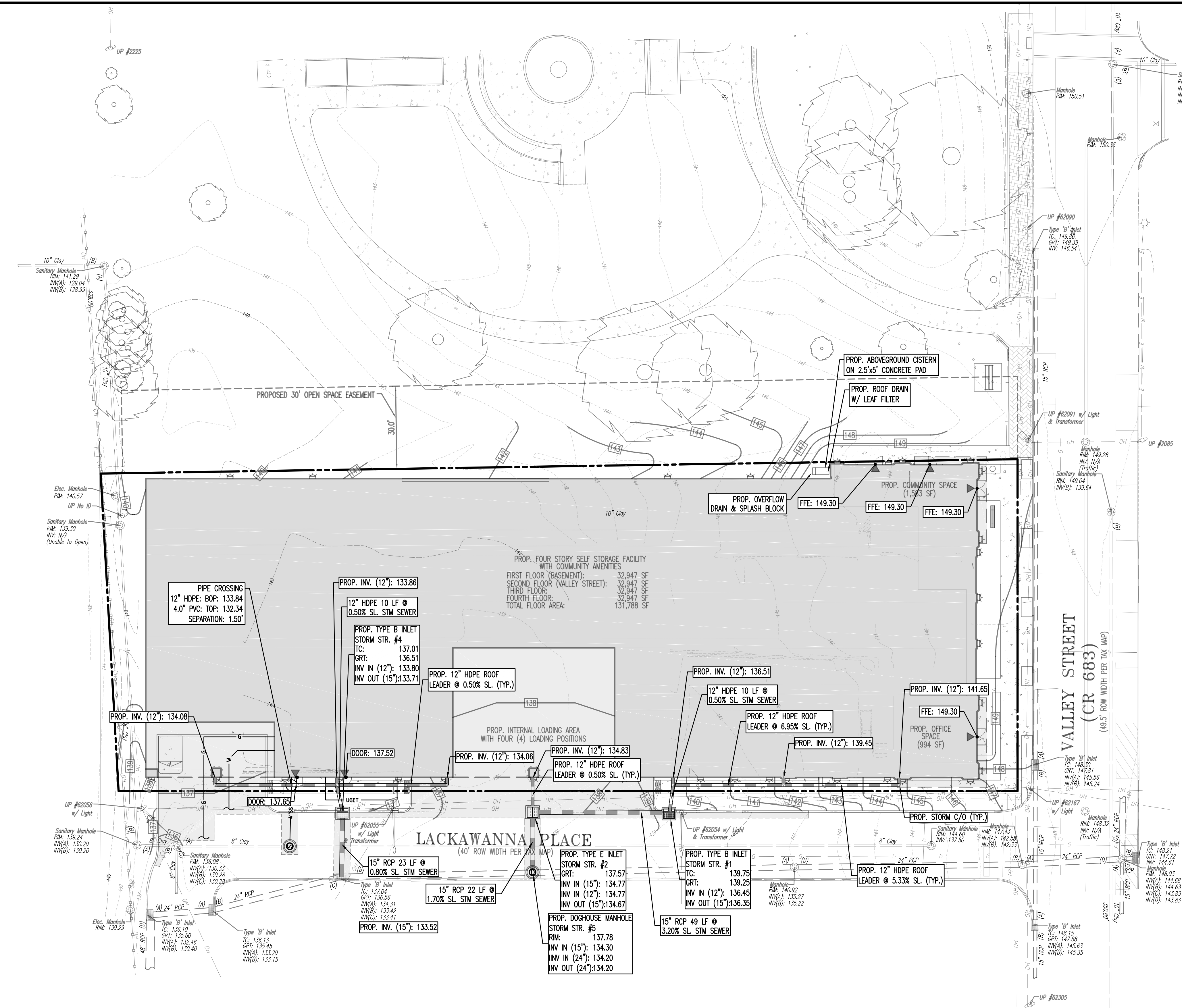
1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND GUTTERS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY EFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
4. SUBBASE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
5. REFER TO SITE PLAN FOR ADDITIONAL NOTES.
6. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
7. MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
8. CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESS AISLES. CONTRACTOR TO ENSURE A MAXIMUM OF 5% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE, WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
9. THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC (800-879-7095) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SOILS AND ANY FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
10. CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNERS GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
11. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
12. THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.



Plotted: 08/20/21 - 11:33 AM, By: cmonello, Product Ver: 24.0s (LMS Tech)
File: P:\BECPC PROJECTS\2624_Quinton Development\Group, LLC\99-007 South Orange Dwg\Site Plans\026249907SXG.dwg, ---> GRADING PLAN

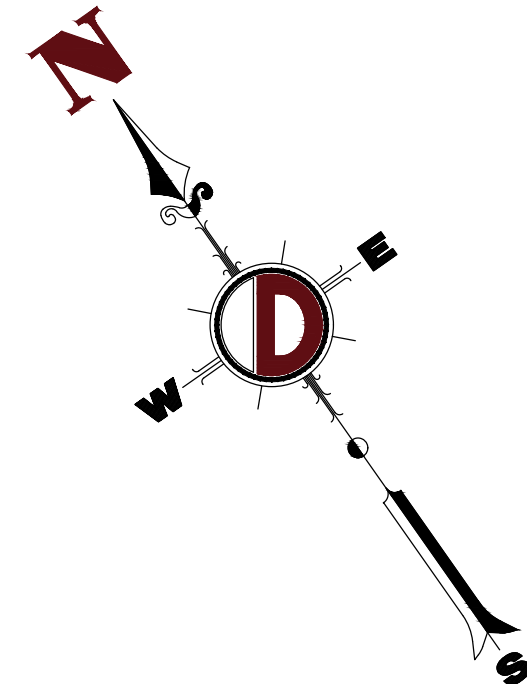
GRADING/UTILITY GRAPHIC LEGEND

	EXIST. UTILITY POLE		PROPERTY LINE (PARCEL IN QUESTION)		EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. SPOT ELEVATIONS
	EXIST. LIGHT POLE		OFF-SITE PROPERTY LINES		EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. GUTTER ELEV.
	EXIST. BUILDING LIGHT				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF CURB ELEV.
	EXIST. SHOE BOX LIGHT				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. FINISH FLOOR ELEV.
	EXIST. COBRA LIGHT POLE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. GARAGE FLOOR ELEV.
	EXIST. TRAFFIC SIGNAL POLE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. GRADE SPOT ELEV.
	EXIST. MANHOLE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. "A" INLET				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. FINISHED FLOOR ELEV.
	EXIST. "B" INLET				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. "E" INLET				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. YARD INLET				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. FLARED END SECTION				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. HEADWALL				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. UTILITY POLE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. MONITORING WELL				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	APPROX. TEST PIT LOCATION				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. FIRE HYDRANT				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. GAS VALVE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. GAS METER				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. ELECTRIC METER				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. ELECTRIC BOX				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. CLEAN OUT				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. WELL				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. WATER SHUT OFF VALVE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. TELEPHONE BOX				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. CABLE TV BOX				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. HEADWALL				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. UTILITY POLE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. MONITORING WELL				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	APPROX. TEST PIT LOCATION				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. FIRE HYDRANT				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. GAS VALVE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. GAS METER				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. ELECTRIC METER				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. ELECTRIC BOX				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. CLEAN OUT				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. WELL				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. WATER SHUT OFF VALVE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. TELEPHONE BOX				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. CABLE TV BOX				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. HEADWALL				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. UTILITY POLE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. MONITORING WELL				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	APPROX. TEST PIT LOCATION				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. FIRE HYDRANT				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. GAS VALVE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. GAS METER				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. ELECTRIC METER				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. ELECTRIC BOX				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. CLEAN OUT				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. WELL				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. WATER SHUT OFF VALVE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. TELEPHONE BOX				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. CABLE TV BOX				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. HEADWALL				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. UTILITY POLE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. MONITORING WELL				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	APPROX. TEST PIT LOCATION				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. FIRE HYDRANT				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. GAS VALVE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. GAS METER				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
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	EXIST. CLEAN OUT				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. WELL				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. WATER SHUT OFF VALVE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. TELEPHONE BOX				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. CABLE TV BOX				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. HEADWALL				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. UTILITY POLE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. MONITORING WELL				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	APPROX. TEST PIT LOCATION				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. FIRE HYDRANT				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. GAS VALVE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. GAS METER				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
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	EXIST. ELECTRIC BOX				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. CLEAN OUT				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. WELL				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. WATER SHUT OFF VALVE				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. TELEPHONE BOX				EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. CABLE TV BOX</						



DRAINAGE NOTES

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
- ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS II, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS HE-II, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES & MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C 990 TO BE UTILIZED TO PROVIDE A SILT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATERTIGHT AND CONFORM TO ASTM C-443.
- HDPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SILT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HDPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HDPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12"-30" PIPE) AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATERTIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.

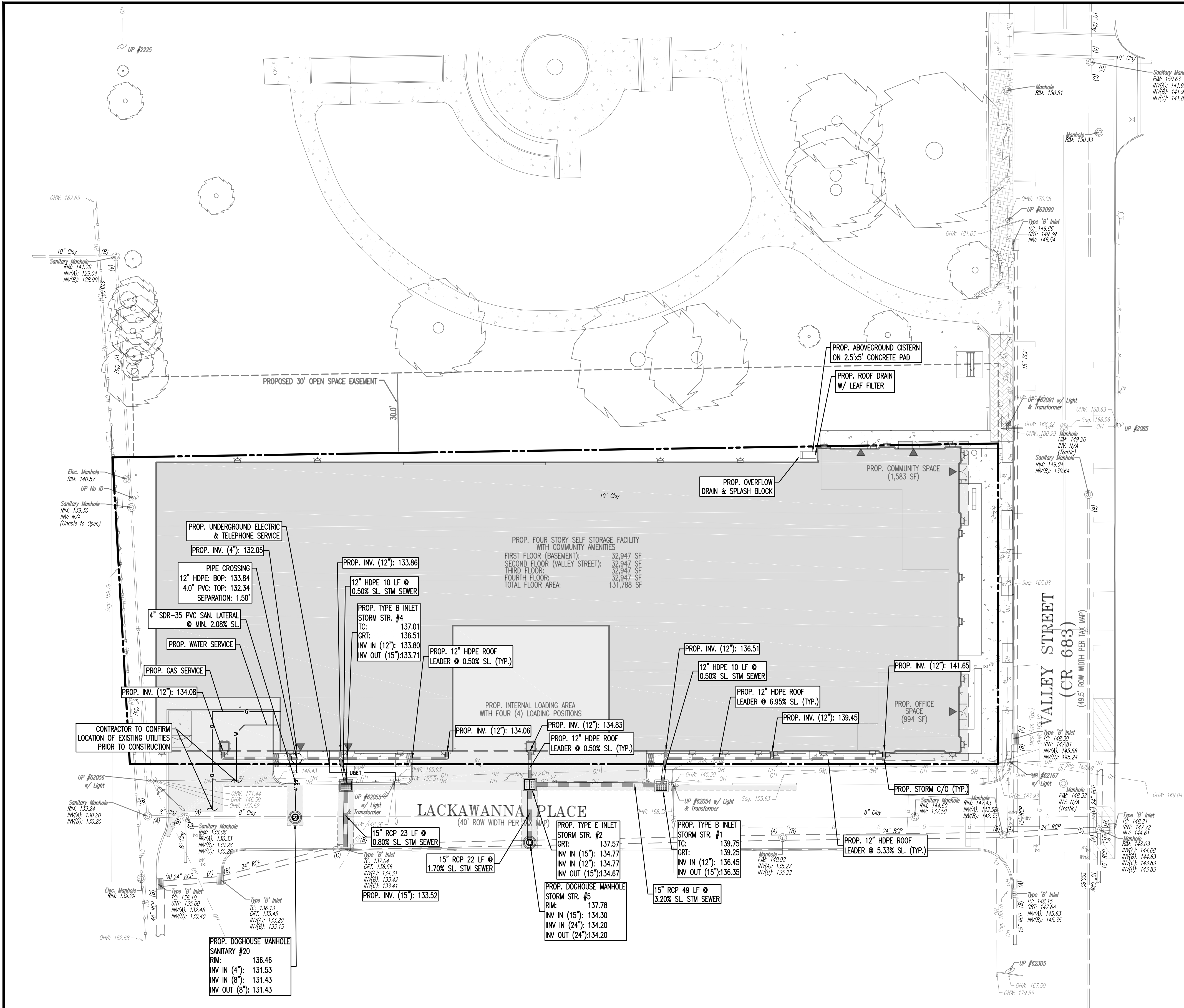


GRADING/UTILITY GRAPHIC LEGEND

		PROPERTY LINE (PARCEL IN QUESTION)					
		OFF-SITE PROPERTY LINES					

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DYNAMIC ENGINEERING LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING		1954 Main Street Lake Como, NJ 07719 T: 732.974.0198 F: 732.974.3521 www.dynamiceng.com	
TITLE: DRAINAGE PLAN			
PROJECT: STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES	JOB No: 2624-99-007	DATE: 07/08/2021	
BLOCK: 2303, LOTS 1, 2, 3, 4, 13 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY	DRAWN BY: GMC	SCALE: (H) 1"=20' (V)	
DESIGNED BY: LPQ	CHECKED BY: TJM	SHEET No: 6	
THOMAS J. MULLER		JOHN A. PALUS	
PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52179		PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975	
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: 811 PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF EXISTING UTILITIES, OR ANY OTHER PREPARING TO EXPOSE THE EARTH'S SURFACE UTILITIES. IN NEW JERSEY, CALL 811.		Rev. # 1	



UTILITY NOTES

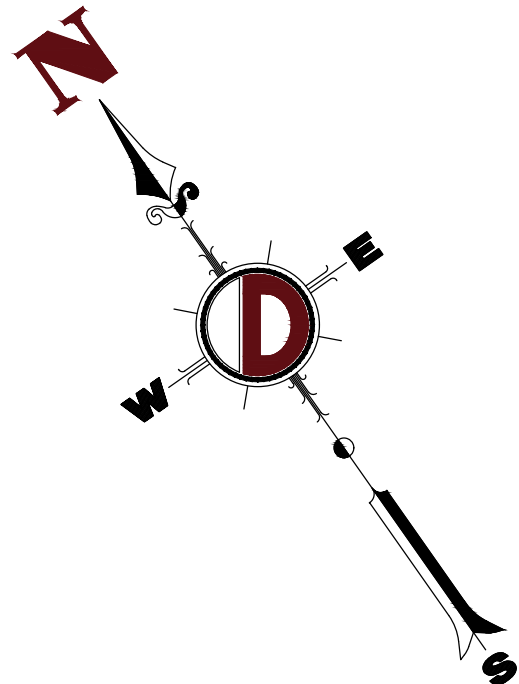
1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
3. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
4. WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
5. ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
6. THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
7. SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN. ALL SEWER MAINS SHALL BE SDR-35 PVC PIPE UNLESS OTHERWISE DESIGNATED.
8. ALL SEWER PIPE INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER COAT, OR APPROVED EQUAL.
9. WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN, STRUCTURES AND APPURTENANCES DURING CONNECTION.
11. LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
12. ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
13. ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.

EXISTING UTILITY NOTES

EXISTING WATER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

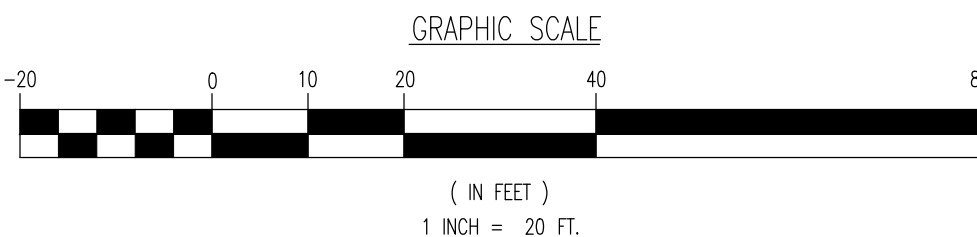
EXISTING GAS SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

SANITARY SEWER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.



GRADING/UTILITY GRAPHIC LEGEND

	EXIST. GUY WIRE		EXIST. MONITORING WELL		PROPERTY LINE (PARCEL IN QUESTION)
	EXIST. LIGHT POLE		APPROX. TEST PIT LOCATION		OFF-SITE PROPERTY LINES
	EXIST. BUILDING LIGHT		EXIST. FIRE HYDRANT		EXIST. CABLE LINE
	EXIST. SHADE BOX LIGHT		EXIST. WATER VALVE		EXIST. ELECTRIC LINE
	EXIST. COBRA LIGHT POLE		EXIST. GAS VALVE		EXIST. ELECTRIC LINE
	EXIST. TRAFFIC SIGNAL POLE		EXIST. GAS METER		EXIST. FIBER OPTIC LINE
	EXIST. MANHOLE		EXIST. ELECTRIC METER		EXIST. GAS LINE
	EXIST. 1/2" INLET		EXIST. ELECTRIC BOX		EXIST. OVERHEAD WIRES
	EXIST. 3/4" INLET		EXIST. CLEAN OUT		EXIST. TELEPHONE LINE
	EXIST. YARD INLET		EXIST. WATER SHUT OFF VALVE		EXIST. WATER LINE
	EXIST. FLARED END SECTION		EXIST. CABLE TV BOX		EXIST. WATER LINE
	EXIST. HEADWALL		EXIST. CABLE TV BOX		EXIST. WATER LINE
	EXIST. UTILITY POLE		EXIST. CABLE TV BOX		EXIST. WATER LINE



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DYNAMIC ENGINEERING LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING Lake Como, New Jersey 1-732.974.0198 Chester, New Jersey 1-800.879.9229 Newark, New Jersey 1-973.755.7200 Toms River, New Jersey 1-732.974.0198 Allen, Texas 1-972.534.2100 Austin, Texas 1-321.244.2444 Houston, Texas 1-281.789.4400 Daytona Beach, Florida 1-386.921.8570 Newtown, Pennsylvania 1-267.683.0274 Philadelphia, Pennsylvania 1-215.253.4488 Bethlehem, Pennsylvania 1-610.598.4400 www.dynamicoc.com		1904 Main Street Lake Como, NJ 07719 T: 732.974.0198 F: 732.974.3521 www.dynamicoc.com	
TITLE: UTILITY PLAN			
PROJECT: STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES BLOCK 2303, LOTS 1, 2, 3, 4, 13 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY		JOB No: 2624-99-007 DRAWN BY: GMC DESIGNED BY: LPG CHECKED BY: TJM DATE: 07/08/2021 SCALE: (H) 1"=20' (V) SHEET No: 7 OF 20	
THOMAS J. MULLER PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52179		JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975	
811 PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF CONCRETE, STEEL, OR ANY OTHER PREPARED TO: ENTER THE STATE'S FOR STATE-SPECIFIC DIALER PHONE NUMBERS VISIT: WWW.CALL811.COM			

[illegible]

ACER RUBRUM
BETULA VARIETIES
CARPINUS VARIETIES
CRATAEGUS VARIETIES
KOELREUTERIA
LIQUIDAMBAR STYRACIFLUA
LIRIODENDRON TULPIFERA
POPULUS VARIETIES
PRUNUS VARIETIES
PYRUS VARIETIES
QUERCUS VARIETIES
SALIX WEEPING VARIETIES
TILIA TOMENTOSA
ZELKOVA VARIETIES

PLANTING SPECIFICATIONS

5. **SOIL WORK:** THIS SHALL CONSIST OF FERTILIZING, CLEANSING AND SOIL PREPARATION, FINISH GRADING, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.

6. **MATERIALS:**

- A. ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY DESIGN AND BRIDGE CONSTRUCTION (LATEST EDITION) OR APPROVED EQUAL.
- B. PLANTS - ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWING, WELL ROOTED, FREE FROM DISEASE AND INSESTS.
- C. MULCH - MULCH SET SHALL BE AN ORGANIC COMPOST LESS THAN 1/4" IN PH RANGE BETWEEN 4.5 - 6.0, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2") WOOD, ROCKS, VEGETABLE MATTER AND CLAY CLODS.
- D. MULCH - 1/4" INCHES DEEP SHREDDED HARDWOOD BARK MULCH.

7. **FERTILIZER AND SOIL CONDITIONER:** PLANTED AREAS

- A. ORGANIC FERTILIZER - SHALL BE PROVIDED SEEDER SOLUS WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO NITROFUMUS.
- B. ORGANIC SOIL CONDITIONER - SHALL BE PROVIDED SEEDER SOLUS WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO NITROFUMUS.
- C. WATER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY OR HUMAN WASTE, GUARANTEED ANALYSIS (5-1-3) NITROGEN 5%.
- D. MULCH - 1/4" INCHES DEEP SHREDDED HARDWOOD BARK MULCH.

8. **GENERAL WORK PROCEDURES:**

- A. LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE, CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN ALL PORTIONS OF THE PROJECT.
- B. ALL PLANTS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEPT CLEAN AT THE END OF EACH DAYS WORK.
- C. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF.

9. **WEEDING:**

- A. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE TENDERS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.

10. **TOPSOILING:**

- A. CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO A DEPTH OF 4" USING A TOPSOIL SPREADER. TOPSOIL SHALL BE LEFT IN A CLEAN STATE AT THE END OF EACH DAYS WORK.
- B. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS, ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GRADING MEDIUM.

11. **SOIL CONDITIONING:**

- A. CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
- B. CULTIVATE EVERYWHERE IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.:
10 POUNDS, GRD-POWER
10 POUNDS KUNDA GRIFFIN
20 POUNDS NITROFUM (GROSS) 38-0-10 BLUE CHIP

12. **SOIL MODIFICATIONS:**

- A. CONTRACTOR TO ADD ORGANIC MATTER TO THE TOP 6" TO 12" OF ALL PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS.
- B. USE COMPOSTED BARK, RECYCLED YARD WASTE OR POT TO IN. MOST PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. ADD MATERIAL WITH A pH HIGHER THAN 7.5.
- C. MOISTEN HEAVY CLAY OR MOIST CLAY WITH WATER TO 1/2" BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS AVAILABLE TO BRING THE SAND CONTENT TO MORE THAN FINE OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLACING ON 1/2" OF SAND OR COBS AND 1/2" OF SAND.
- D. MOISTEN EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR GRD, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

13. **PLANTING:**

- A. PLANT TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
- B. PLANT TREES AND SHRUBS WITH 1/2" JAWED ROOT BALLS, WITH THE WIDTH TWO TIMES THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
1 PART TOPSOIL MANURE BY VOLUME
2 PARTS COMPOST BY VOLUME
3 PARTS AGRI-PLANT PLANTING TABLETS AS FOLLOWS:
1 TABLET PER 1 GAL. PLANT
3 TABLETS PER 15 GAL. PLANT
4 TABLETS PER 15 GAL. PLANT
LARGER PLANTS (2" TO 24" INCHES) PER 1/2" GAL. OF TRUNK CALIPER

14. **PREPARED SOIL SHALL BE TAMPED FIRM AT BOTTOM OF PIT, FILL PREPARED TO REQUIRED BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY.**

15. **PREPARED SOIL SHALL BE TAMPED FIRM AT BOTTOM OF PIT, FILL PREPARED TO REQUIRED BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY.**

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51. **PREPARED SOIL SHALL BE TAMPED FIRM AT BOTTOM OF PIT, FILL PREPARED TO REQUIRED BALL OF PLANT 1/2 WAY, AND INSERT**

A. A LICENSED LANDSCAPE ARCHITECT SHALL PREPARE STREETScape SUBMISSIONS TO THE PLANNING BOARD. MEMBERS SHOULD INCLUDE CONSIDERATIONS FOR SUSTAINABILITY, ACCESSIBILITY, PLACEMENT, SAFETY AND APPROPRIATE. (REDEVELOPMENT PLAN § 7.6.E.1)

B. PLANTING SPECIFICATIONS SHALL BE MODIFIED TO ACCOMMODATE HAZARDOUS AND/OR BIOSHAZES IN TREE PITS ARE ENCOURAGED. (REDEVELOPMENT PLAN § 7.6.E.1)

C. STREET RESISTANT STREET SHADE TREES ARE TO BE PLANTED ALONG BOTH VULCAN STREET AND LACKAWANNA PLACE, AT REGULAR INTERVALS OF 25' ON CENTER. (REDEVELOPMENT PLAN § 7.6.E.1)

D. TREES SHALL BE MINIMUM 3.5" CALIPER MEASURED AT 8" ABOVE THE GRADE. (REDEVELOPMENT PLAN § 7.6.E.1)

E. TREE PROTECTION BARRIERS MUST BE INSTALLED AND MAINTAINED FOR AT LEAST 6 MONTHS AFTER PLANTING. (REDEVELOPMENT PLAN § 7.6.E.1)

F. TREE GROUPING OR CLUSTERING IS ENCOURAGED. (REDEVELOPMENT PLAN § 7.6.E.1)

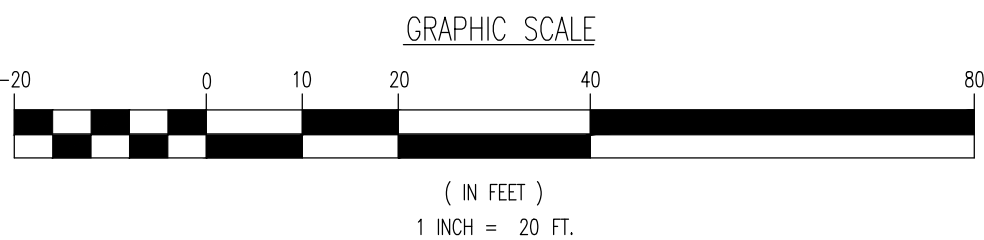
G. CONFLICTS WITH UTILITIES, OR OTHER CONTEXTUAL CHALLENGES MAY REPLACE THE REQUIREMENT TO PROVIDE STREET TREES WITH AN ALTERNATIVE PLANTING OR STREETScape DESIGN. (REDEVELOPMENT PLAN § 7.6.E.1)

H. PLANTING OF TREES AND SHRUBS IN THE PUBLIC RIGHT-OF-WAY AND GROUND COVER SHOULD BE PLANNED TO CREATE A CONTINUOUS ROW OF FOUNDATION LANDSCAPE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE PLANNING BOARD. THE UTILIZATION OF DOWNSPOUT PLANTERS IS ENCOURAGED. (REDEVELOPMENT PLAN § 7.6.E.1)

I. COORDINATE PLANT SCHEME AND STREETScape ELEMENTS TO UTILIZE SIMILAR NEIGHBORHOOD PLANTINGS; VISUAL CUES, AND SIDEWALKS TO CREATE A UNIFORM AND ATTRACTIVE PUBLIC REALM. (REDEVELOPMENT PLAN § 7.6.E.1)

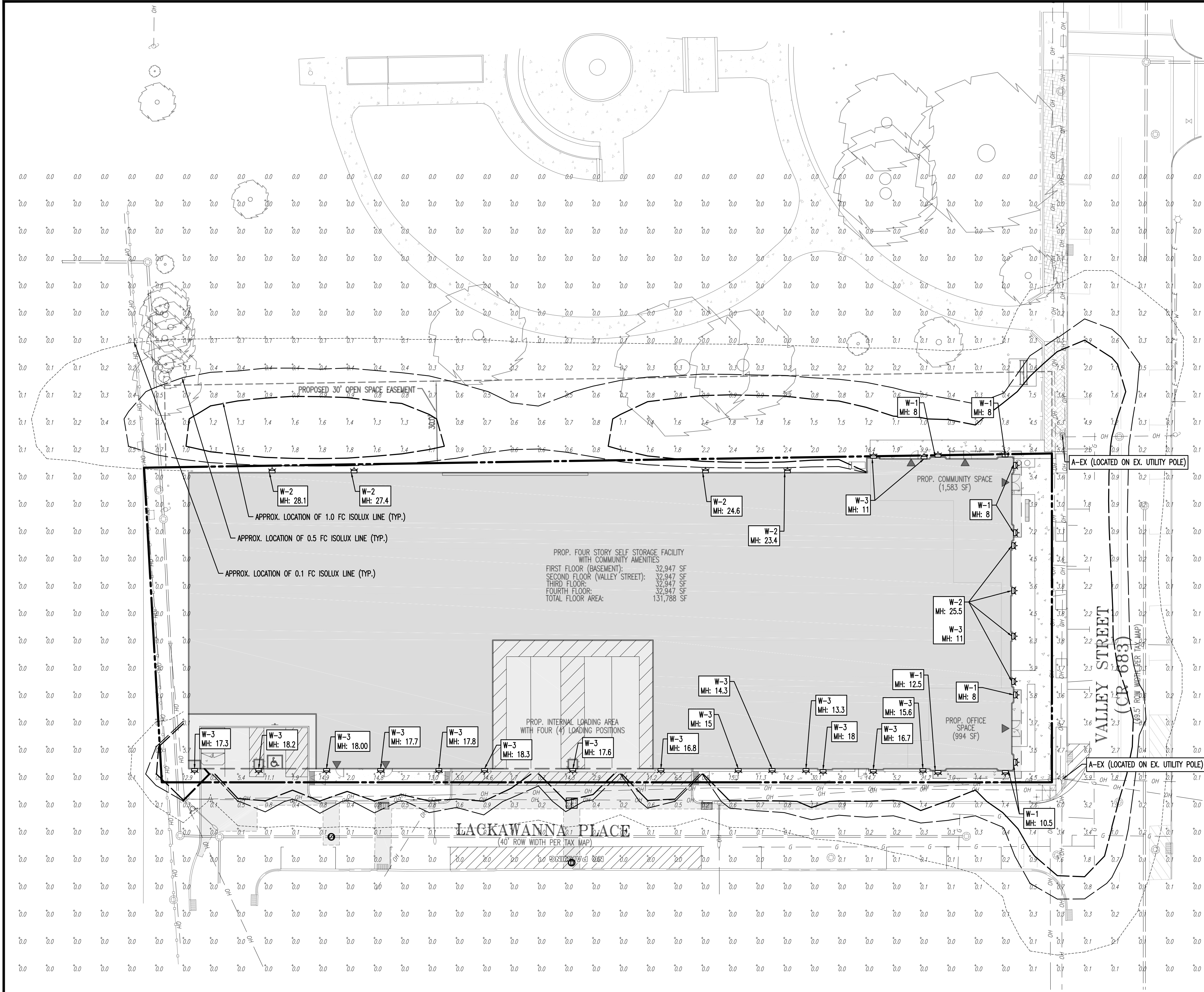
J. PLANT SPECIES AND SPECIES ARE ENCOURAGED TO THE GREATEST EXTENT PRACTICABLE. (REDEVELOPMENT PLAN § 7.6.E.1)

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.



PROJECT:	STORAGE PLATFORM, LLC		JOB NO:	2624-99-007		DATE:	07/08/2021	
	PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES							
	BLOCK 2303, LOTS 1, 2, 3, 4, & 4		DRAWN BY:	GMC		SCALE:	1"=20' (V)	
	256, 311, 313, 315, 317 VALLEY STREET (CR B63) & 1, 15 LACKAWANNA PLACE							
	TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY		DESIGNED BY:	LPG		SHEET No:		
THOMAS J. MULLER	JOHN A. PALUS		CHECKED BY:	TJM		8	OF 20	
PROFESSIONAL ENGINEER		PROFESSIONAL ENGINEER						
NEW JERSEY LICENSE NO. 52179		NEW JERSEY LICENSE NO. 41975						
		FOR STATE SPECIFIC DIGGING PHONE NUMBERS VISIT: WWW.CALL811.COM				Rev. # 1		

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File: P:\BECPC PROJECTS\2624_Quilian Development Group, LLC\99-007 South Orange Dwg\Site Plans\2624990751.dwg, ----> LIGHTING PLAN



GENERAL NOTES

- THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
- CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUIDELINE POSTS.
- ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
- REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING DIAGRAM.

LIGHTING REQUIREMENTS

- LIGHTS ARE TO BE PROVIDED AT A MINIMUM OF 60' INTERVALS ALONG ALL PUBLIC STREETS AND NEAR BICYCLE AND PEDESTRIAN FACILITIES ACCESSIBLE TO THE PUBLIC AND SHOULD BE NO TALLER THAN 20' MEASURED FROM AVERAGE GRADE. MINOR DEVIATIONS OF MOUNTING HEIGHT TO ACCOMMODATE GRADE CHANGE MAY BE REQUESTED AND APPROVED BY THE BOARD. (REDEVELOPMENT PLAN § 7.5.A)
- LIGHTS ARE TO BE FULLY ENCLOSED/SHIELDED, FULL CUT OFF FIXTURES TO PREVENT LIGHT SPILLAGE ONTO OFF-SITE PROPERTIES OR UPWARD INTO THE SKY. LIGHTING IS TO BE LED LAMPS PROVIDING "WARM-WHITE" LIGHT (CCT<3,500 K OR S/P RATIO <1.2) AND NOT LESS THAN ONE-HALF HORIZONTAL FOOT-CANDLE AVERAGE LIGHTING LEVEL AT THE SURFACE. (REDEVELOPMENT PLAN § 7.5.B)
- ANY PATHWAYS SHALL BE LIT FOR PEDESTRIANS AT A MINIMUM FOOTCANDLE LEVEL OF 2 FC. (REDEVELOPMENT PLAN § 7.5.C) (N)
- ALL LIGHTING SHALL BE DIRECTED AWAY FROM ALL ADJACENT LOTS, WITH THE EXCEPTIONS OF BUILDING MOUNTED FIXTURES THAT SERVICE THE FOUNDERS PARK. (REDEVELOPMENT PLAN § 7.5.D)
- ALL LIGHTS NOT REQUIRED FOR SAFETY AND SECURITY SHOULD BE OFF BETWEEN THE HOURS OF 11:00 PM AND 5:00 AM. ALL LIGHTS ARE TO BE DIMMABLE AND CAPABLE OF CONTROL BY TIMER. (REDEVELOPMENT PLAN § 7.5.E)
- DEVELOPER SHALL PROPOSE A PALETTE OF FIXTURES AND FINISHES FOR LIGHTING THAT COMPLEMENT THE BUILDING ARCHITECTURE. "COBRAY" TYPE LIGHT FIXTURES SHALL BE PROHIBITED. (REDEVELOPMENT PLAN § 7.5.F)
- LIGHTING AT CROSSEWALKS SHOULD BE MAXIMIZED USING BEST PRACTICES. (REDEVELOPMENT PLAN § 7.5.G)
- SPILLOVER GREATER THAN 2 FC INTO THE CARTRAY REQUIRES APPROVAL FROM THE BOARD ENGINEER. (REDEVELOPMENT PLAN § 7.5.H)

LIGHTING LUMINAIRE SCHEDULE							
SYMBOL	QUANTITY	LABEL	MOUNTING HEIGHT*	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	IES FILE
W-1	8	W-1	VARIES	SINGLE	1.000	KICHLER LIGHTING	LED8ULBS_E27_A25
W-2	8	W-2	VARIES	SINGLE	1.000	ARCHITECTURAL AREA LIGHTING	UCM2-ANG-36L-260-357-2
W-3	20	W-3	VARIES	SINGLE	1.000	B-K LIGHTING	MA-LED-X45-X45-FL-12-C
A-EX	2	A-EX	12 FT	SINGLE	1.000	PHILIPS LEDCINE	VX092643NNNA3N3

ISO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 0.1 FC.

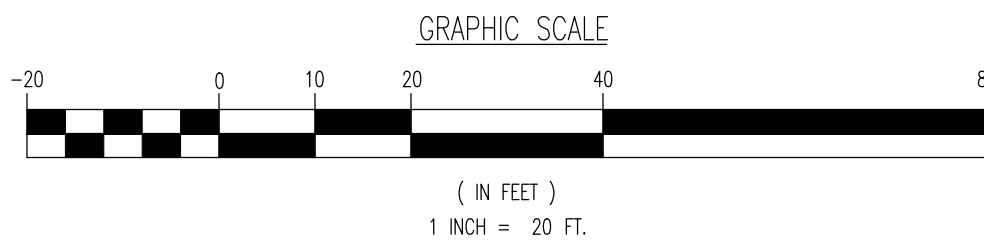
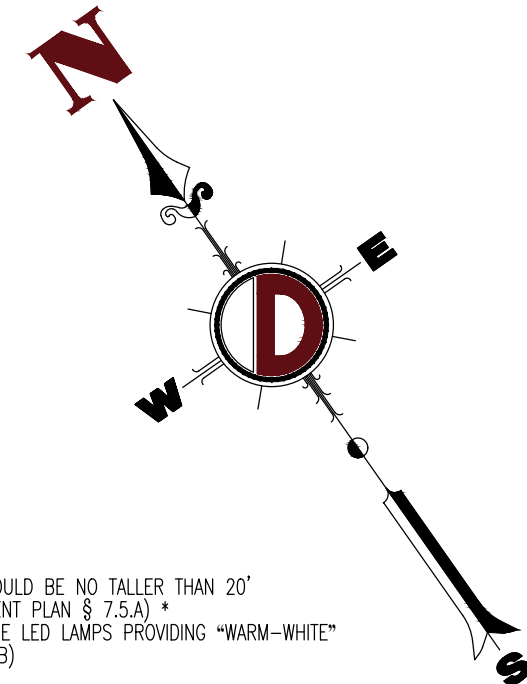
(FM) - FLUSH MOUNT FOUNDATION (PED) - PEDESTAL FOUNDATION

THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

STATISTICAL AREA SUMMARY						
LABEL	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.	DESCRIPTION
SIDEWALK AREA	6.70	30.1	0.2	33.50	150.50	CALCULATION WITHIN SIDEWALK AREAS

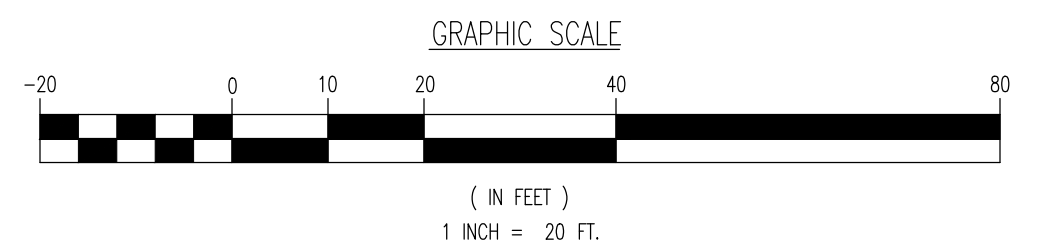
* MOUNTING HEIGHTS VARY TO ACCOMMODATE THE GRADE CHANGE BETWEEN THE VALLEY STREET FRONTAGE AND THE REAR OF THE SITE

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DYNAMIC ENGINEERING LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING Lake Como, New Jersey 1-732.974.0198 Chester, New Jersey 1-908.879.9229 Newark, New Jersey 1-973.755.7200 Toms River, New Jersey 1-732.974.0198 Allen, Texas 1-972.324.2100 Austin, Texas 1-817.244.2444 Houston, Texas 1-281.789.4400 Delray Beach, Florida 1-561.921.8570 Newtown, Pennsylvania 1-267.683.0276 Philadelphia, Pennsylvania 1-215.253.4888 Bethlehem, Pennsylvania 1-610.596.4400		1954 Main Street Lake Como, NJ 07719 T: 732.974.0198 F: 732.974.3521 www.dynamicoc.com	
TITLE: LIGHTING PLAN			
PROJECT: STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY w/ COMMUNITY AMENITIES BLOCK 2303, LOTS 1, 2, 3, 4, 13 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY		JOB No: 2624-99-007 DATE: 07/08/2021 DRAWN BY: GMC DESIGNED BY: LPG CHECKED BY: TJM CHECKED BY: -	
THOMAS J. MULLER PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52179		JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975	
811 PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF UNDERGROUND UTILITIES BEFORE ANY DIGGING PREPARED TO: OBTAIN THE STATE'S SERVICE NUMBERS. 811-811-811 FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM		9 OF 20 Rev. # 1	



Product Ver: 24.0a (LMS Tech)
Group: LMS Tech
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Site: P:\CEPC PROJECTS\2624_Soil Erosion and Sediment Control Plan Details

STANDARD FOR STABILIZATION WITH MULCH ONLY

- SITE PREPARATION
 - A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
 - B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
- PROTECTIVE MATERIALS
 - A. UNROTTED SMALL-GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE, IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A LIQUID ANCHORING TOOL, LIQUID BINDERS, OR NETTING. THE DOWN OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE GROUND COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOIL CANNOT BE SEEN BELOW THE MULCH.
 - B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
 - D. MULCH NETTINGS, SUCH AS PAPER JUTE, EXCELLOS, COTTON, OR PLASTIC, MAY BE USED.
 - E. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.
 - F. GRAVEL, CRUSHED STONE, OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SEED 2 OR 3 (ASTM C-33) IS RECOMMENDED.
- MULCH ANCHORING – SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS IN ACCORDANCE WITH THE STATE STANDARDS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES:
 - A. PEG AND TWINE
 - B. MULCH NETTINGS
 - C. CRAMPER MULCH ANCHORING COULTER TOOL
 - D. LIQUID MULCH-BINDERS

STANDARD FOR PERMANENT STABILIZATION WITH SOD

METHODS AND MATERIALS

- CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD. SPECIFY "CERTIFIED SOD," OR OTHER HIGH QUALITY CULTIVATED SOD.
 - SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEPY GRASSES.
 - SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 5/8" INCH, PLUS OR MINUS 1/4" INCH, AT TIME OF CUTTING. (EXCLUDES TOP GROWTH.)
 - SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 10 PERCENT OF THE STRIP. BROKEN PADS OR TORN AND UNDEEN ENDS WILL NOT BE ACCEPTABLE.
 - FOR DRAUGHT SITES, A SOD OF KENTUCKY 31 TALL FESCUE AND BLUEGRASS IS PREFERRED OVER A STRAIGHT BLUEGRASS SOD.
 - ONLY MOIST, FRESH, UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS.
- SITE PREPARATION**
 - A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR LIMING, FERTILIZING, AND SOIL PREPARATION. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING, PAGE 4.11.
 - B. INSTALL NEEDED EROSION CONTROL PRACTICES AND FACILITIES, SUCH AS INTERCEPTOR DITCHES, DIKES AND TERRACES, EROSION STOPS, AND DE-SILTING BASINS. SEE STANDARDS 42 THROUGH 4.16.
 - SOIL PREPARATION**
 - A. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS SUCH AS THOSE OFFERED BY RUTGERS UNIVERSITY SOIL TESTING LABORATORY. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL COOPERATIVE EXTENSION SERVICE OFFICE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN AND INCORPORATED INTO THE SURFACE 4". IN ADDITION, 300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF TOP-DRESSING. APPLY LIMESTONE AS FOLLOWS:

SOIL TEXTURE	TONS/ACRE	LBS/1000 SQ. FT
CLAY, CLAY LOAM, AND HIGH ORGANIC SOIL	2	135
SANDY LOAM, LOAM, SILT LOAM	1	67
LOAMY SAND, SAND	1	45
 - B. WORK LINE AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL, TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR, CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED.
 - C. REMOVE FROM THE SURFACE ALL OBJECTS THAT WOULD PREVENT GOOD SOIL TO SOIL CONTACT AND REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
 - D. INSPECT SITE JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.
 - SOD PLACEMENT**
 - A. SOD STRIPS SHOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP. ON STEEP SLOPES, THE USE OF LOADERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOD. DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOD IMMEDIATELY PRIOR TO LAYING THE SOD.
 - B. PLACE SOD STRIPS WITH SNUG, EVEN JOINTS THAT ARE STAGGERED, OPEN SPACES WHITE EROSION.
 - C. ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOLID CONTACT OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAP SOD. ALL JOINTS SHOULD BE BUTTED TIGHTLY WHICH WOULD CAUSE DRIPPING OF THE ROOTS.
 - D. ON SLOPES GREATER THAN 3 TO 1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES, OR SPLIT SHINGLES (8 TO 10 INCHES LONG BY 3/4" INCH WIDE).
 - E. SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE, BUT A CAPPING STRIP OF HEAVY JUTE OR PLASTIC NETTING, PROPERLY SECURED, ALONG THE CROWN OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD. THE SAME TECHNIQUE CAN BE USED TO ANCHOR SOD IN WATER CARRYING CHANNELS AND OTHER CRITICAL AREAS. WIRE STAPLES MUST BE USED TO ANCHOR NETTING IN CHANNEL WORK.
 - F. IMMEDIATELY FOLLOWING INSTALLATION, SOD SHOULD BE WATERED UNTIL MOISTURE PENETRATES THE SOIL LAYER BENEATH SOD TO A DEPTH OF 4 INCHES. MAINTAIN OPTIMUM MOISTURE FOR AT LEAST TWO WEEKS.
 - TOP-DRESSING**
 - IF SLOW RELEASE NITROGEN IS USED IN ADDITION TO SUGGESTED FERTILIZER, THEN A FOLLOW-UP OF TOP DRESSING IS NOT MANDATORY, EXCEPT WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP.

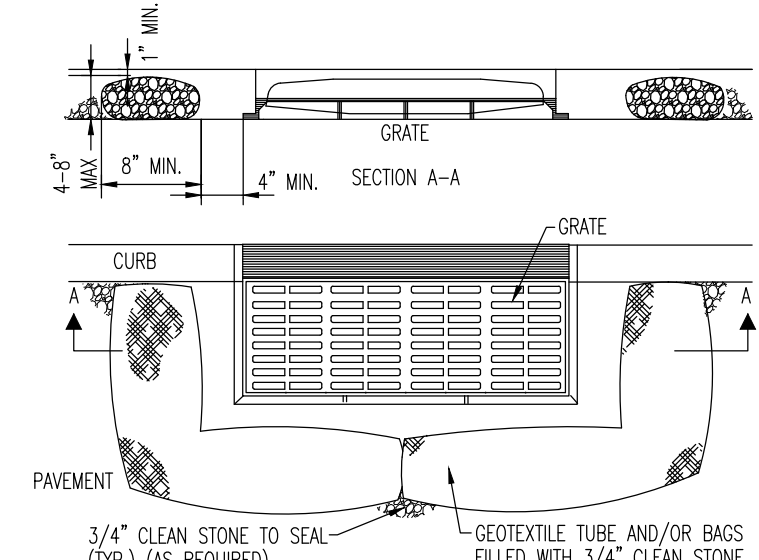
TOP-DRESS WITH 10-0-10 OR EQUIVALENT AT 400 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELIORATED.

STANDARD FOR DUST CONTROL

- DEFINITION – THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS.
- PURPOSE – TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON-AND OFF- SITE DAMAGE AND HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.
- WHERE APPLICABLE – THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
- MULCHES – SEE STANDARDS FOR STABILIZATION WITH MULCHES ONLY
 - VEGETATIVE COVER – SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER, PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOD.
 - SPRAY-ON ADHESIVES – ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANONIC ASPHALT	7:1	COARSE SPRAY	1,200
EMULSION			
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300

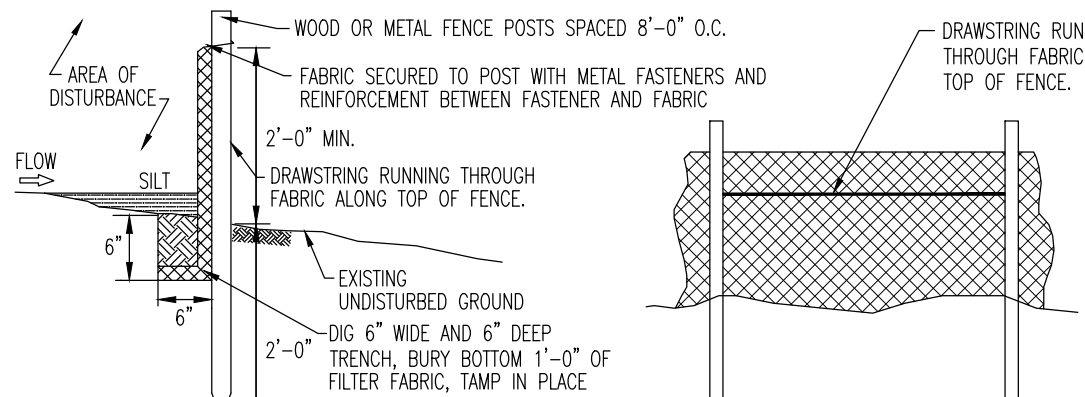
- TILLAGE – TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHESL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING – TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING – SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS – SOLID BOARD FENCES, SNOW FENCES, BURAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE – SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEP SLOPES, COMMONLY USED PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
- STONE – COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



- NOTES:**
- GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT 1107, BY SYNTHETIC INDUSTRIES INC., OR TERREX TC, BY METRIC INC., OR APPROVED EQUAL.
 - 3/4" CLEAN STONE CORE SHALL BE COMPLETELY CONTAINED WITHIN GEOTEXTILE. SEAMS SHALL BE SEWN OR CLOSED BY SUITABLE MECHANICAL MEANS TO PREVENT LEAKAGE OF STONE.
 - WHERE NO CURB IS PRESENT, BARRIER SHALL COMPLETELY ENCLOSE THE DRAIN INLET.
 - INLET GRATE CLOSING IS TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES.
 - THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER PLUMMET FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL PREVENT CARRY OVER RAINFALL DURING THE STORM SEWER SYSTEM.
 - OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - INSPECTIONS SHALL BE FREQUENT MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.

INLET FILTER DETAIL

NOT TO SCALE



- PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SLOPE OF THE LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5 PERCENT.
- SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
- INSPECTION SHALL BE FREQUENT AND REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
- SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE TOWNSHIP ENGINEER OR SOIL CONSERVATION DISTRICT.
- THE BARRIER SHALL BE REMOVED WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED SO AS NOT TO BLOCK OR IMPED EROSION FLOW OR DRAINAGE.
- FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER, THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD A MIN. DIAMETER THICKNESS OF 1 1/2 INCHES.
- A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC. OTHER PRACTICES ARE LIMITED AND HEAVY SEDIMENT LOADING IS DEPRECATED.
- A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE GROUND. FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADJUST STRENGTH.

SILT FENCE DETAIL

NOT TO SCALE

STANDARD FOR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

- SITE PREPARATION
 - A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.
 - B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
 - C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
- SEEDING PREPARATION
 - A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES.
 - FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE.
 - CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
 - B. WORK LINE AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL, TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR, CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
 - C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE.
 - D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PG. 1-1.
- SEEDING
 - A. TEMPORARY VEGETATIVE STABILIZATION GRASSES, SEEDING RATES, DATES AND DEPTHS
 - COOL SEASON GRASSES:
 - (1) PERENNIAL RYEGRASS – 100 LBS / ACRE, PLANT BETWEEN MARCH 1 AND MAY 15 BETWEEN AUGUST 15 AND OCTOBER 1; AT A DEPTH OF 0.5 INCHES.
 - (2) SPRING OATS – 86 LBS / ACRE, PLANT BETWEEN MARCH 1 AND MAY 15 BETWEEN AUGUST 15 AND OCTOBER 1; AT A DEPTH OF 1.0 INCHES.
 - (3) WINTER BARLEY – 96 LBS / ACRE, PLANT BETWEEN MARCH 1 AND MAY 15 AND OCTOBER 1; AT A DEPTH OF 1.0 INCHES.
 - (4) ANNUAL RYEGRASS – 100 LBS / ACRE, PLANT BETWEEN MARCH 1 AND JUNE 15 BETWEEN AUGUST 1 AND SEPTEMBER 15; AT A DEPTH OF 0.5 INCHES.
 - (5) WINTER CEREAL RYE – 112 LBS / ACRE, PLANT BETWEEN AUGUST 1 AND NOVEMBER 15; AT A DEPTH OF 1.0 INCHES.
 - WARM SEASON GRASSES:
 - (1) PEARL MILLET – 20 LBS / ACRE, PLANT BETWEEN MAY 15 AND AUGUST 15; AT A DEPTH OF 1.0 INCHES.
 - (2) MILLET (GERMAN OR HUNGARIAN) – 30 LBS / ACRE, PLANT BETWEEN MAY 15 AND AUGUST 15; AT A DEPTH OF 1.0 INCHES.
 - B. CONVENTIONAL SEEDING, APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDER OR CULTPACKER SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDING PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
 - C. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.
 - D. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORTFIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4-MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.
 - E. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

MULCHING

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

- STRAW OR HAY, UNROTTED SMALL GRASS STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1.5 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CROMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATION, SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 90% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.

ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS IN ACCORDANCE WITH THE STATE STANDARDS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COST:

- PEG AND TWINE
- MULCH NETTINGS
- CRAMPER MULCH ANCHORING COULTER TOOL
- LIQUID MULCH-BINDERS

- WOOD-FIBER OR PAPER-FIBER MULCH – SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

- PELLETIZED MULCH, COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS (THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORM A MULCH MAT. PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEDDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE.

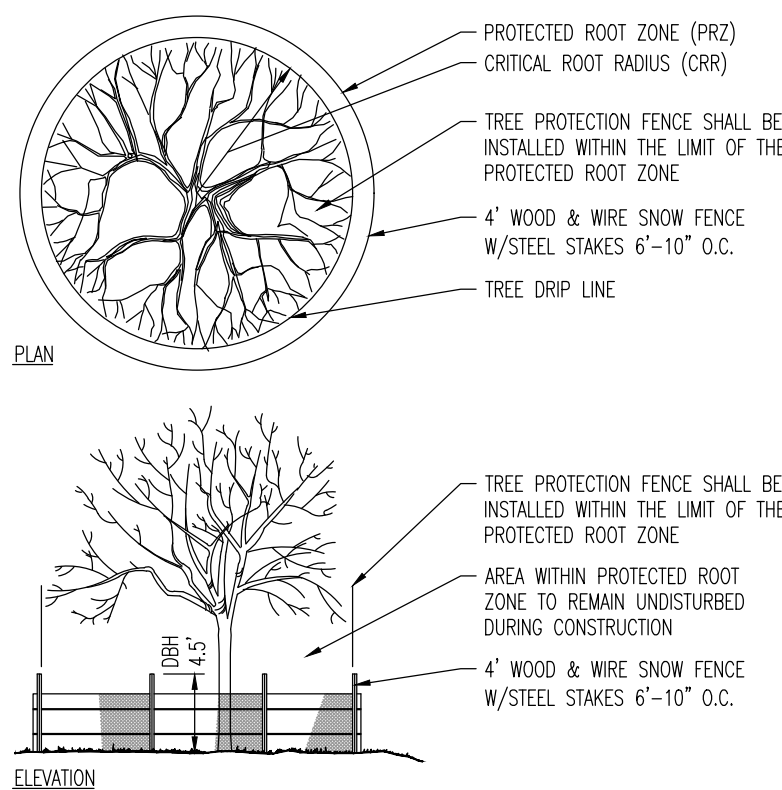
APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

SOIL EROSION & SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL," 7TH EDITION LAST REVISED JULY 2017, EFFECTIVE DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, MAY BE REQUIRED TO BE TEMPORARILY MULCHED, AND SEEDED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER AS PER APPENDIX A3. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT REESTABLISHMENT IS ESTABLISHED.
- SEEDING, DATES, THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HESPOC: SPRING – 3/1-5/2/5 AND FALL – 8/15 – 10/1.
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRASS STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING. THE DOWN, OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX – (862) 333-4507 OR EMAIL – INFORMATION@HESPOC.ORG
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY. NJ – DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON THE COMPLETION OF THE REESTABLISHMENT MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENT AND MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SLUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SOODING OR PLANTING. A DEPTH OF 5.0 INCHES, FIRMED IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, EFFECTIVE DECEMBER 2017.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2 – 1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SECAK" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS' INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES, DEEMED NECESSARY BY DISTRICT OFFICIALS, SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.

SEQUENCE OF CONSTRUCTION:

- PHASE 1: INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING DOWN SLOPE PERIMETER HAY BALES AND SILT FENCING. (1 DAY)
- PHASE 2: CLEAR AND ROUGH GRADE FOR NEW BUILDING SITE AND OTHER STRUCTURES REQUIRING EXCAVATION. (2 WEEKS)
- PHASE 3: EXCAVATE AND INSTALL UNDERGROUND PIPING AND DRAINAGE STRUCTURES. (3 WEEKS)
- PHASE 4: EXCAVATE BUILDING FOUNDATION (1 WEEK)
- PHASE 5: COMPLETE BUILDING CONSTRUCTION. (4 WEEKS)
- PHASE 6: EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBING. (3 WEEKS)
- PHASE 7: FINAL GRADE SITE (1 WEEK)
- PHASE 8: INSTALL PAVING, CONCRETE, AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING. (2 WEEKS)
- PHASE 9: REMOVED ALL SOIL EROSION SEDIMENT CONTROL MEASURES INCLUDING INLET PROTECTION AND DOWN SLOPE PERIMETER SILT FENCING UPON COMPLETION. (1 DAY)



- ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR)
- MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5' ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.
 - MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET

DBH x 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.
DBH x 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.

TREE PROTECTION DURING SITE CONSTRUCTION DETAIL

NOT TO SCALE

TEMPORARY STOCKPILE DETAIL

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Newtown, Pennsylvania 1-267.685.0276 | Philadelphia, Pennsylvania 1-215.253.4888 | Bethlehem, Pennsylvania 1-610.598.4400

TITLE:
SOIL EROSION AND SEDIMENT CONTROL PLAN DETAILS

PROJECT:
**STORAGE PLATFORM, LLC
PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES**
BLOCK: 2-305, LOTS:
256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKMANN PLACE
TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY

JOB No:
2624-99-007
DATE:
07/08/2021
DRAWN BY:
GMC
DESIGNED BY:
LPG
CHECKED BY:
TJM
CHECKED BY:
—
SHEET No:
11
OF 20
Rev. # 1

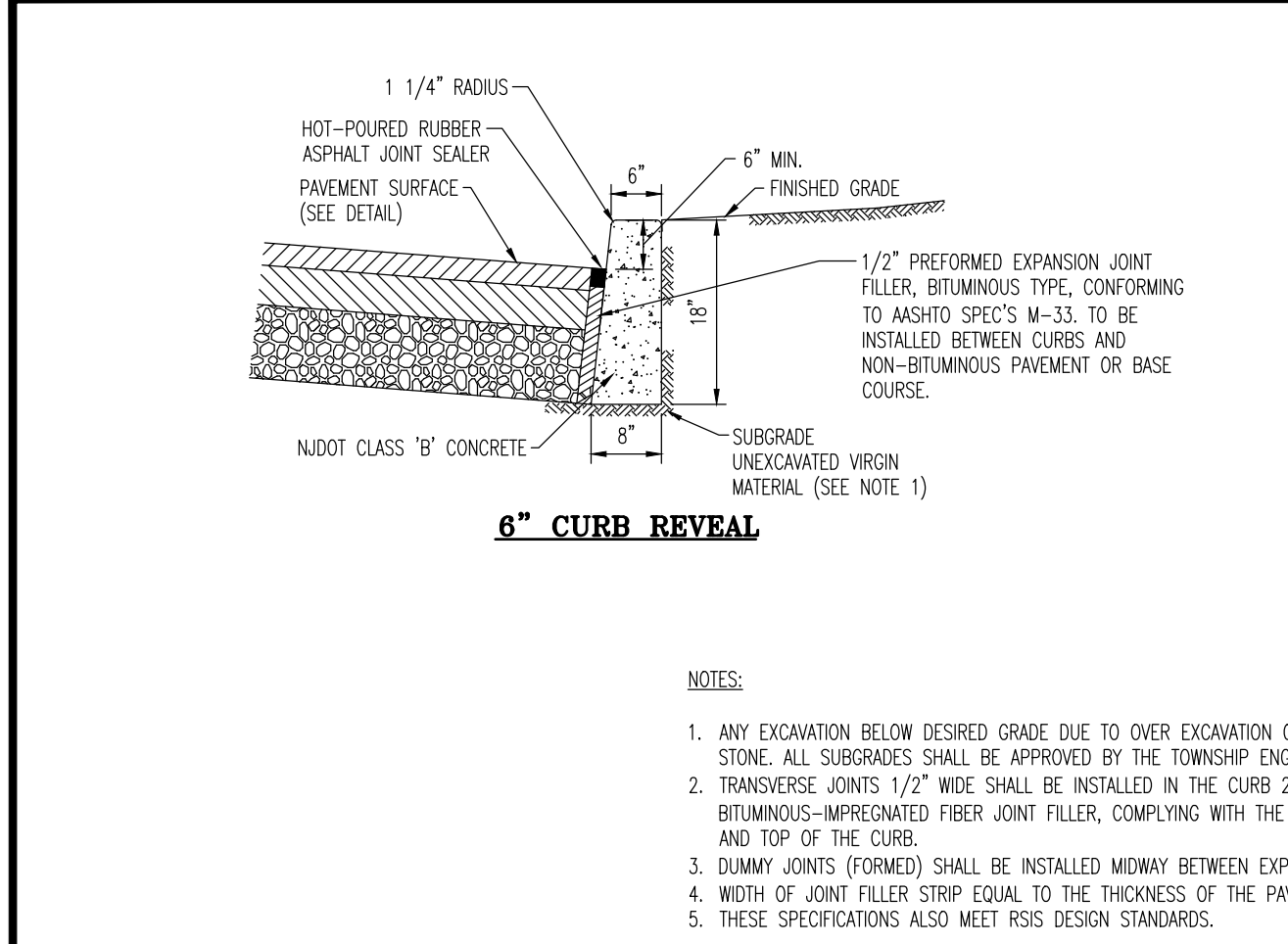
THOMAS J. MULLER
JOHN A. PALUS

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 52179

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 41975

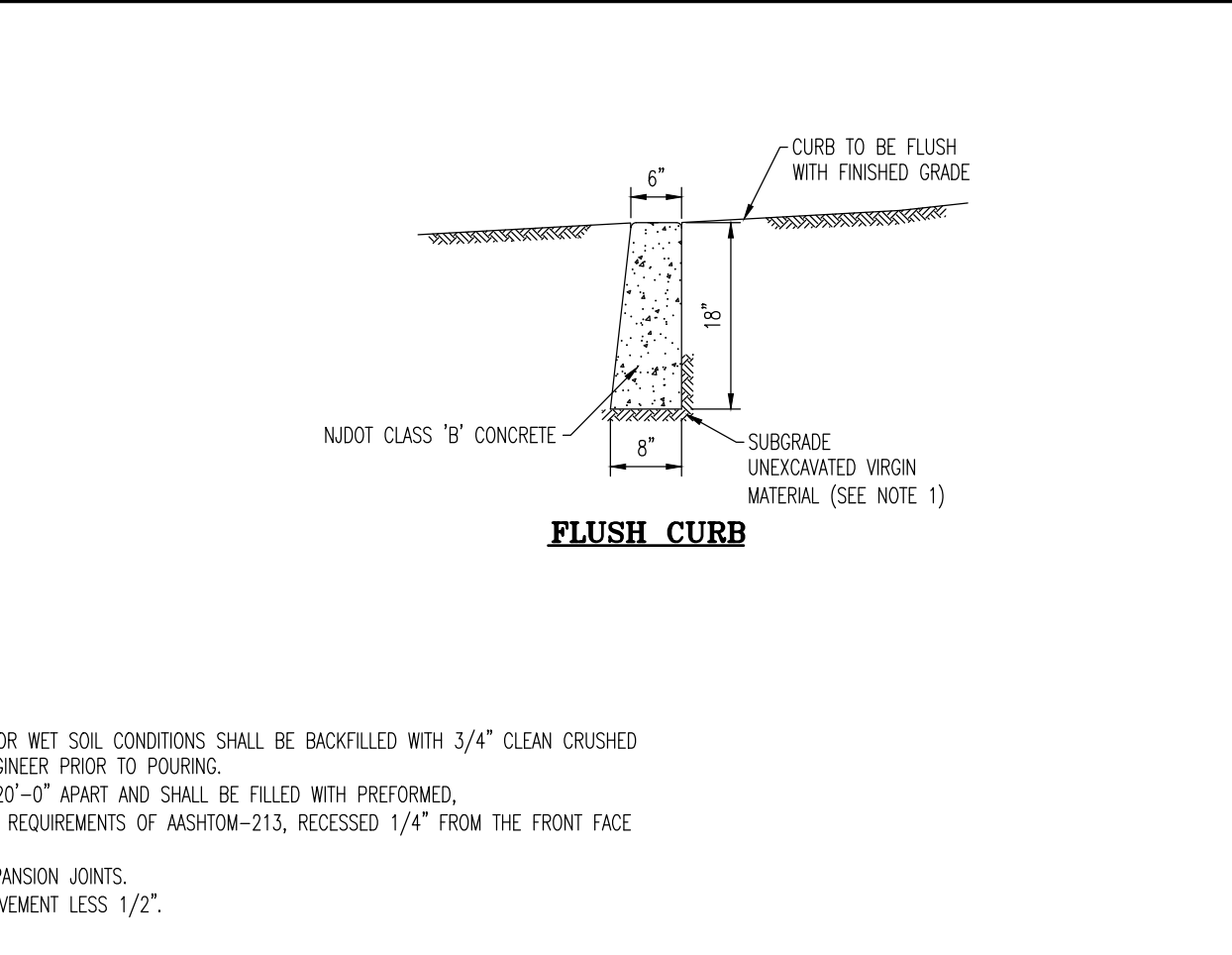
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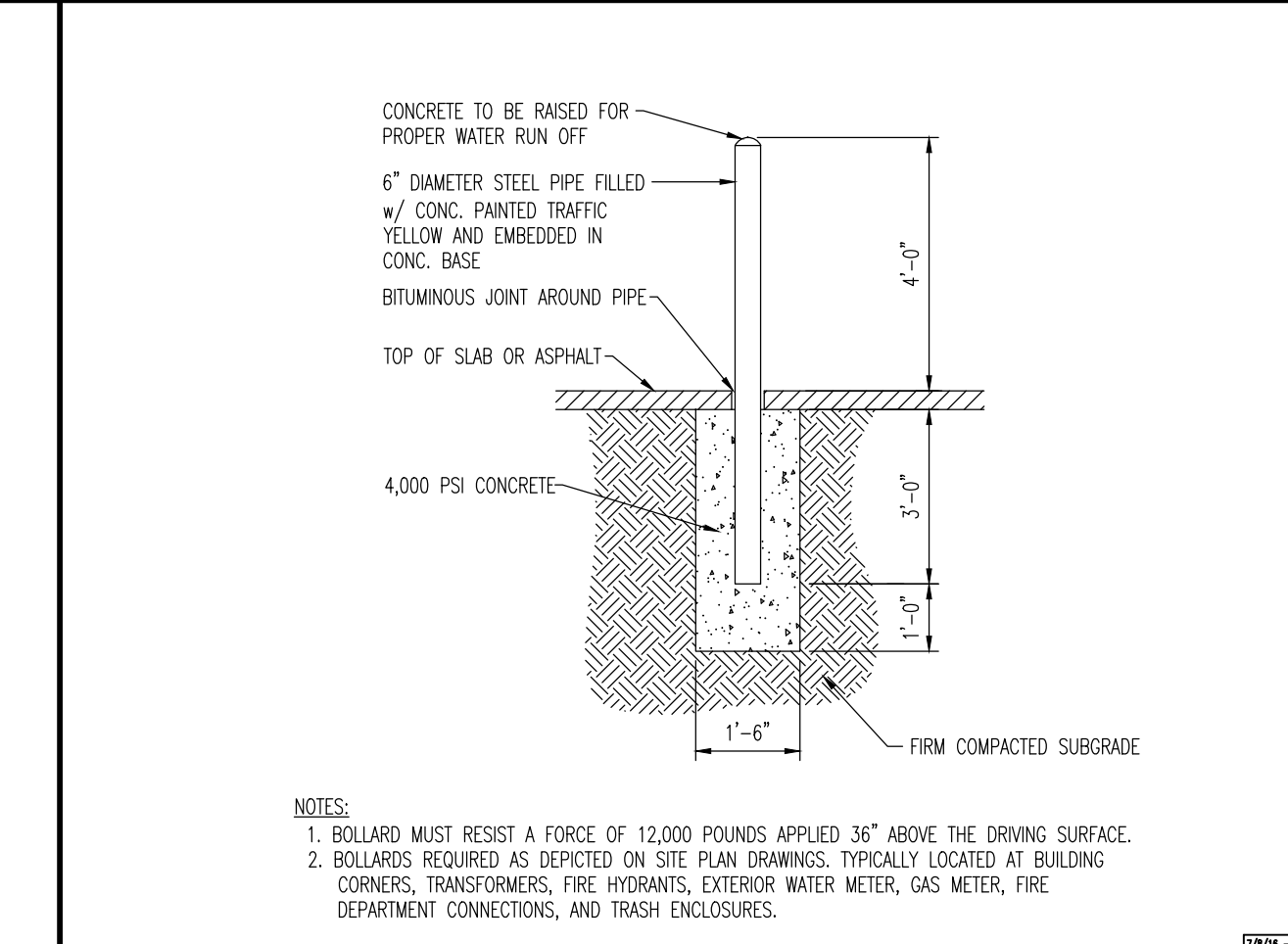
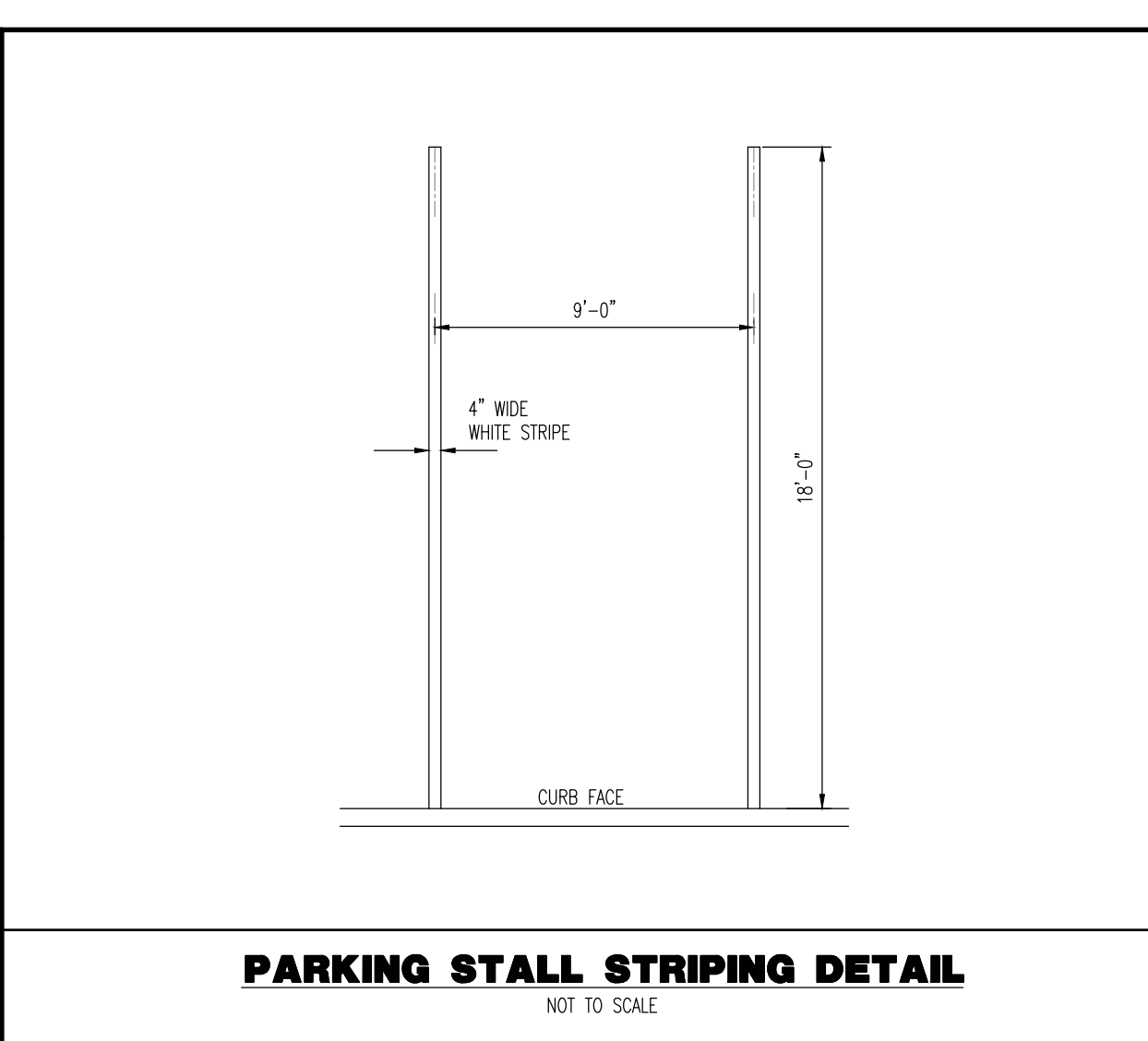
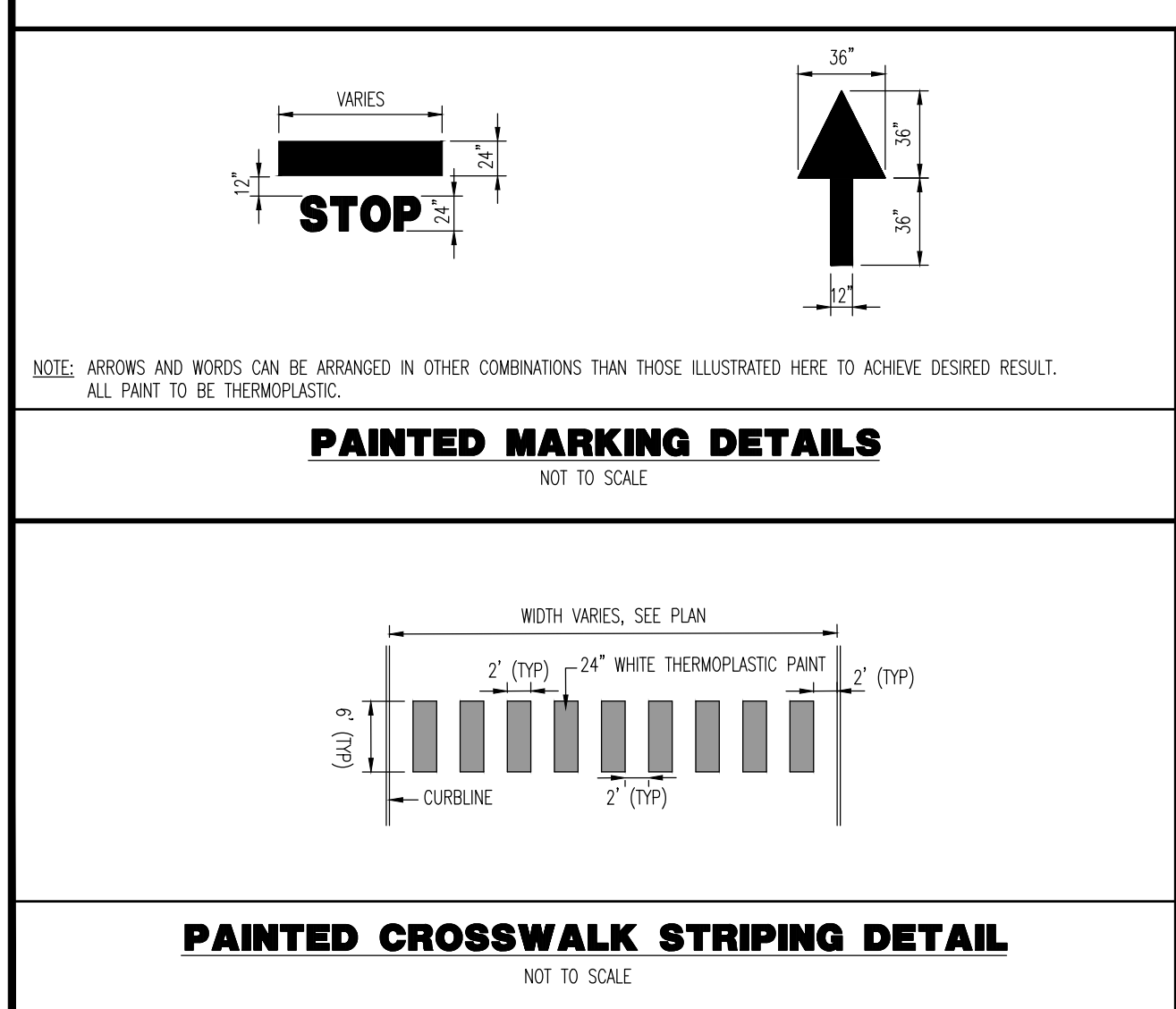
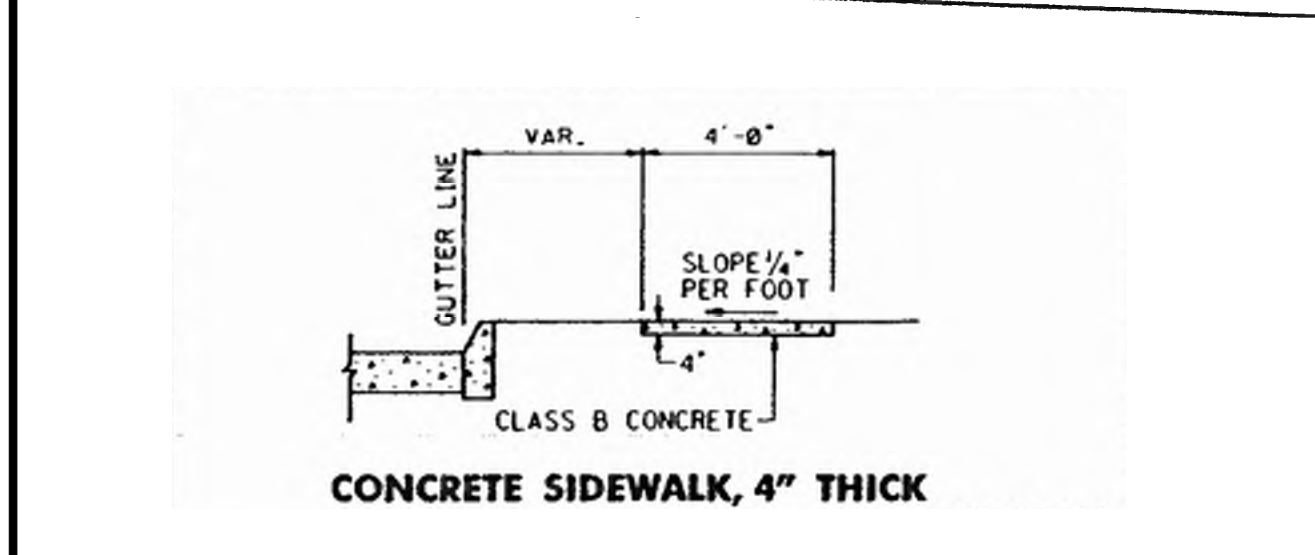
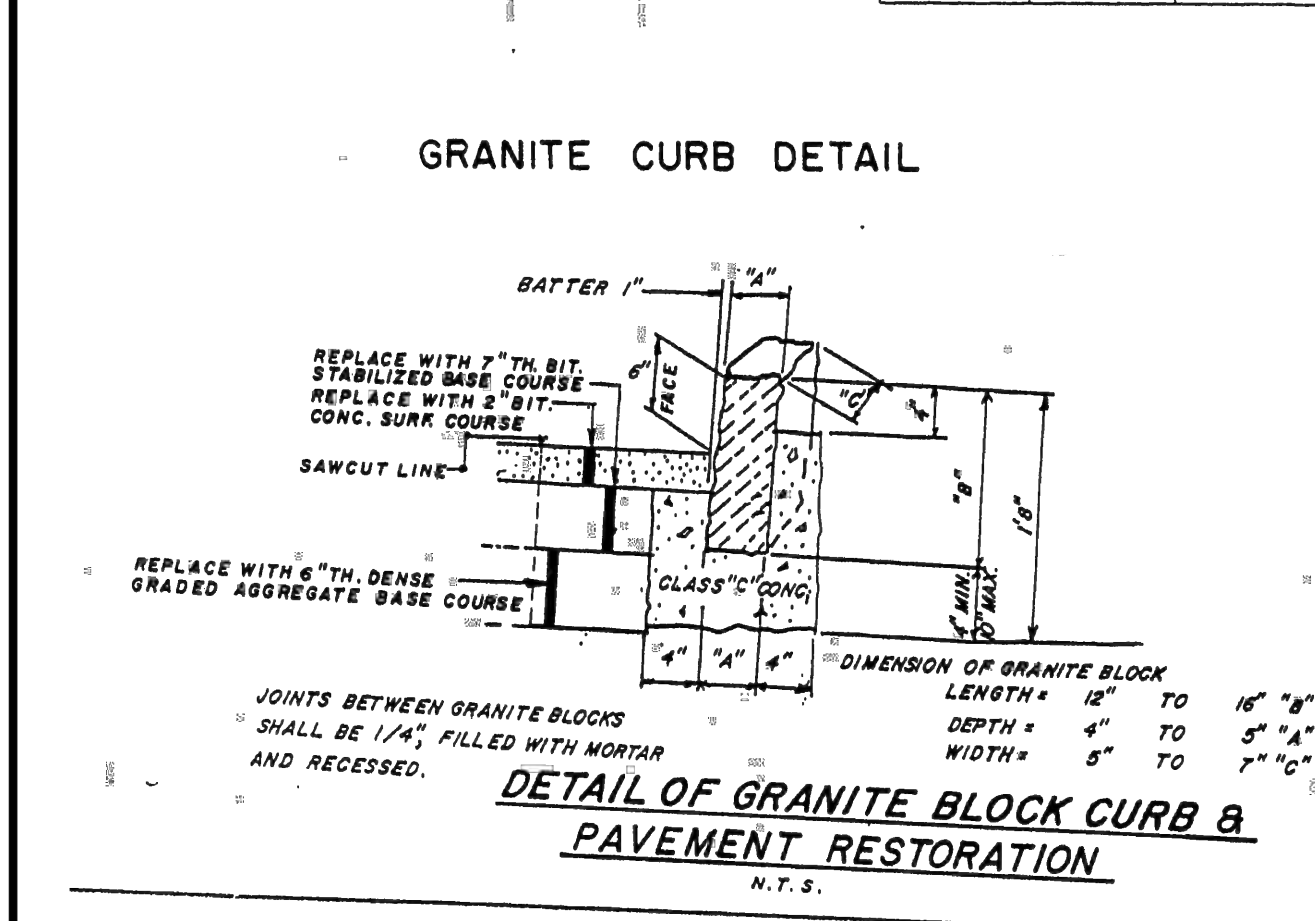
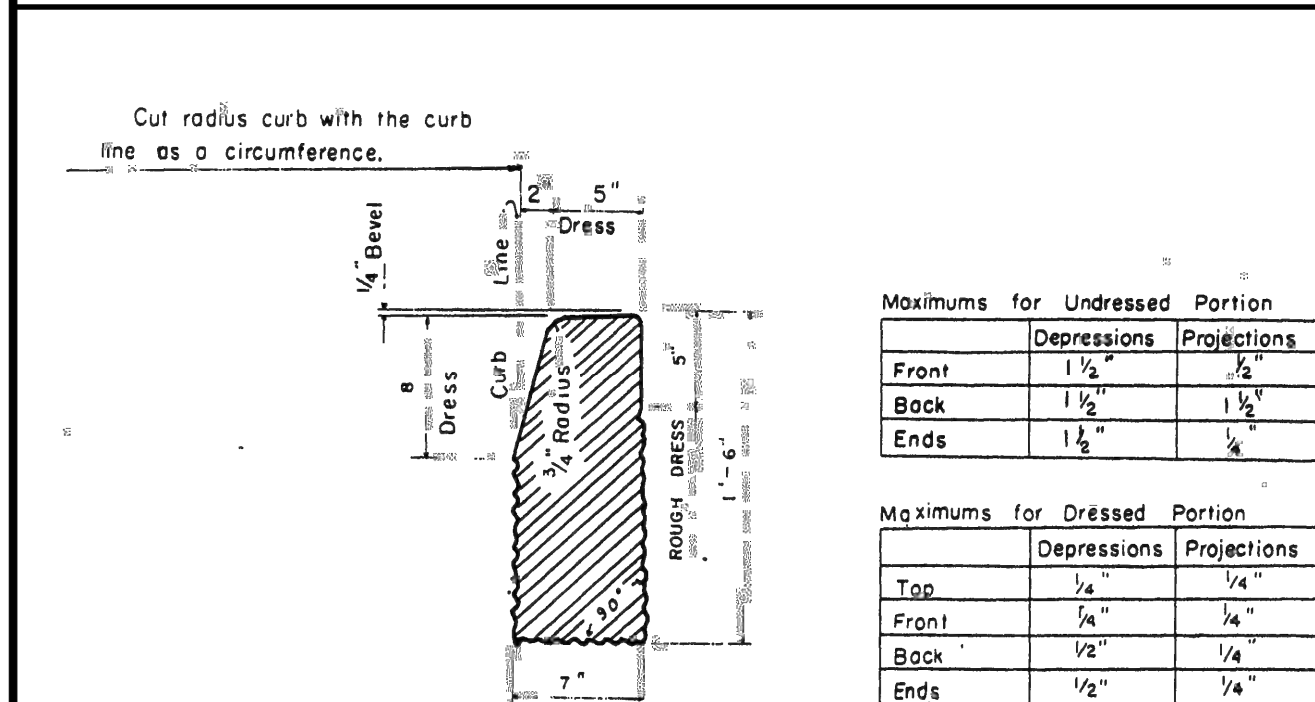
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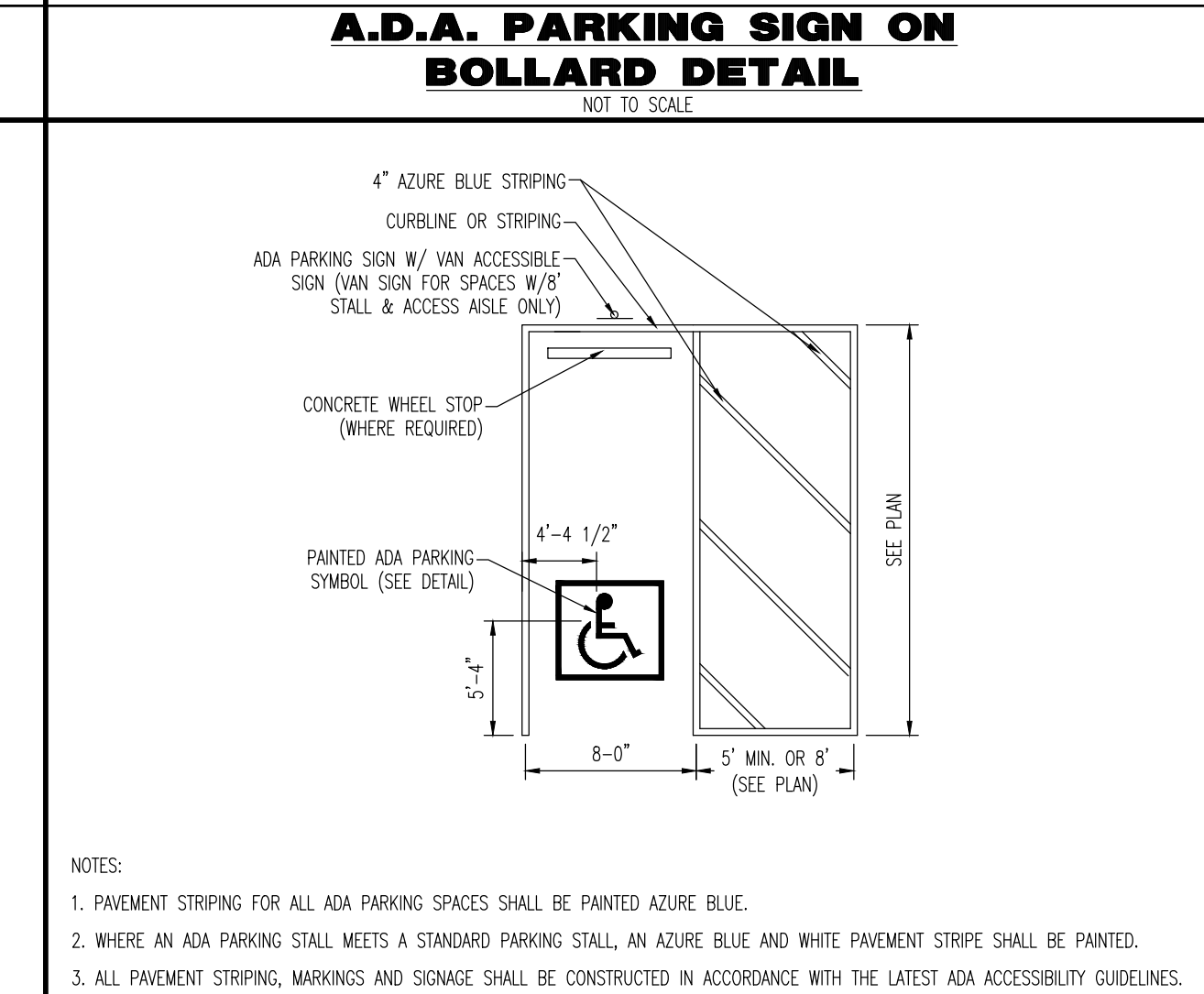
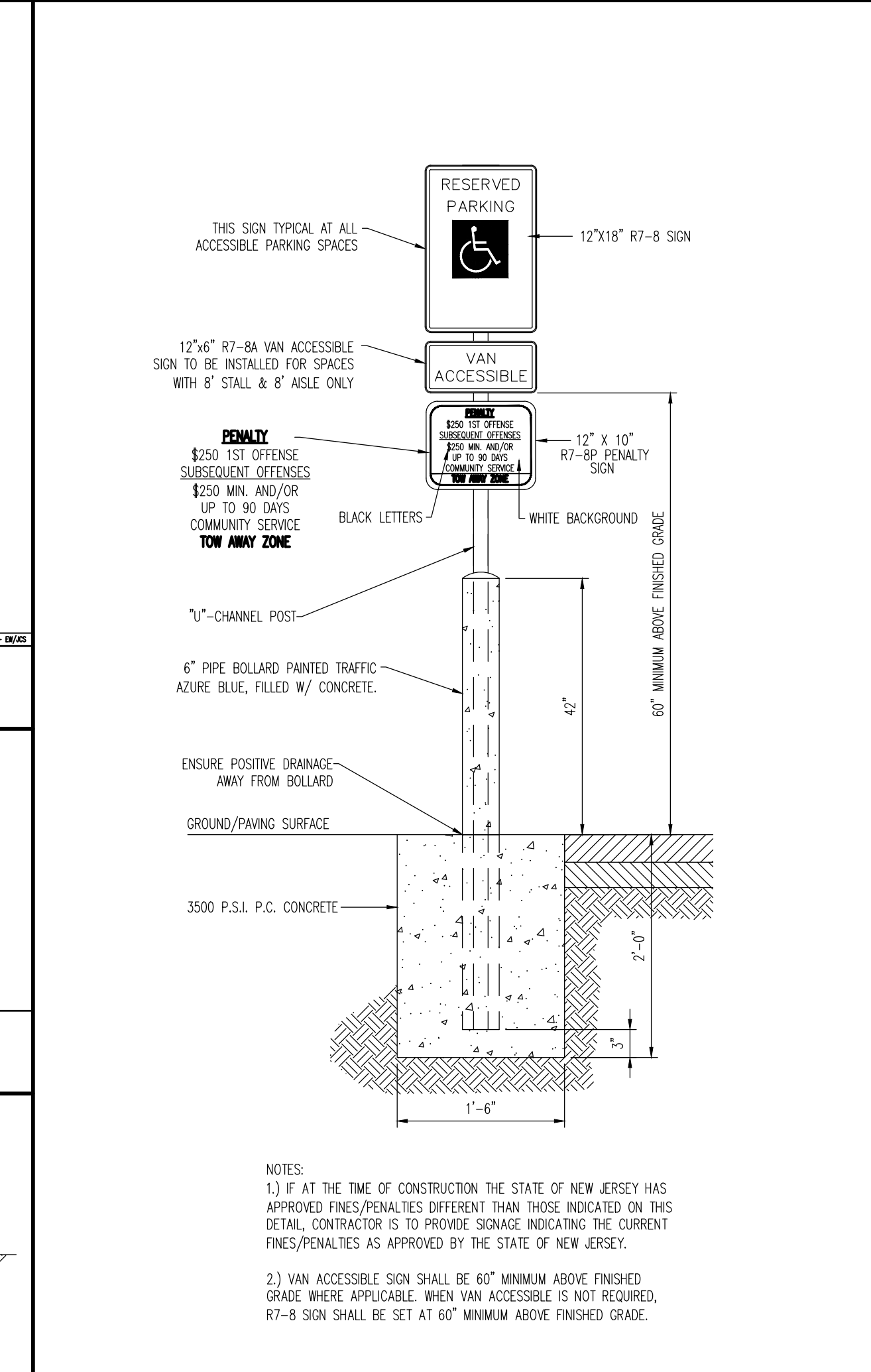
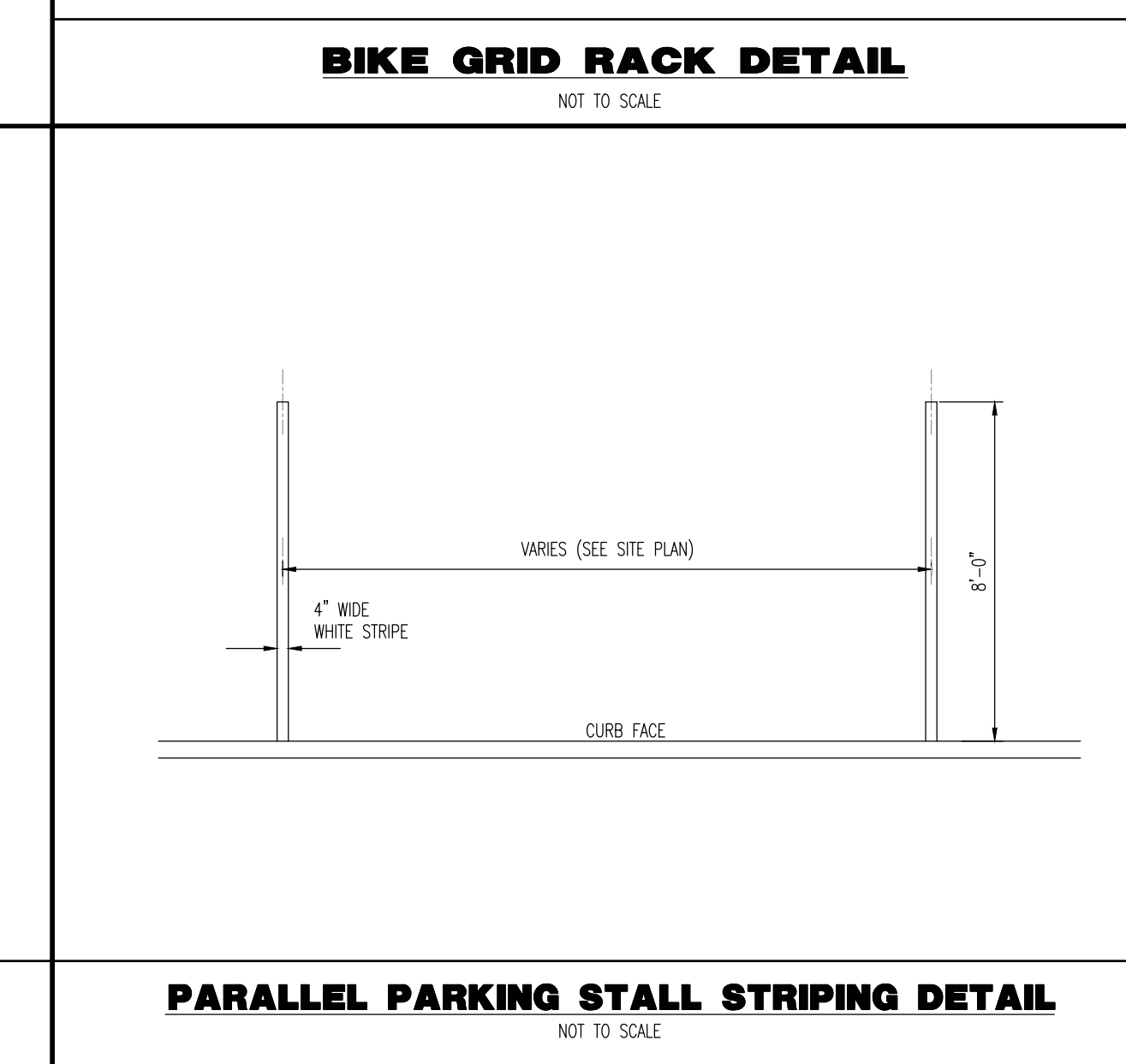
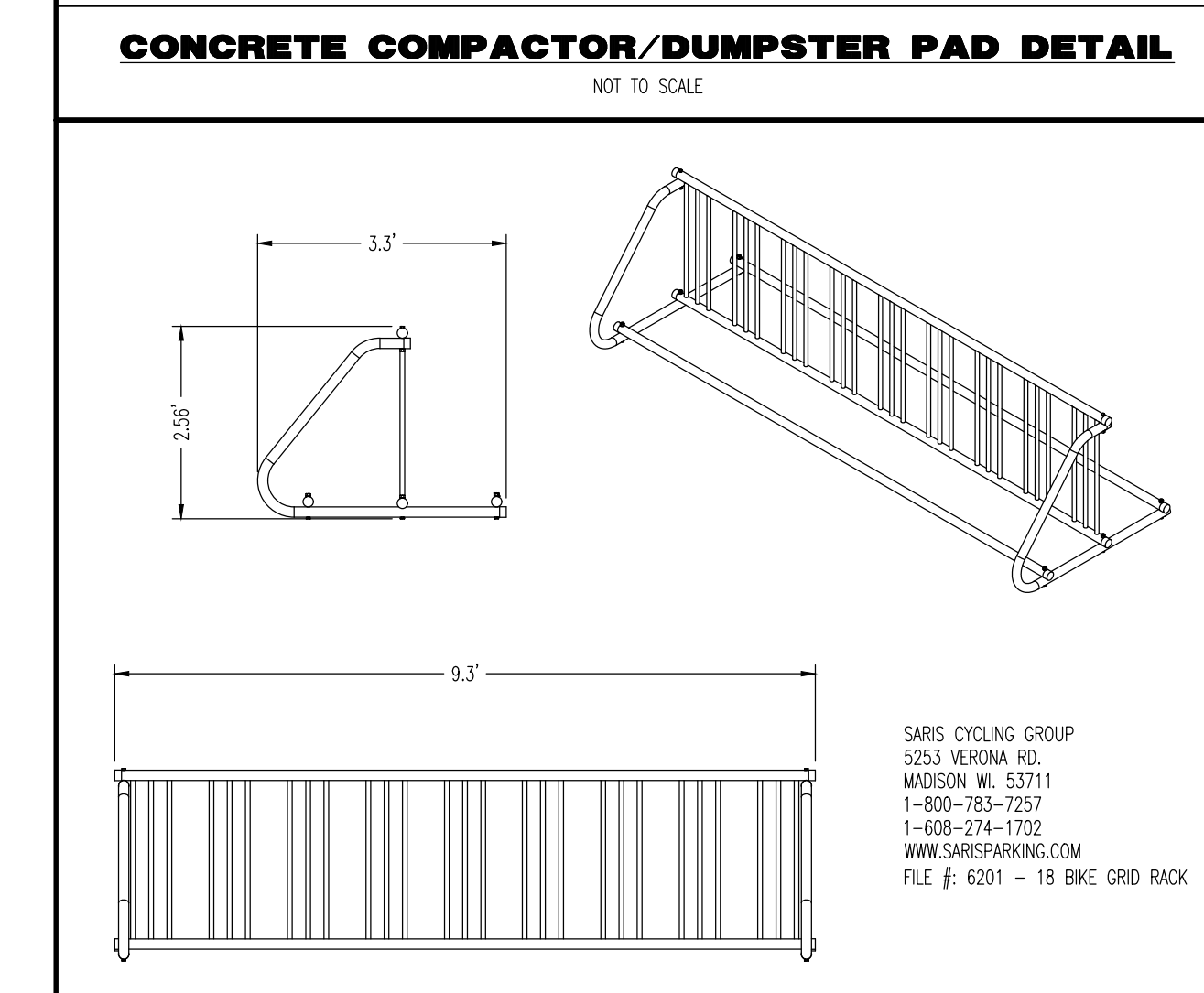
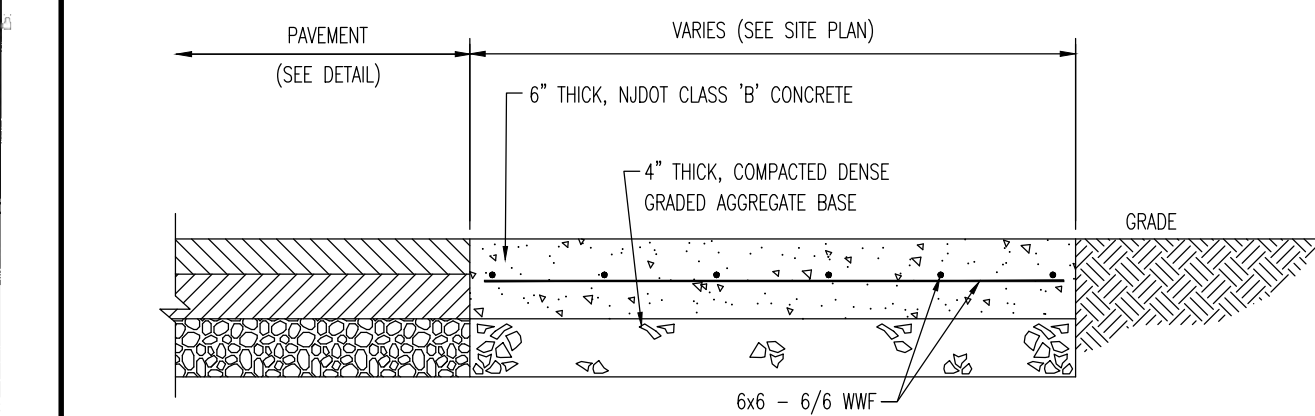
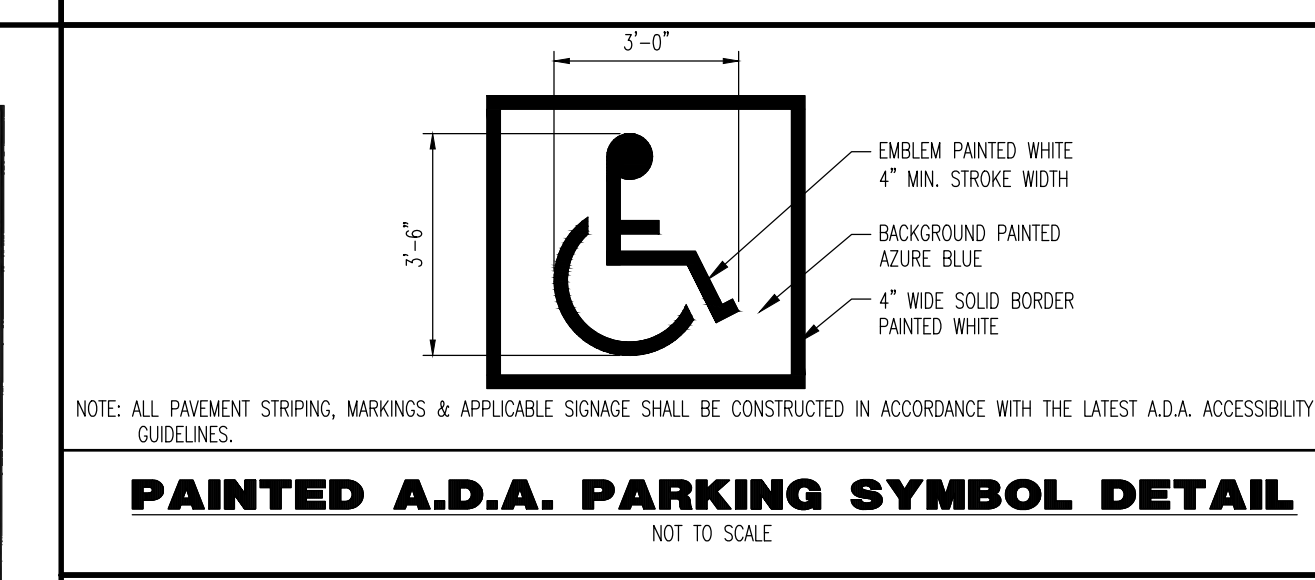
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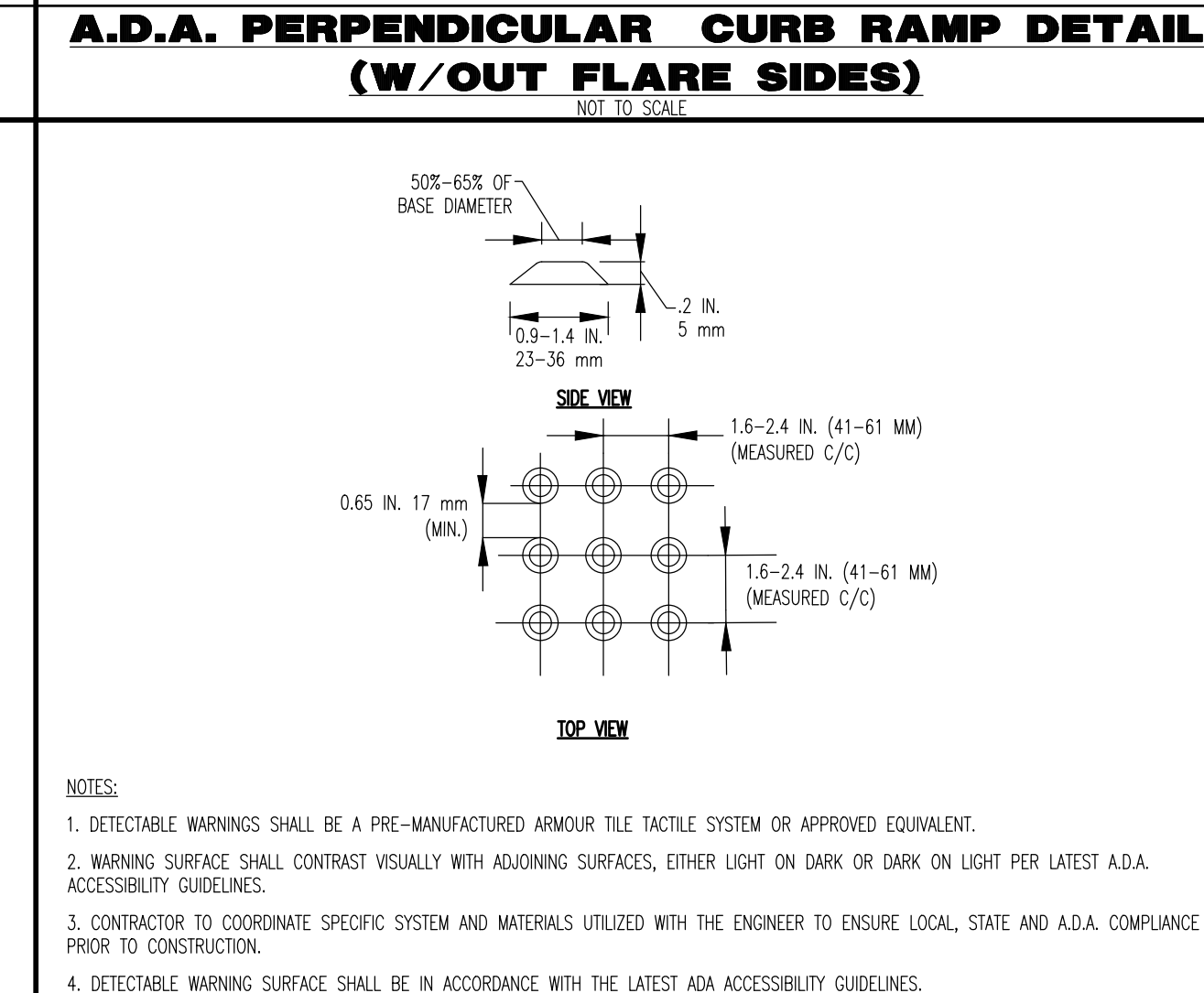
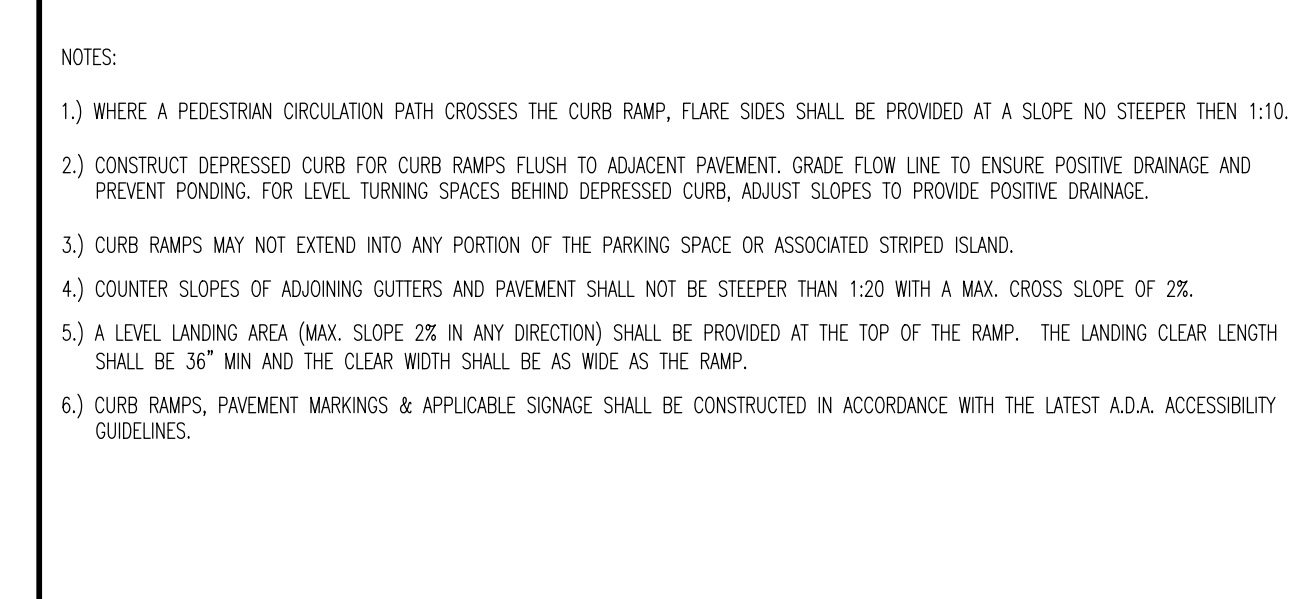
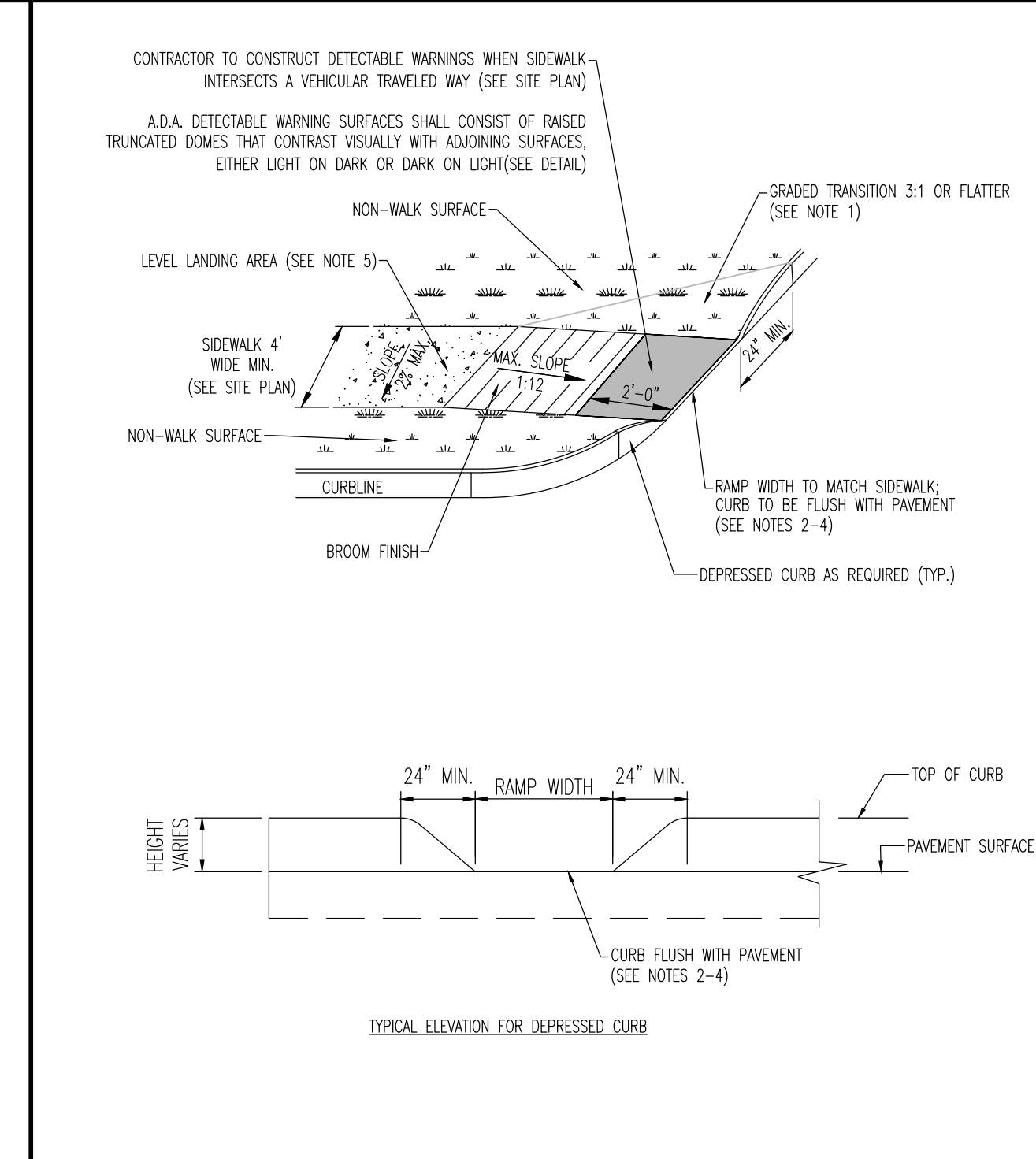


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Rev.	Date	Comments	By
1	08/17/21	REV PER CLIENT COMMENTS	KMG



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TITLE:

PROJECT: **STORAGE PLATFORM, LLC**
PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES
BLOCK 2303, LOTS 1, 2, 3, 4, 13 & 14
256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE
TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY

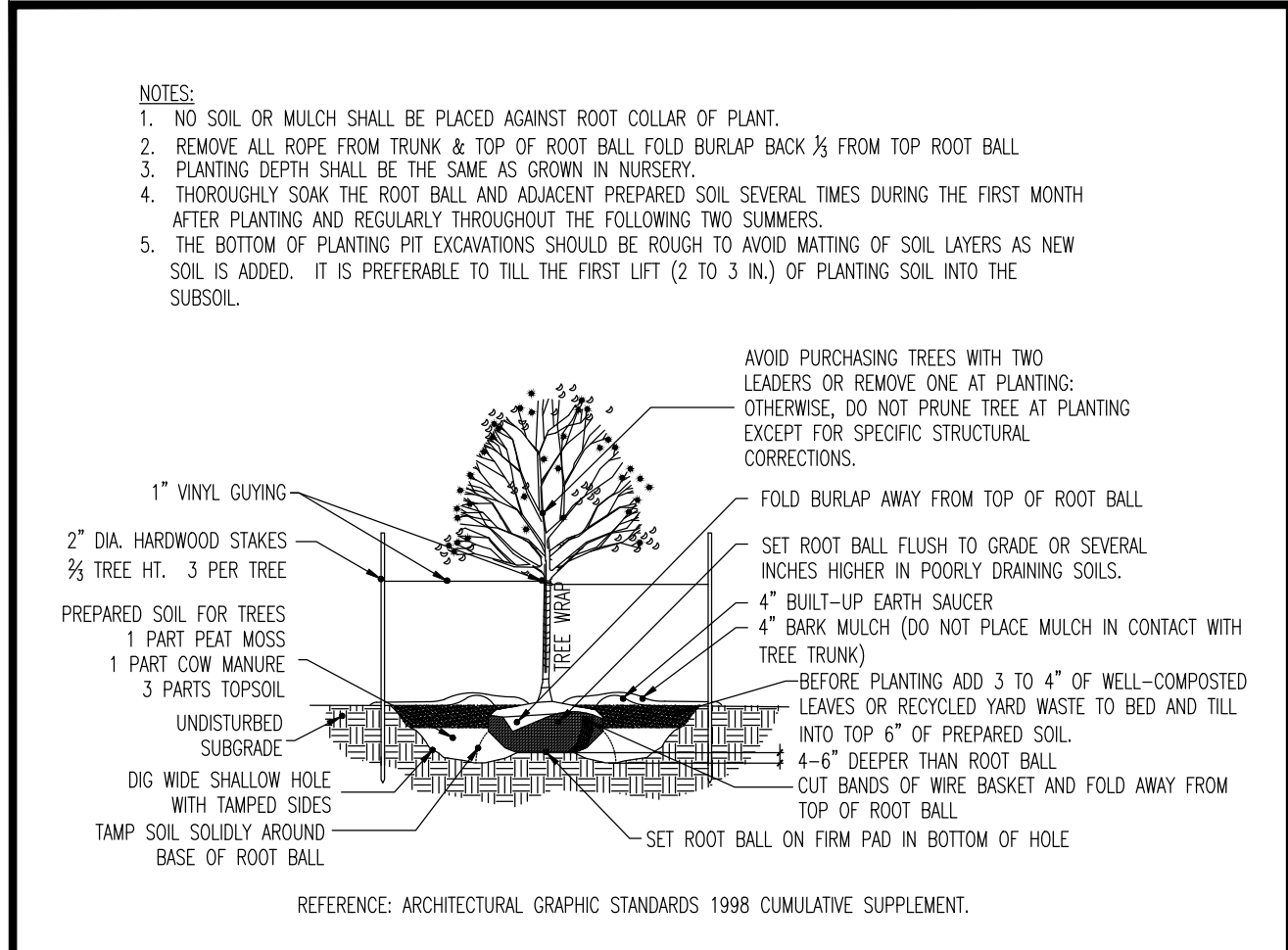
DESIGNED BY: GMC
DESIGNED BY: LFG
CHECKED BY: TJM
CHECKED BY: -

THOMAS J. MULLER
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52179

JOHN A. PALUS
PROFESSIONAL ENGINEER
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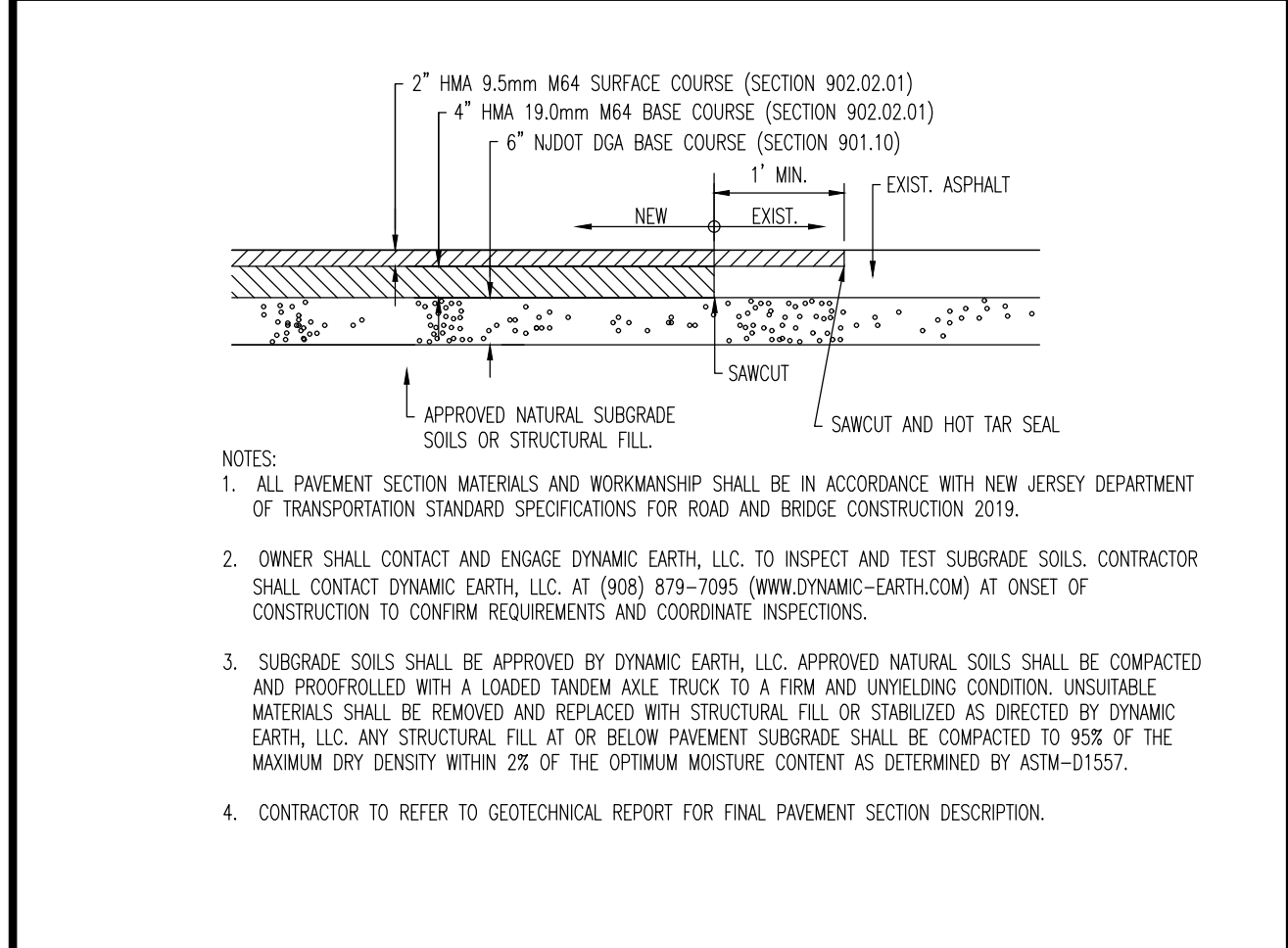
JOB No: 2624-99-007
DATE: 07/08/2021
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SHEET No: 12 OF 20
Rev. # 1

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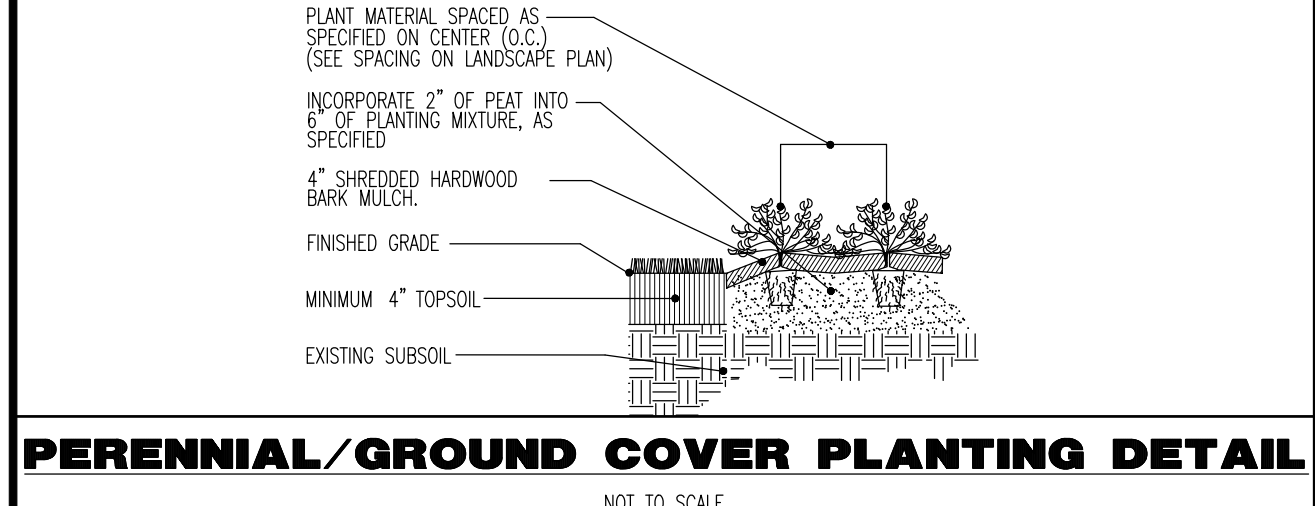
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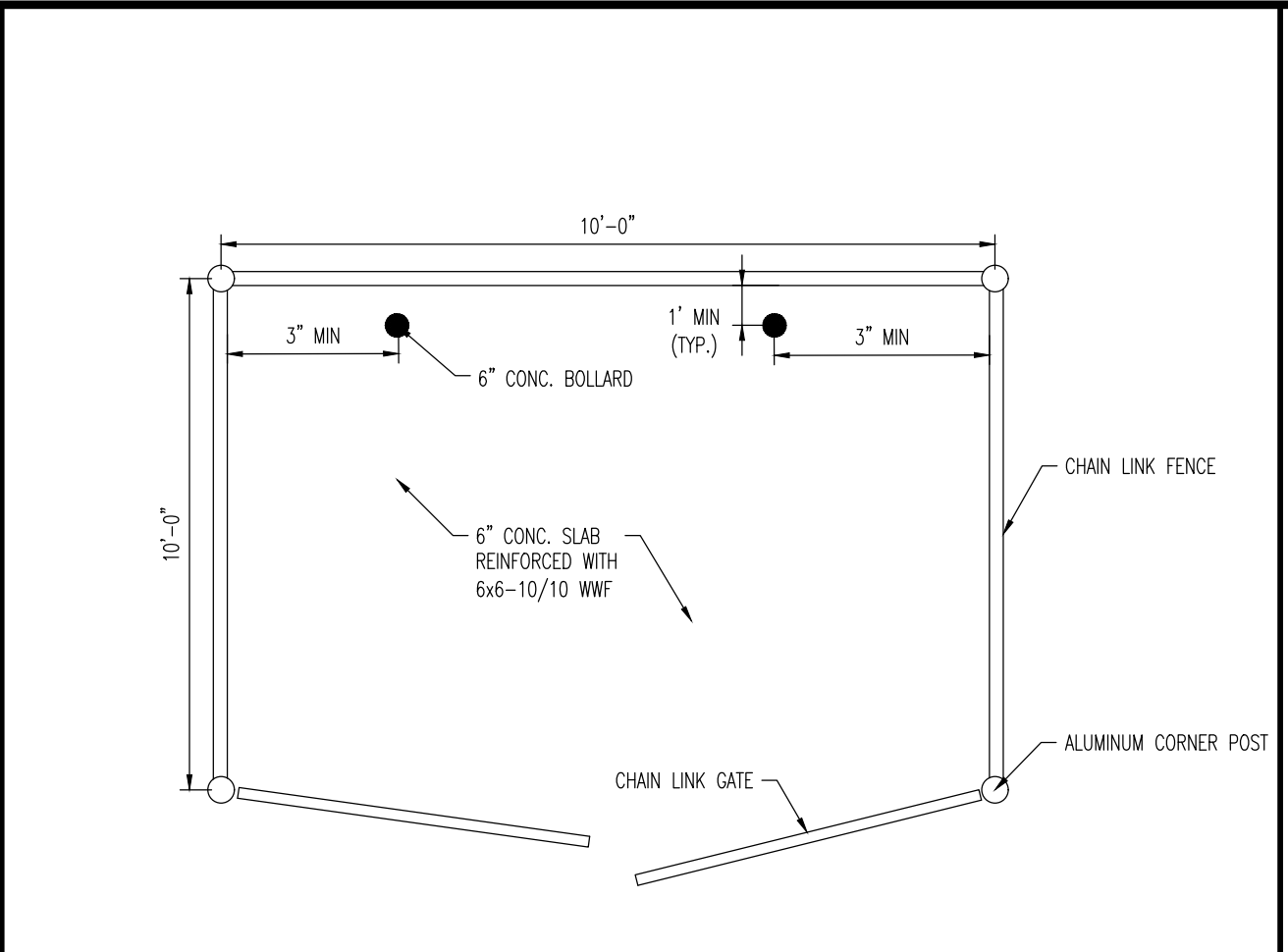
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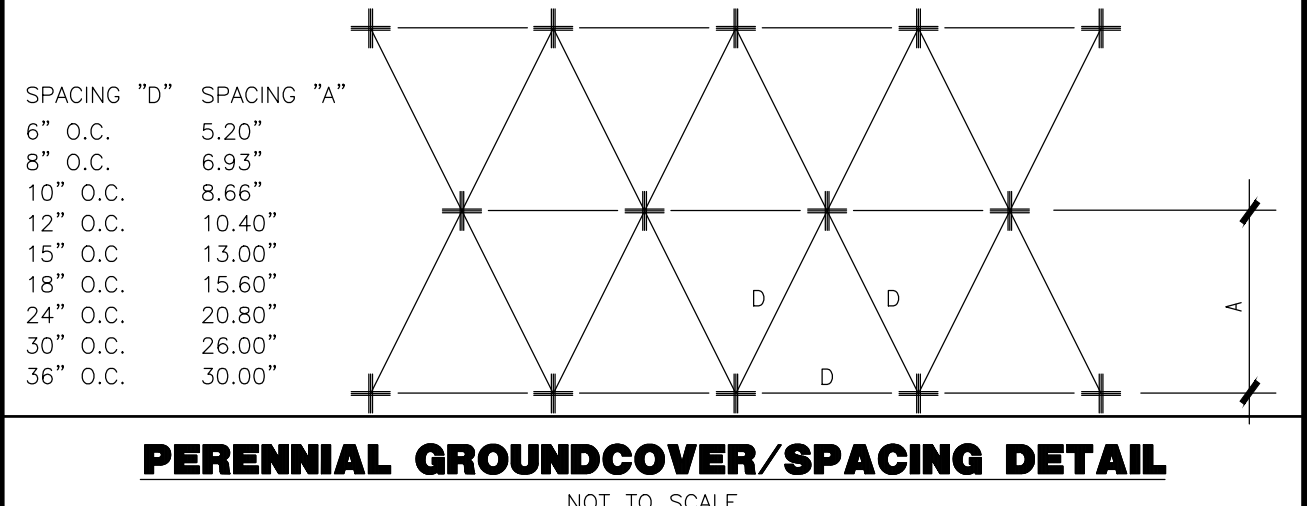
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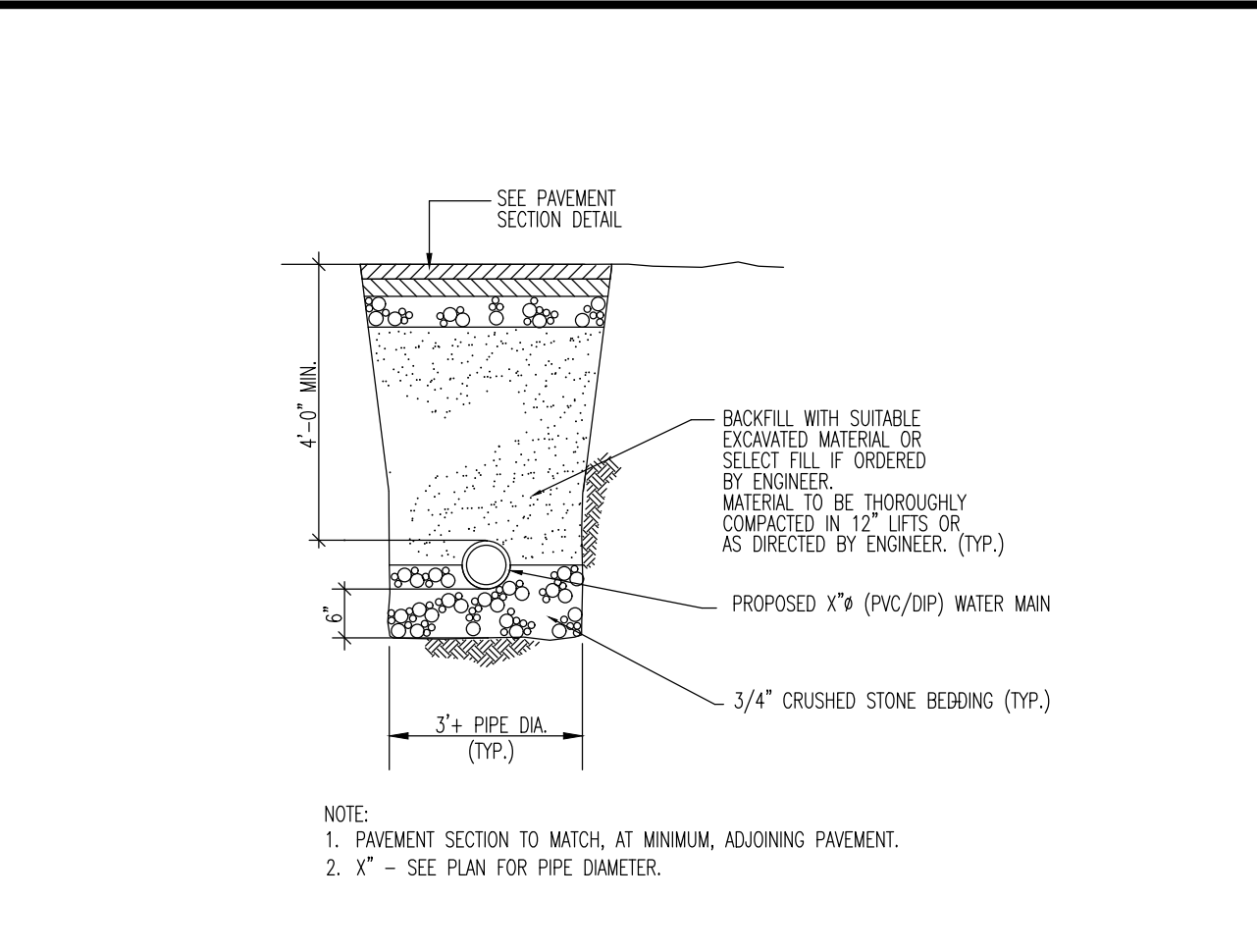
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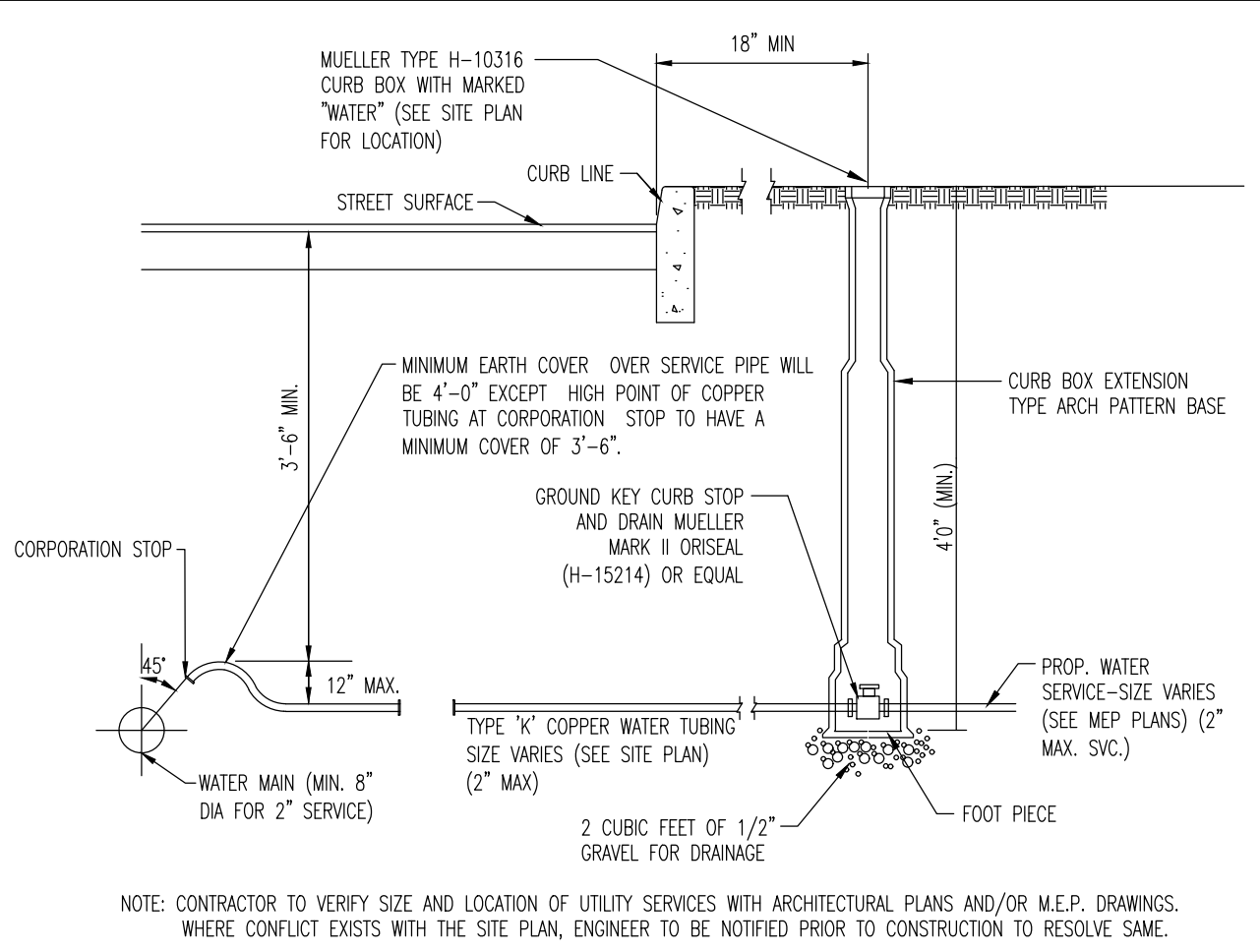
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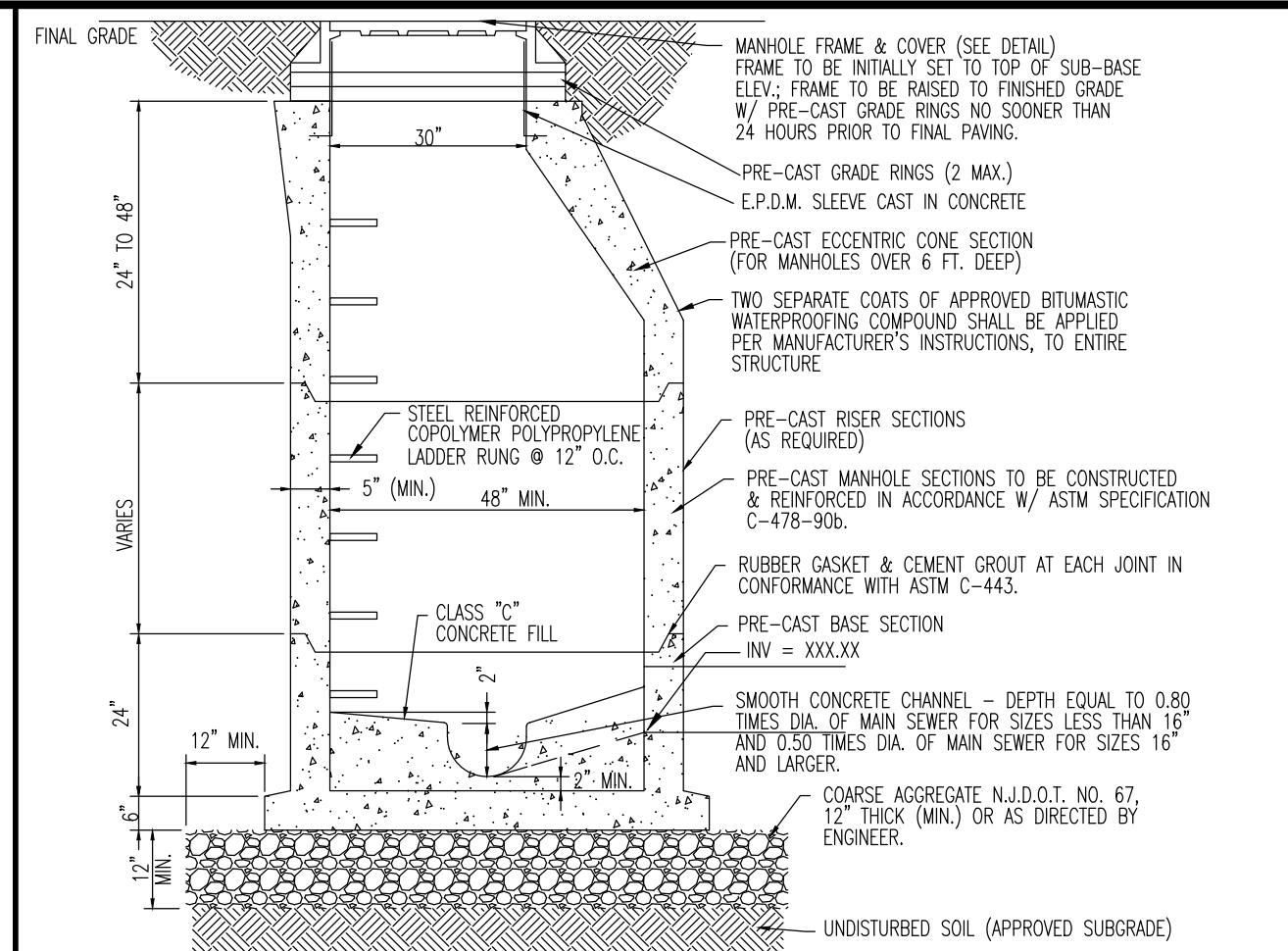
WATER SERVICE TRENCH DETAIL

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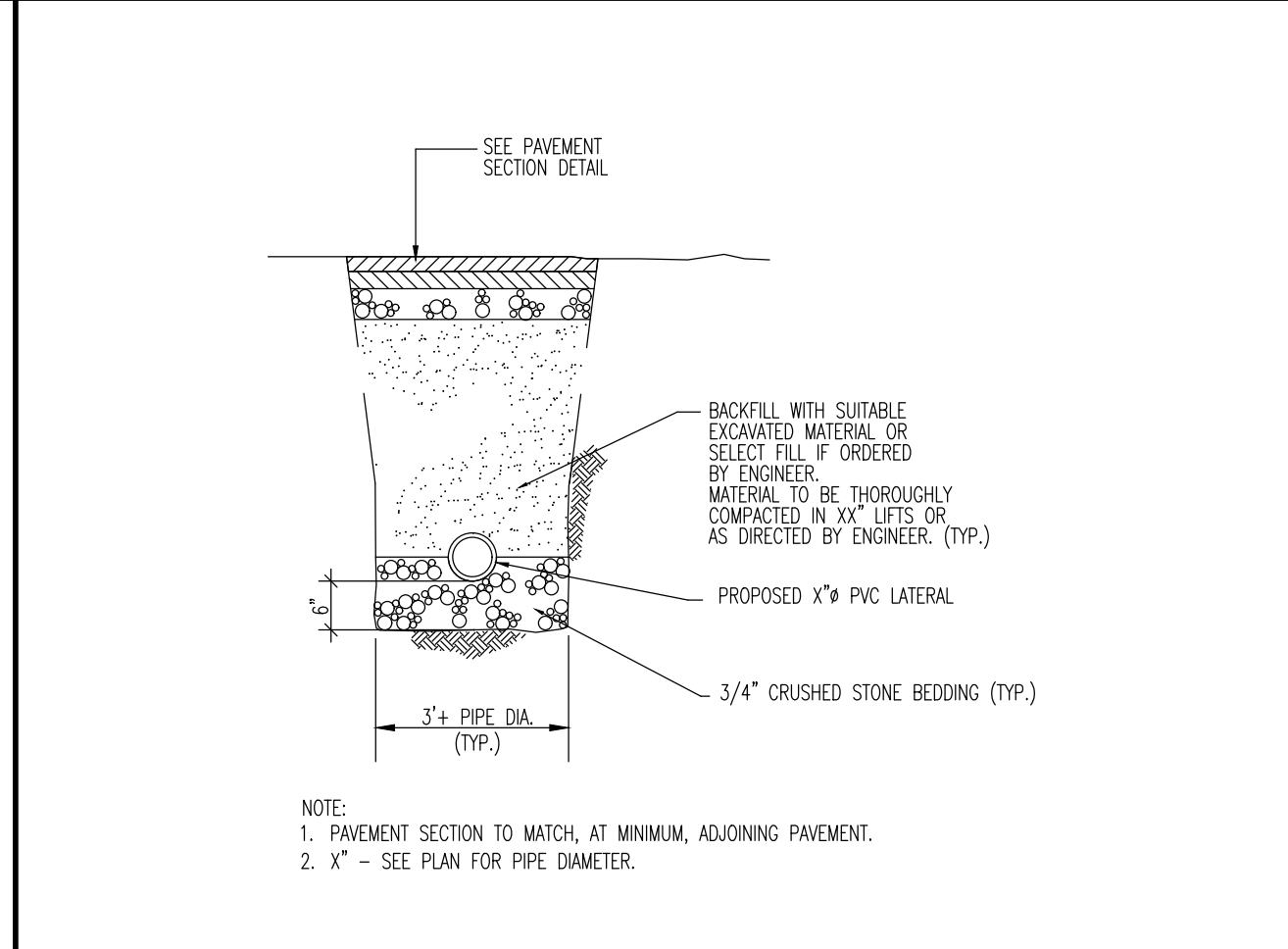
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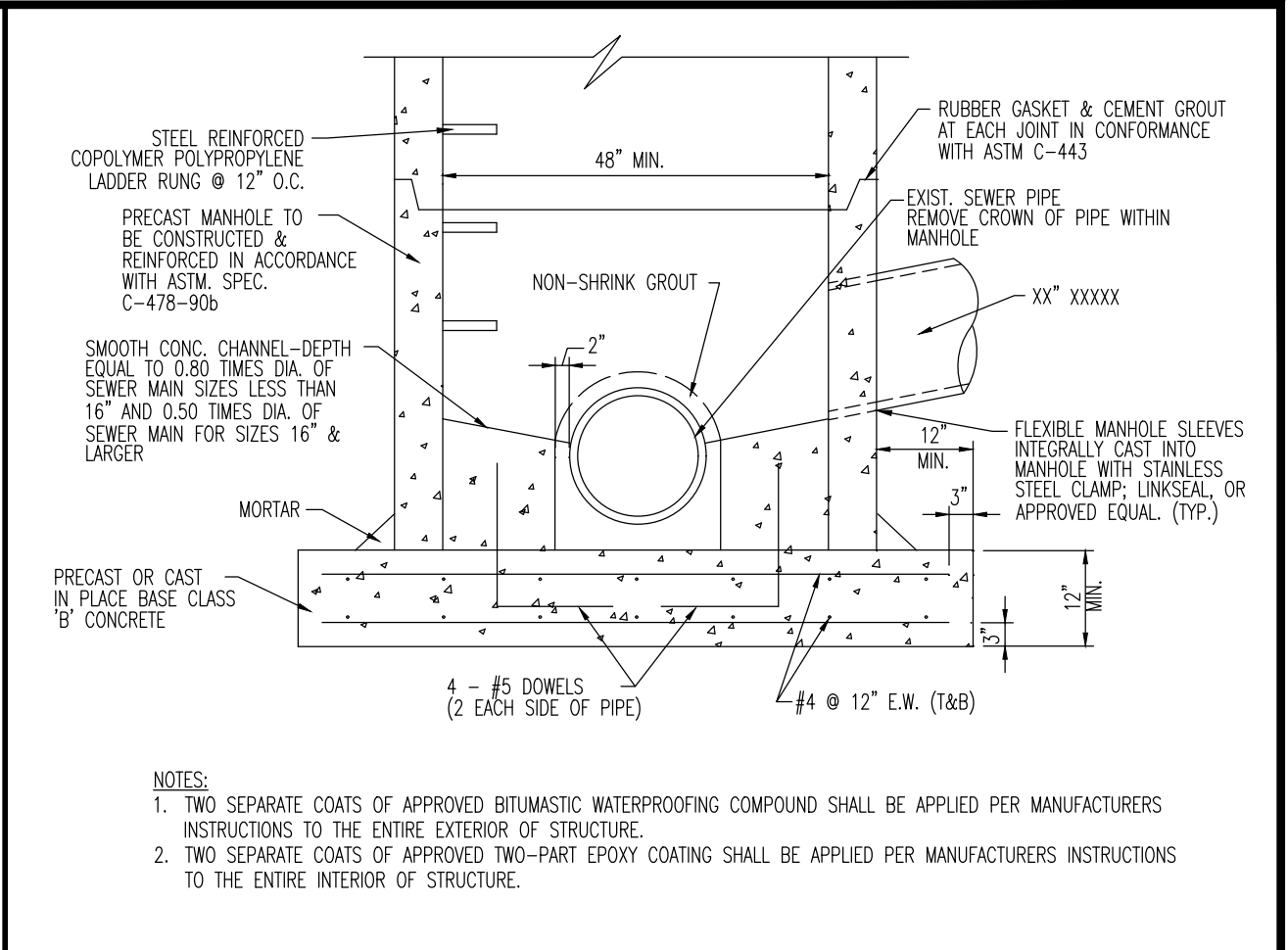
PRECAST SANITARY MANHOLE

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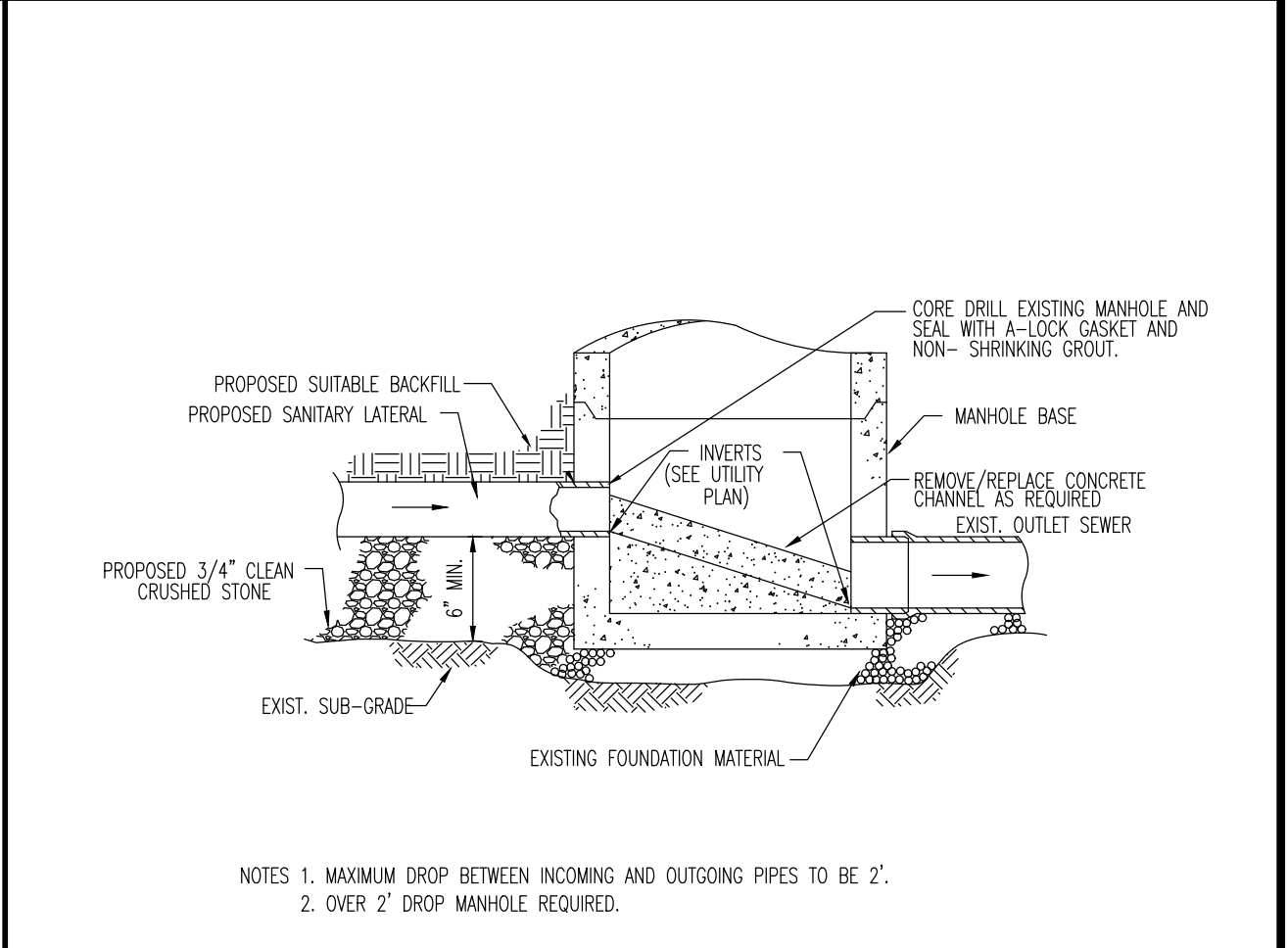
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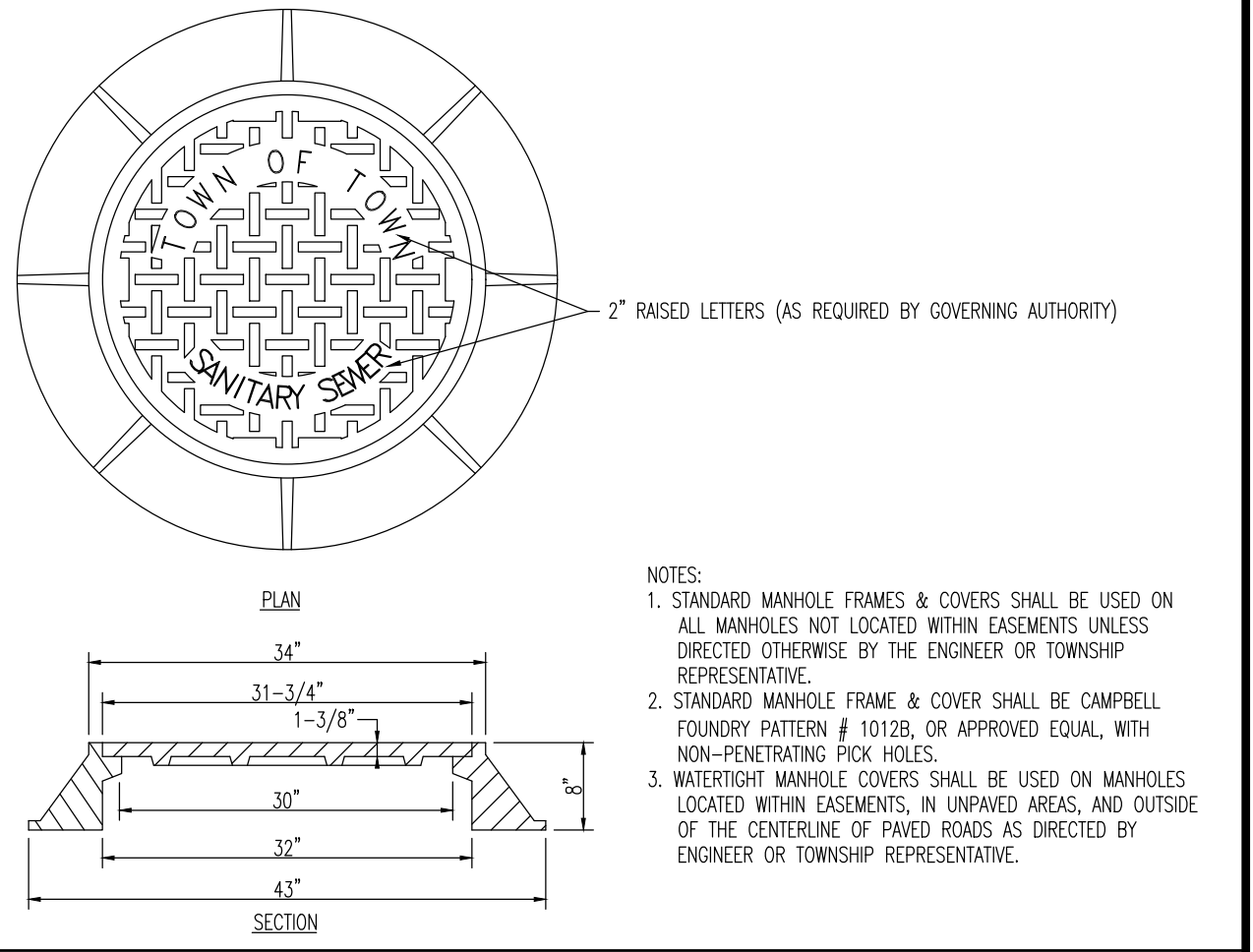
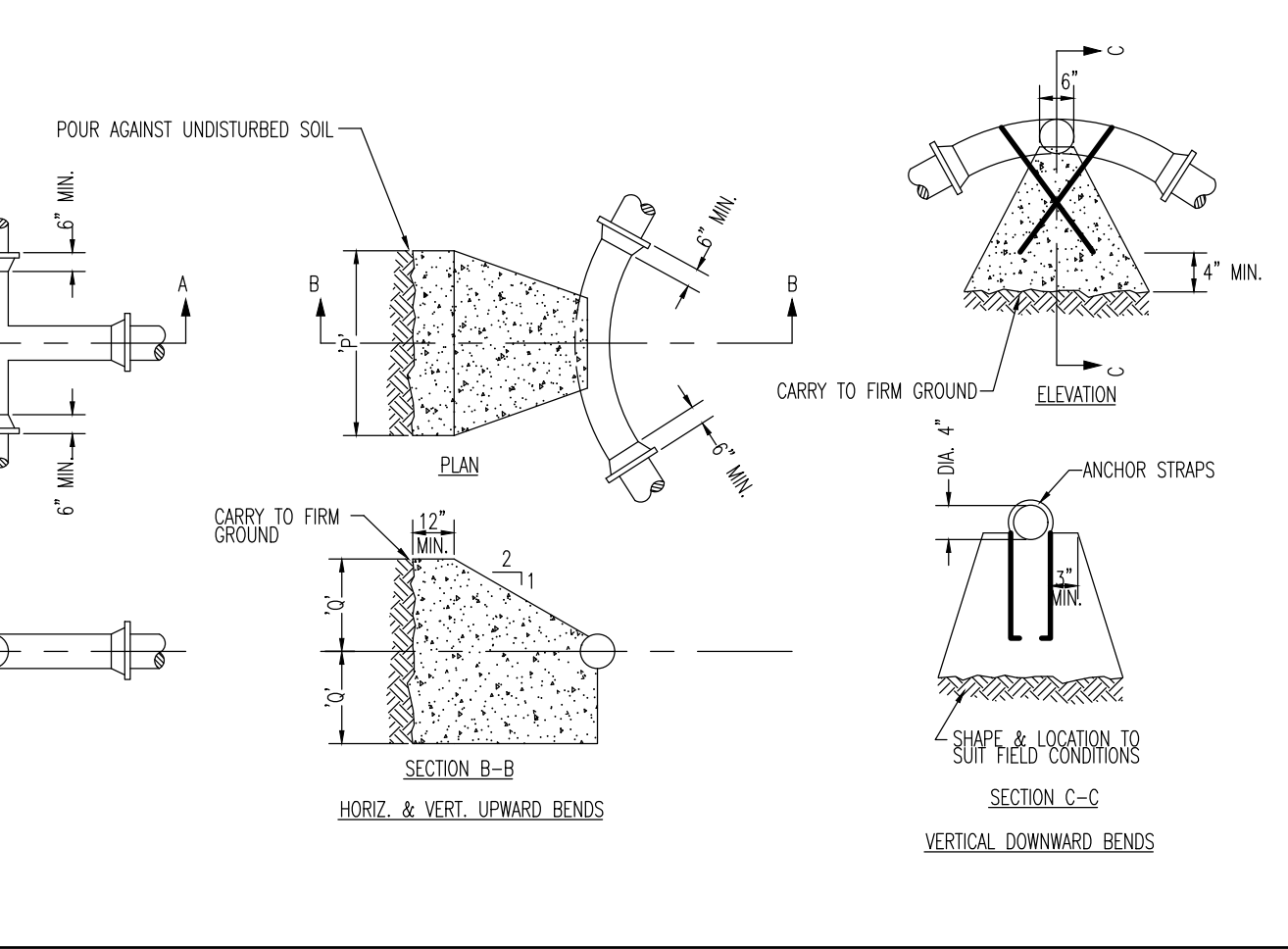
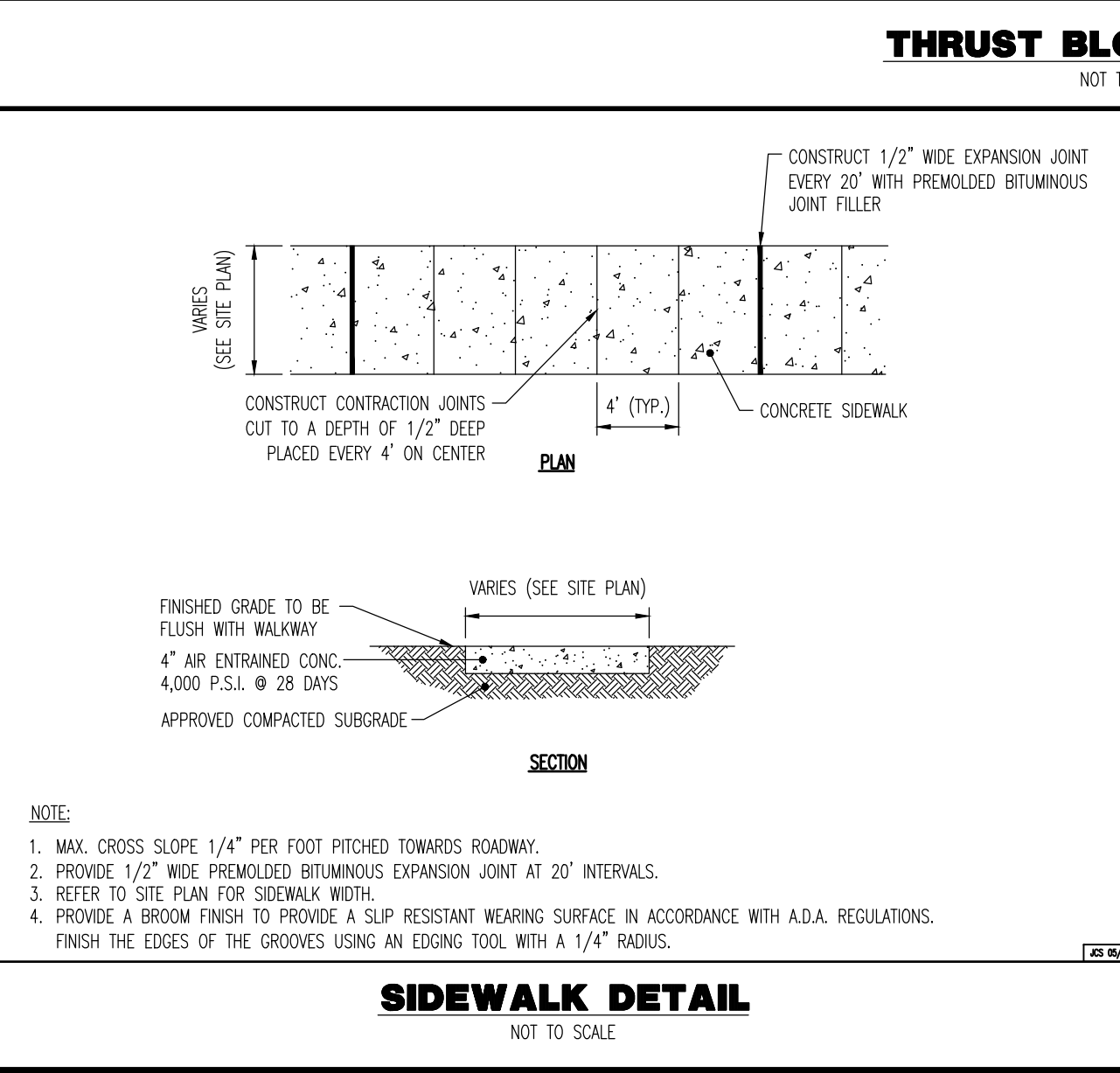
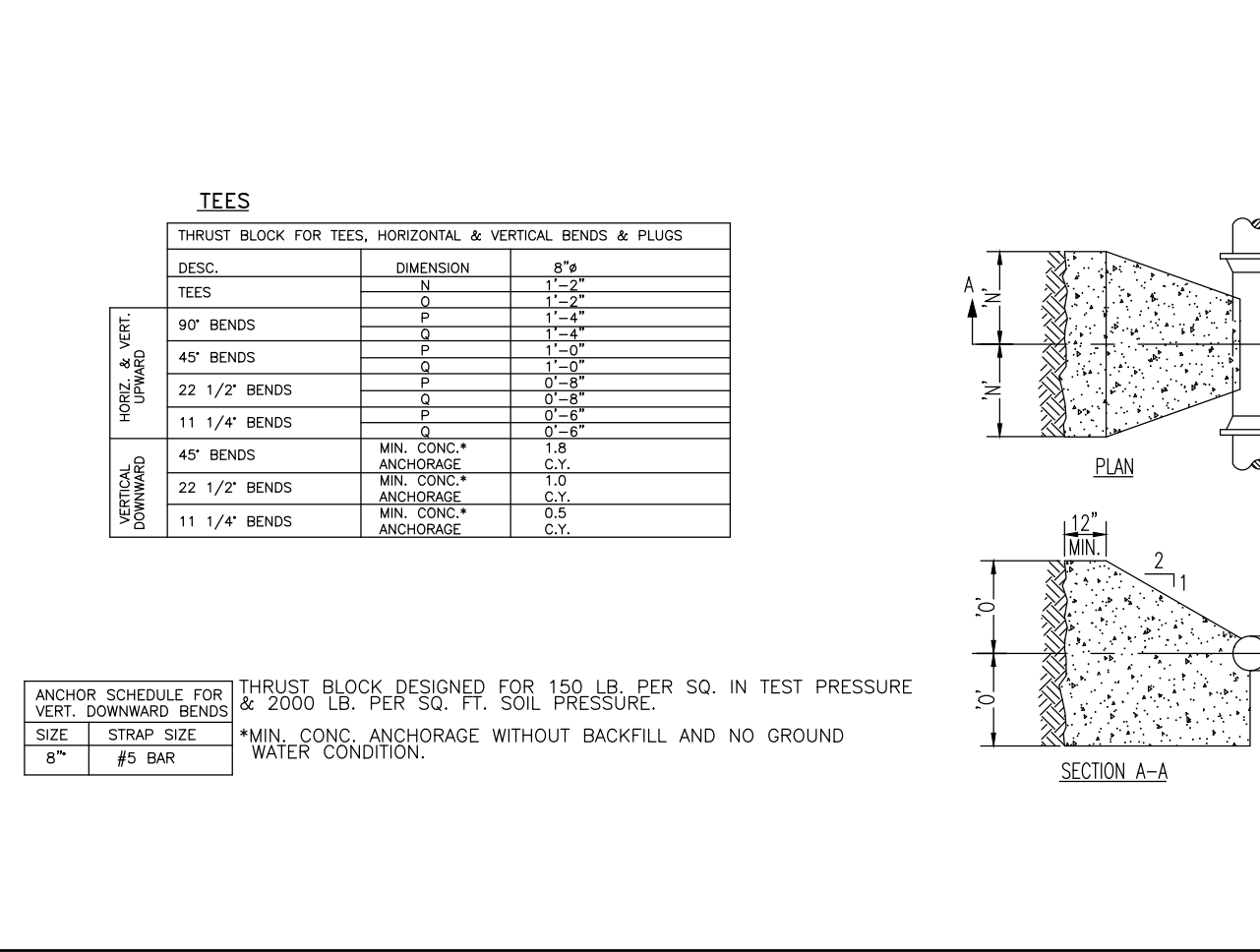
SANITARY SEWER DOGHOUSE MANHOLE DETAIL

NOT TO SCALE



SAN. LATERAL TO MH CONNECTION DETAIL

NOT TO SCALE



SANITARY MANHOLE FRAME DETAIL

NOT TO SCALE

SIGNAGE CHART

SIGN	REQUIREMENTS	PROPOSED
BUILDING MOUNTED	NUMBER OF FACADE SIGNS: N/S MAXIMUM FACADE SIGN AREA: - VALLEY STREET FRONTAGE 200 SF [2][4] - LACKAWANNA PLACE FRONTAGE 100 SF [2][4][5] - FOUNDERS PARK 120 SF [3] MAXIMUM PROJECTION: 6 IN	NUMBER OF SIGNS: FIVE (5) VALLEY STREET SIGN AREA: SOUTH ORANGE MURAL SIGN = 285 SF OFFICE SIGN = 40 SF COMMUNITY SIGN = 40 SF TOTAL SIGN AREA = 365 SF (V) LACKAWANNA PLACE SIGN AREA: 100 SF FOUNDERS PARK SIGN AREA: 120 SF SIGN PROJECTION: 6 IN
BLADE	NUMBER OF BLADE SIGNS: ONE (1) PER USE MAXIMUM BLADE SIGN AREA: 45 SF MAX. PROJECTION: 3 FT	NUMBER OF SIGNS: ONE (1) SIGN AREA: 45 SF PROJECTION: 3 FT
TOTAL	MINIMUM NUMBER OF SIGNS: ONE (1) PER USE [1]	NUMBER OF SIGNS: SIX (6)

N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE

[1] A MINIMUM OF ONE SIGN PER USE SHALL BE INSTALLED. COLORS AND/OR MATERIALS OF ALL SIGNS SHALL BE COMPLEMENTARY TO EACH OTHER. (REDEVELOPMENT PLAN § 7.4.A)

[2] THE TOTAL AREA OF MARKETING-RELATED SIGNS, INCLUDING WALL SIGNS, PROJECTING SIGNS, CANOPY SIGNS, AND WINDOW SIGNS SHALL NOT EXCEED 200 SF ON THE VALLEY STREET FRONTAGE, AND 100 SF ON THE LACKAWANNA PLACE FRONTAGE. (REDEVELOPMENT PLAN § 7.4.B)

[3] ONE SIGN RELATED TO THE COMMUNITY AND/OR PARK USES MAY BE PROVIDED ON THE SIDE FACADE FACING FOUNDERS PARK BUT SHALL NOT EXCEED 120 SF. MURALS ARE NOT SUBJECT TO THE MAXIMUM SIZE REQUIREMENT AND SHALL FOLLOW THE PROCEDURE ESTABLISHED IN THE CORRESPONDING VILLAGE ORDINANCE. (REDEVELOPMENT PLAN § 7.4.C)

[4] SIGNS MAY BE INSTALLED ABOVE THE GROUND FLOOR ARCHITECTURAL SIGN BAND AS ALLOWED BY THE APPROVING AUTHORITY BUT SHALL NOT EXCEED 100 SF ON LACKAWANNA PLACE AND 140 SF ON VALLEY STREET. (REDEVELOPMENT PLAN § 7.4.D)

[5] NO SIGNS SHALL BE PROVIDED OUTSIDE OF THE FRONT 60 LINEAR FEET OF THE LACKAWANNA PLACE FACADE. THIS SHALL NOT APPLY TO THOSE REQUIRED FOR SAFETY OR WAYFINDING, AS DETERMINED BY THE APPROVING AUTHORITY. (REDEVELOPMENT PLAN § 7.4.F)

[6] NO SIGN SHALL BE INTERNALLY ILLUMINATED. EXTERNAL FIXTURES AND/OR BACK-LIT CHANNEL LETTERS ARE ENCOURAGED. (REDEVELOPMENT PLAN § 7.4.G)

[7] ILLUMINATED SIGNAGE SHALL BE TURNED OFF BETWEEN THE HOURS OF 10PM AND 6AM WITH THE EXCEPTION OF THOSE REQUIRED FOR SAFETY OR WAYFINDING, AS DETERMINED APPROPRIATE BY THE APPROVING AUTHORITY. (REDEVELOPMENT PLAN § 7.4.H)

[8] UNLESS SPECIFIED IN THE REDEVELOPMENT PLAN, ALL SIGNAGE SHALL COMPLY WITH THE ARTICLE 185-XXIII OF THE VILLAGES LAND DEVELOPMENT ORDINANCE AT THE TIME OF EXECUTION OF THE REDEVELOPMENT AGREEMENT. (REDEVELOPMENT PLAN § 7.4.I)

[9] SIGNS THAT EXTEND ABOVE THE ROOFLINE OF A PARAPET OR BEYOND THE ENDS OF THE WALL TO WHICH THEY ARE ATTACHED ARE PROHIBITED, UNLESS THEY ARE PROJECTING SIGNS. (§ 185-141.B)

[10] A SIGN MUST BE POSITIONED IN THE NATURAL ARCHITECTURAL SIGN BAND ON A BUILDING FACADE IF ONE EXISTS. IF SUCH SIGN BAND DOES NOT EXIST, THE BOTTOM OF THE SIGN MAY NOT BE POSITIONED TO GO MORE THAN 12 INCHES ABOVE THE TOP OF THE DISPLAY WINDOW. (§ 185-141.A.1)

[11] NO SIGN MAY CONSIST OF MORE THAN 6 TOTAL COLORS, INCLUDING THE BACKGROUND COLOR, WITHOUT THE WRITTEN APPROVAL OF THE DESIGN REVIEW BOARD OR TECHNICAL REVIEW COMMITTEE. LETTERING MUST BE A CONSISTENT, LEGIBLE, AND PROFESSIONAL APPEARANCE. (§ 185-141.A.8)

[12] ALL WALL SIGNS MOUNTED ON A SIGN BOARD MUST HAVE A FINISHED EDGE. (§ 185-142.B.1)

[13] WALL SIGNS CONSISTING OF INDIVIDUAL LETTERS OR GRAPHICS MAY BE PAINTED ON BUILDINGS AND MUST ADHERE TO THE GUIDELINES ABOVE. THIS DOES NOT INCLUDE MURALS, WHICH ARE REGULATED BY SUBSECTION 8(1)(h). (§ 185-142.B.1.d)

[14] MURALS ARE PERMITTED ON EXTERIOR WALLS OF COMMERCIAL BUILDINGS IN B-1, B-2, B-3 AND REDEVELOPMENT ZONES SUBJECT TO DESIGN REVIEW AND APPROVAL BY THE VILLAGE ZONING OFFICIAL. THE NAME OF THE BUSINESS MAY NOT BE INCLUDED IN THE MURAL DESIGN. A 10-TO-SCALE DRAWING OF THE MURAL AND SAMPLE SWATCHES OF THE PAINT COLORS TO BE USED MUST BE SUBMITTED FOR APPROVAL BEFORE PERMIT IS APPROVED. (§ 185-142.B.1.b)

[15] THE AREA OF A SIGN SHALL BE COMPUTED AS THE TOTAL SQUARE FOOT CONTENT OF THE BACKGROUND UPON WHICH THE LETTERING, ILLUSTRATION OR DISPLAY IS PRESENTED, INCLUDING MOUNTING ON FRAMES. (§ 185-145.A)

[16] THE AREA OF A SIGN CONTAINING INDIVIDUAL LETTERS SHALL BE COMPUTED AS THE TOTAL SQUARE FOOT AREA OF THE SMALLEST RECTANGLE WHICH CAN ENCLOSE ALL OF THE LETTERS OR FIGURES. (§ 185-145.B)

[17] WHEN THE NAME OR ADVERTISING MESSAGE IS DIVIDED INTO A NUMBER OF PANELS OR PARTS, IT SHALL BE CONSIDERED AS ONE SIGN. (§ 185-145.C)

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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TITLE: **CONSTRUCTION DETAILS**

PROJECT: **STORAGE PLATFORM, LLC
PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES**
BLOCK 2-305, LOTS 1, 2, 3, 4, 1-3 & 1-4
256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE
TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY

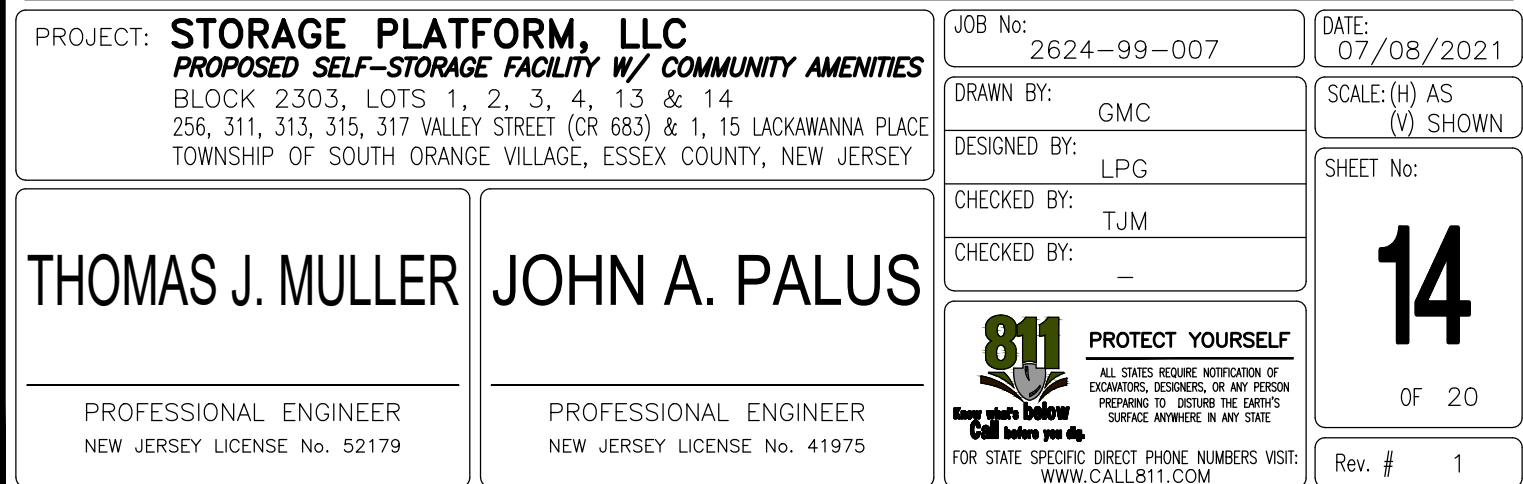
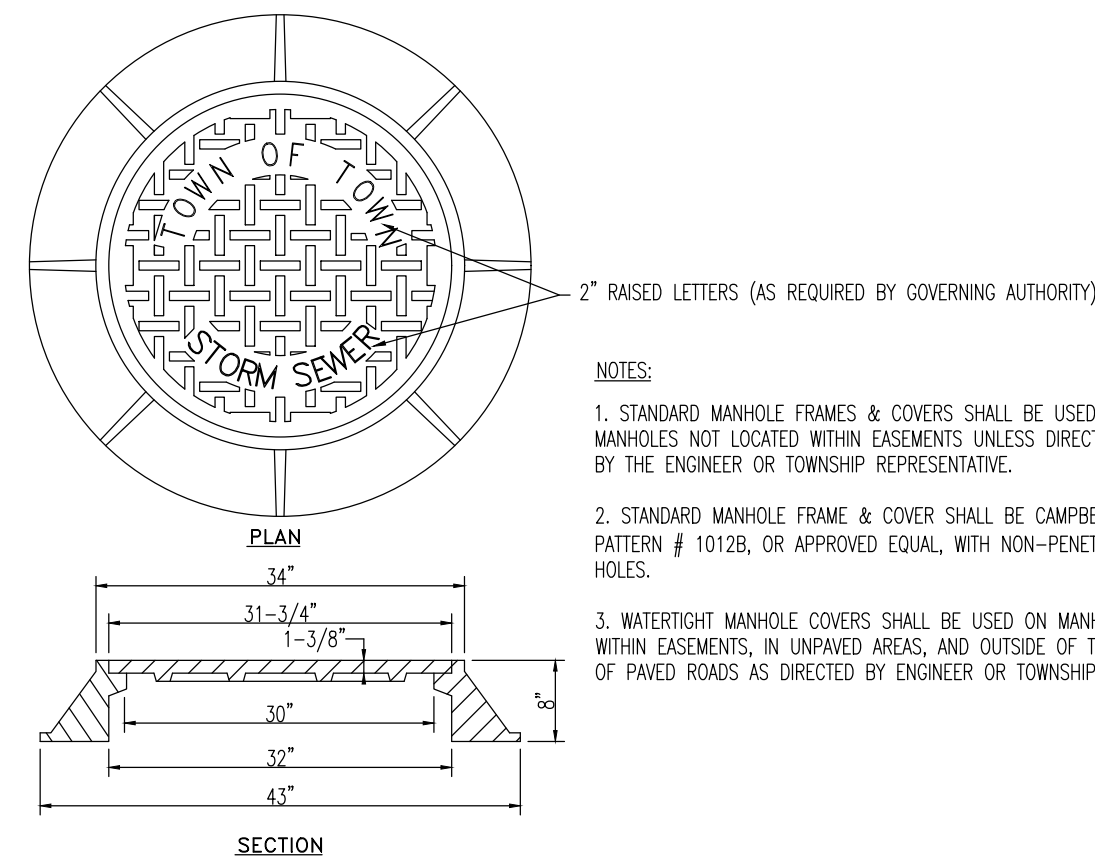
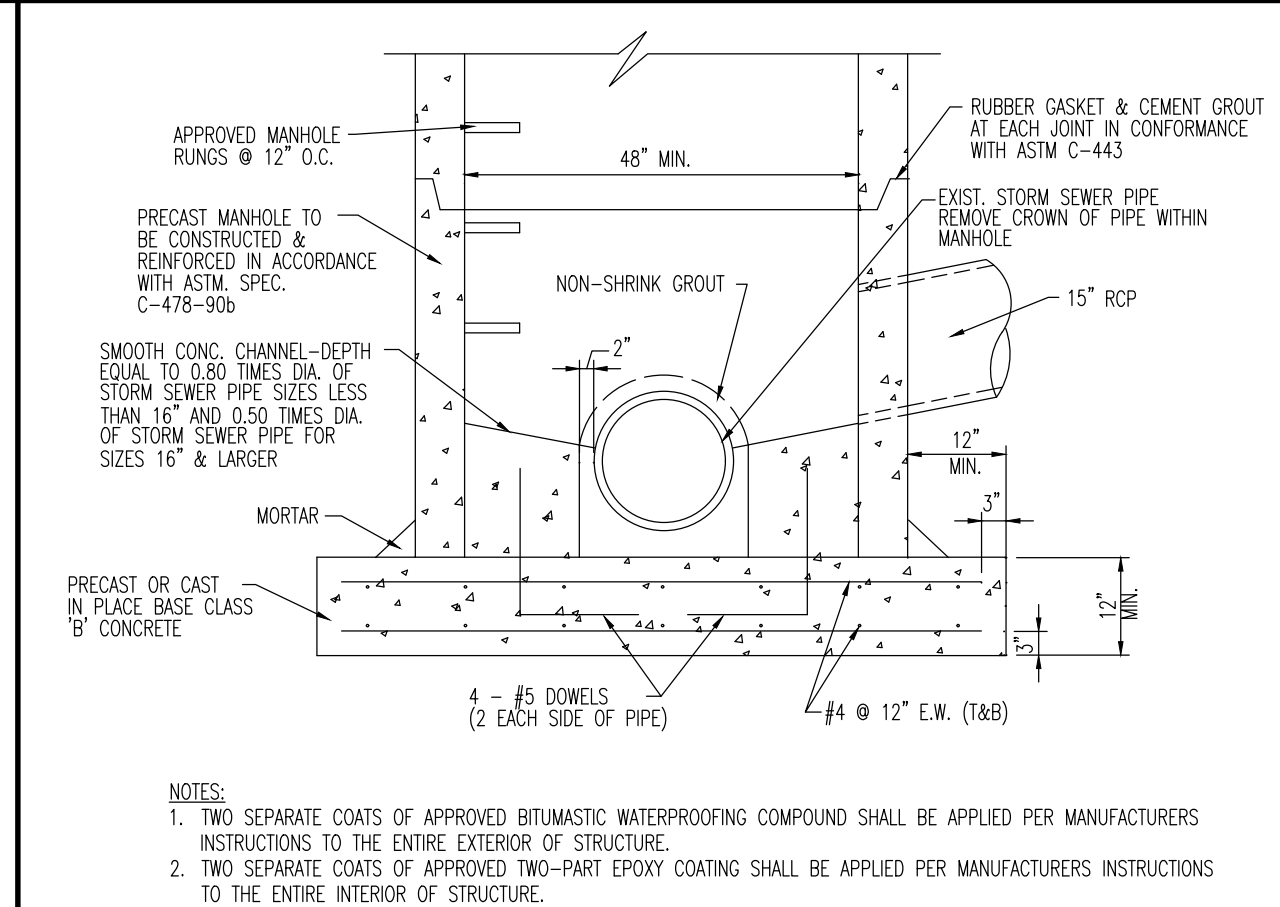
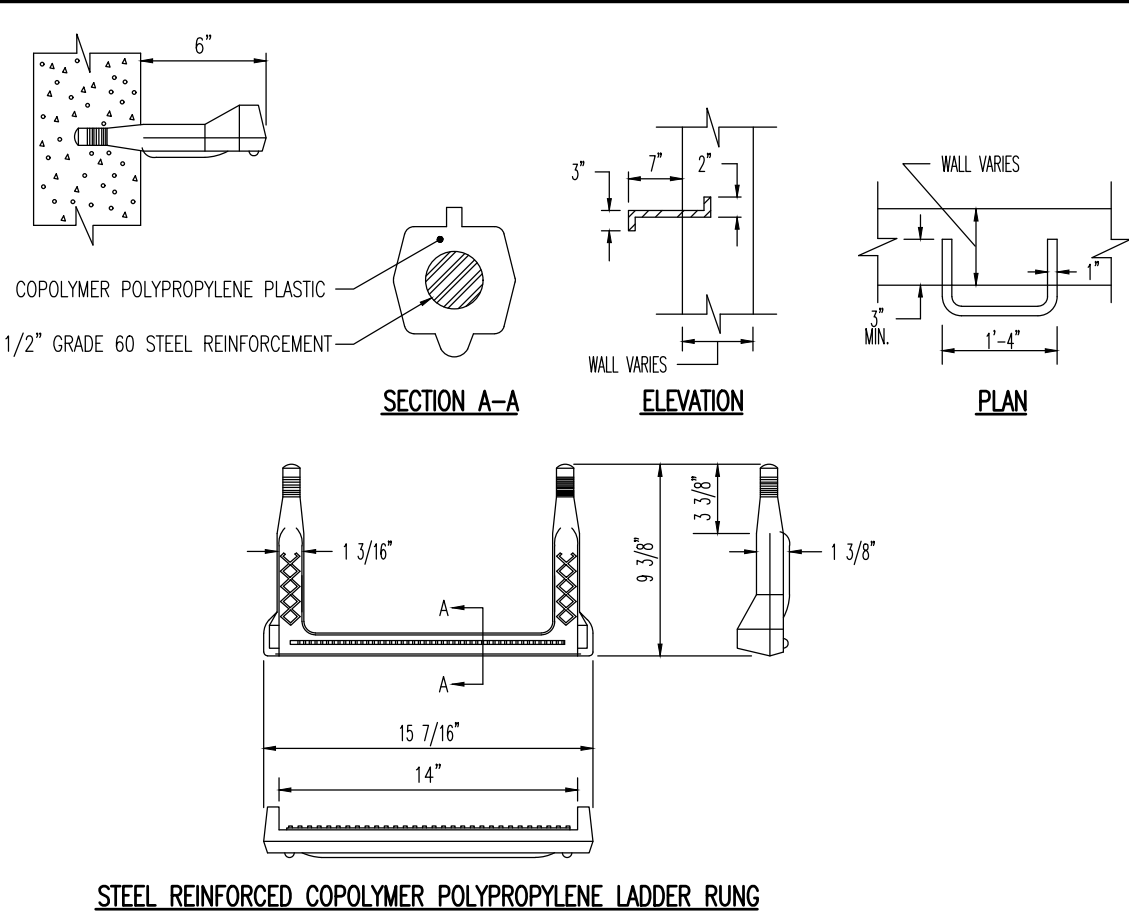
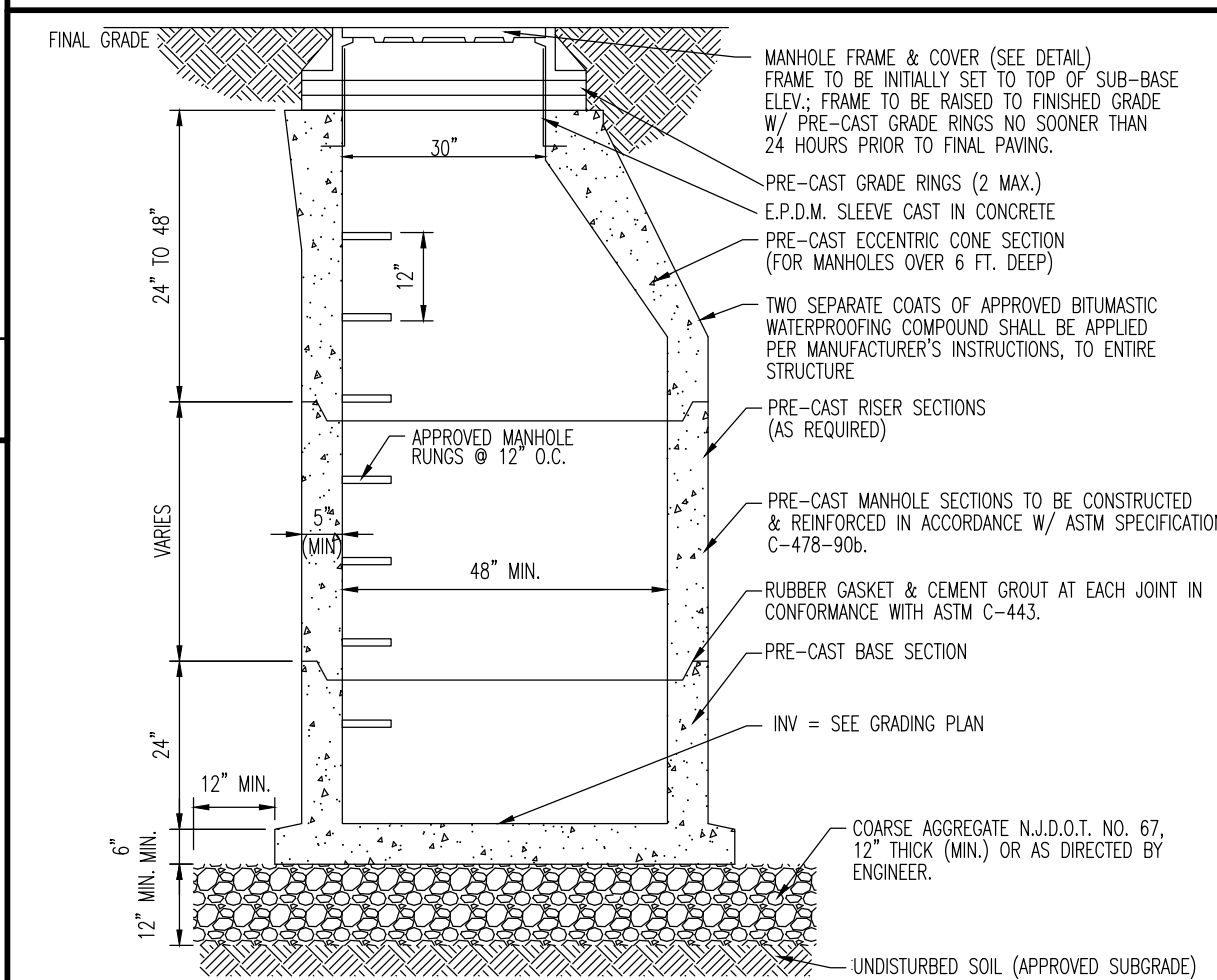
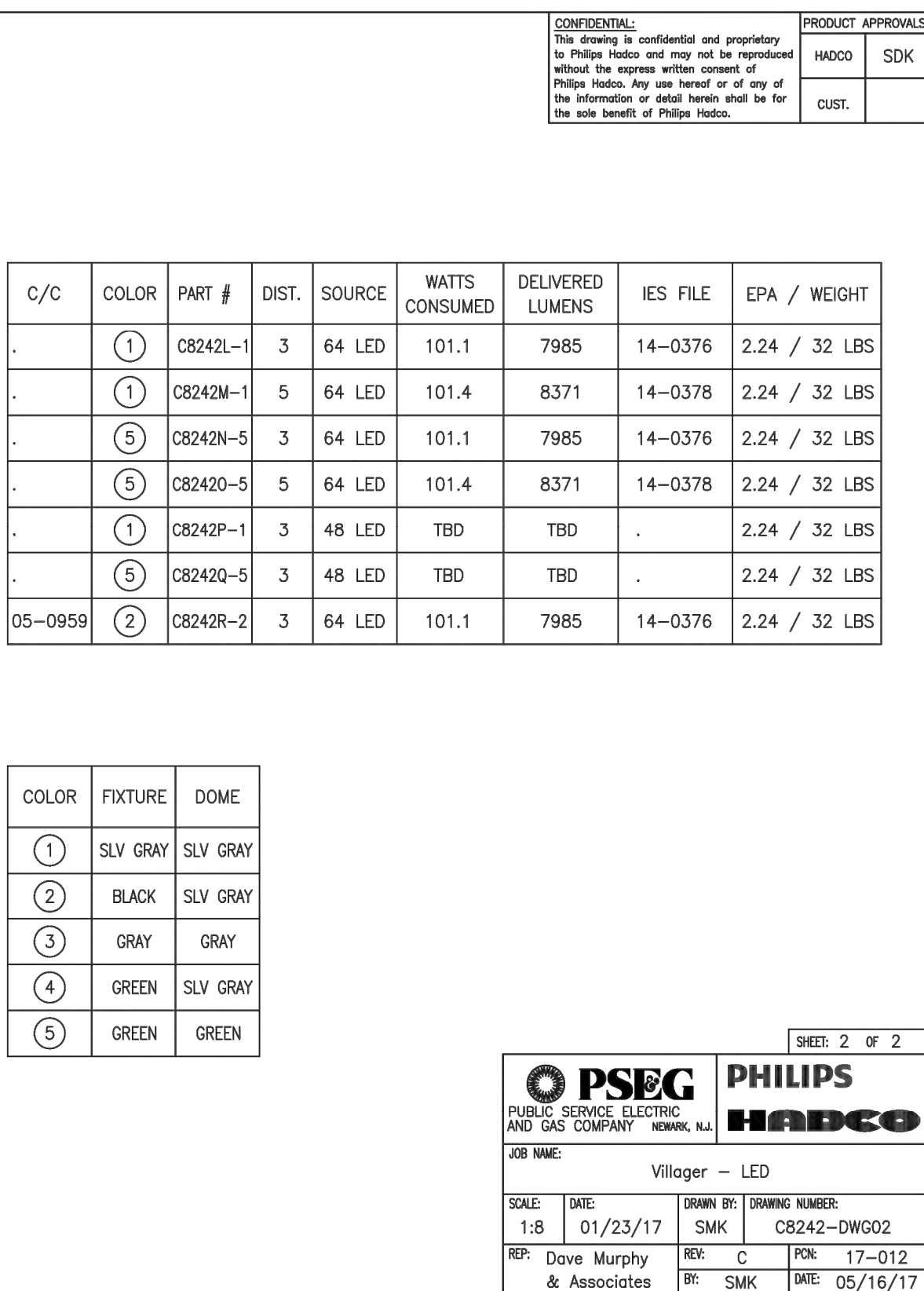
JOB No: 2624-99-007
DATE: 07/08/2021
DRAWN BY: GMC
SCALE: (H) AS SHOWN
DESIGNED BY: LMG
SHEET No: 13
CHECKED BY: TJM
CHECKED BY: —

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Rev. # 1



MAMMOTH LED

DATE: PROJECT: TYPE:

CATALOG NUMBER LOGIC:

CATALOG NUMBER LOGIC	
Example: MA - LED - x43 - FL - SAP - 12 - 11/11 - B	
MATERIAL	
Aluminum	
SOURCE	
LED - with Chip on Board Construction	
SERIES	
MA - Mammoth	
LED TYPE	
x43 - 34W LED/2700K x46 - 42W LED/2700K x48 - 57W LED/2700K	
x44 - 34W LED/3000K x47 - 42W LED/3000K x50 - 57W LED/3000K	
x45 - 34W LED/4000K x48 - 42W LED/4000K x51 - 57W LED/3000K	
OPTICS	
NSP - Narrow Spot (18°) FL - Flood (40°)	
NFL - Narrow Flood (25°) WFL - Wide Flood (60°)	
FINISH (See page 2 for full-color swatches)	
Standard Finishes (B2P, B2W, BLF, BLW, WHP, WHW, SAP, VER)	
Premium Finish (ABP, AMG, ACW, BCM, BGE, BPP, CAP, CMG, CHL, CRM, HUG, MDS, NBP, OCP, RMG, SDS, SMO, TAP, WCP, WHI)	
Also available in RAL Finishes	
LENS TYPE	
12 - Soft Focus	
SHIELDING*	
11 - Honeycomb Baffle	
CAP STYLE	
B - 90°	
C - Flush	
E - 90° Less Weephole (interior use only)	

*Accommodates up to 2 shielding media. Two shielding prices required.

MAMMOTH LED

DATE: PROJECT: TYPE:

CATALOG NUMBER LOGIC:

CATALOG NUMBER LOGIC	
Example: MA - LED - x43 - FL - SAP - 12 - 11/11 - B	
MATERIAL	
Aluminum	
SOURCE	
LED - with Chip on Board Construction	
SERIES	
MA - Mammoth	
LED TYPE	
x43 - 34W LED/2700K x46 - 42W LED/2700K x48 - 57W LED/2700K	
x44 - 34W LED/3000K x47 - 42W LED/3000K x50 - 57W LED/3000K	
x45 - 34W LED/4000K x48 - 42W LED/4000K x51 - 57W LED/3000K	
OPTICS	
NSP - Narrow Spot (18°) FL - Flood (40°)	
NFL - Narrow Flood (25°) WFL - Wide Flood (60°)	
FINISH (See page 2 for full-color swatches)	
Standard Finishes (B2P, B2W, BLF, BLW, WHP, WHW, SAP, VER)	
Premium Finish (ABP, AMG, ACW, BCM, BGE, BPP, CAP, CMG, CHL, CRM, HUG, MDS, NBP, OCP, RMG, SDS, SMO, TAP, WCP, WHI)	
Also available in RAL Finishes	
LENS TYPE	
12 - Soft Focus	
SHIELDING*	
11 - Honeycomb Baffle	
CAP STYLE	
B - 90°	
C - Flush	
E - 90° Less Weephole (interior use only)	

*Accommodates up to 2 shielding media. Two shielding prices required.

MAMMOTH LED

DATE: PROJECT: TYPE:

CATALOG NUMBER LOGIC:

CATALOG NUMBER LOGIC	
Example: MA - LED - x43 - FL - SAP - 12 - 11/11 - B	
MATERIAL	
Aluminum	
SOURCE	
LED - with Chip on Board Construction	
SERIES	
MA - Mammoth	
LED TYPE	
x43 - 34W LED/2700K x46 - 42W LED/2700K x48 - 57W LED/2700K	
x44 - 34W LED/3000K x47 - 42W LED/3000K x50 - 57W LED/3000K	
x45 - 34W LED/4000K x48 - 42W LED/4000K x51 - 57W LED/3000K	
OPTICS	
NSP - Narrow Spot (18°) FL - Flood (40°)	
NFL - Narrow Flood (25°) WFL - Wide Flood (60°)	
FINISH (See page 2 for full-color swatches)	
Standard Finishes (B2P, B2W, BLF, BLW, WHP, WHW, SAP, VER)	
Premium Finish (ABP, AMG, ACW, BCM, BGE, BPP, CAP, CMG, CHL, CRM, HUG, MDS, NBP, OCP, RMG, SDS, SMO, TAP, WCP, WHI)	
Also available in RAL Finishes	
LENS TYPE	
12 - Soft Focus	
SHIELDING*	
11 - Honeycomb Baffle	
CAP STYLE	
B - 90°	
C - Flush	
E - 90° Less Weephole (interior use only)	

*Accommodates up to 2 shielding media. Two shielding prices required.

LAMP & DRIVER DATA (C26)

DATE: PROJECT: TYPE:

CATALOG NUMBER LOGIC:

CATALOG NUMBER LOGIC	
Example: MA - LED - x43 - FL - SAP - 12 - 11/11 - B	
MATERIAL	
Aluminum	
SOURCE	
LED - with Chip on Board Construction	
SERIES	
MA - Mammoth	
LED TYPE	
x43 - 34W LED/2700K x46 - 42W LED/2700K x48 - 57W LED/2700K	
x44 - 34W LED/3000K x47 - 42W LED/3000K x50 - 57W LED/3000K	
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NSP - Narrow Spot (18°) FL - Flood (40°)	
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Also available in RAL Finishes	
LENS TYPE	
12 - Soft Focus	
SHIELDING*	
11 - Honeycomb Baffle	
CAP STYLE	
B - 90°	
C - Flush	
E - 90° Less Weephole (interior use only)	

*Accommodates up to 2 shielding media. Two shielding prices required.

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MADE IN THE USA

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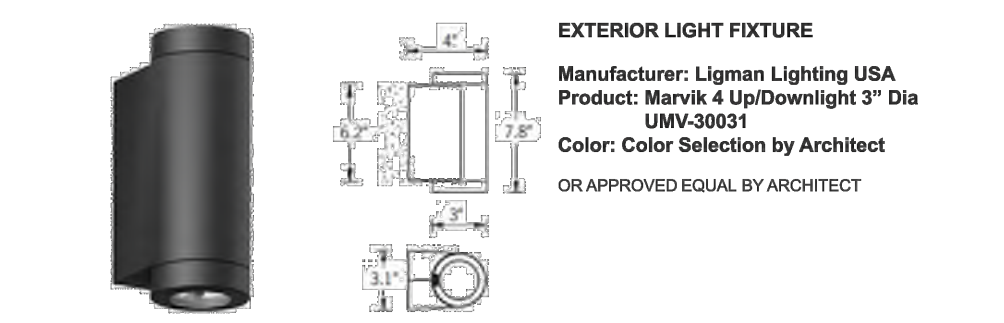
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SUB-266-00

WALL LIGHT DETAIL (MA-LED-45-FL)

NOT TO SCALE



EXTERIOR LIGHT FIXTURE
Manufacturer: Ligman Lighting USA
Product: **Marble 4 Up/Downlight 3" Dia**
UMV-30031
Color: Color Selection by Architect
OR APPROVED EQUAL BY ARCHITECT

architectural
a/s lighting

UCM2
ARCHITECTURAL AREA/SITE

FEATURES

• Reliable, uniform, illumination

• Types 1, 2, 3, 4W, 50, and 5W distributions

• 3000K, 4000K, 5000K CCT

• 0-5V dimming ready

• Integral surge protection 10k in parallel, 20k in series

• Upgrade kits

SPECIFICATIONS

CONSTRUCTION

• All housing components die cast aluminum

• 380 alloy, anodized with continuous silicone rubber gaskets

• Standard configurations do not require a flat lens, optional lenses are tempered glass

• All internal and external hardware is stainless steel

• Finish, fade and abrasion resistant, electrocoat, anodized, thermally cured, industrial lacquer/polymer (TIG) polyester powdercoat

• Optical beam finish matches the luminaire housing

LED OPTICS

• Optical control system consisting of a die cast heat sink, LED engine, T1 optics, gasket and steel plate

• Optics are held in place without the use of adhesives

• Modular design gasket ensures a weather proof seal around each individual LED

• Features individual LED optical control based on high performance T1 optical designs

• Black light control is available on Standard and Clear Lens options except any Type 1 distribution. Black light control is not available for any distribution using a Diffused Lens

INSTALLATION

• Fastened that are grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

KEY DATA

LUMEN RANGE 1831-9335

WATTAGE RANGE 31.52-71.6

EFFICIENCY RANGE 1415-118.5

INPUT CURRENT RANGE (max) 300-4000mA

WEIGHT 18 lbs. 41 kg to 27 lbs. 12.2 kg

EPA 53 to 105

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UCM2

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Hubbell
Lighting

architectural
a/s lighting

UCM2
ARCHITECTURAL AREA/SITE

ORDERING GUIDE

Example: UCM2-WND-BLU-F.R.3BL-420-407-2-CL-BL-WRSC-BL-2-D-UV

CATALOG #

HOUSING

UCM2

LED Quantity 180

LED Type 3000K, 4000K, 5000K

LED Power 3000W, 4000W, 5000W

LED CCT 3000K, 4000K, 5000K

LED Beam Angle 30°, 40°, 50°, 60°, 70°, 80°, 90°, 100°, 110°, 120°, 130°, 140°, 150°, 160°, 170°, 180°

LED Distribution Type 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

LED Lens Type 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

LED Lens Material 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

LED Lens Color 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

LED Lens Finish 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

LED Lens Mounting 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

LED Lens Mounting Material 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

LED Lens Mounting Color 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

LED Lens Mounting Finish 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

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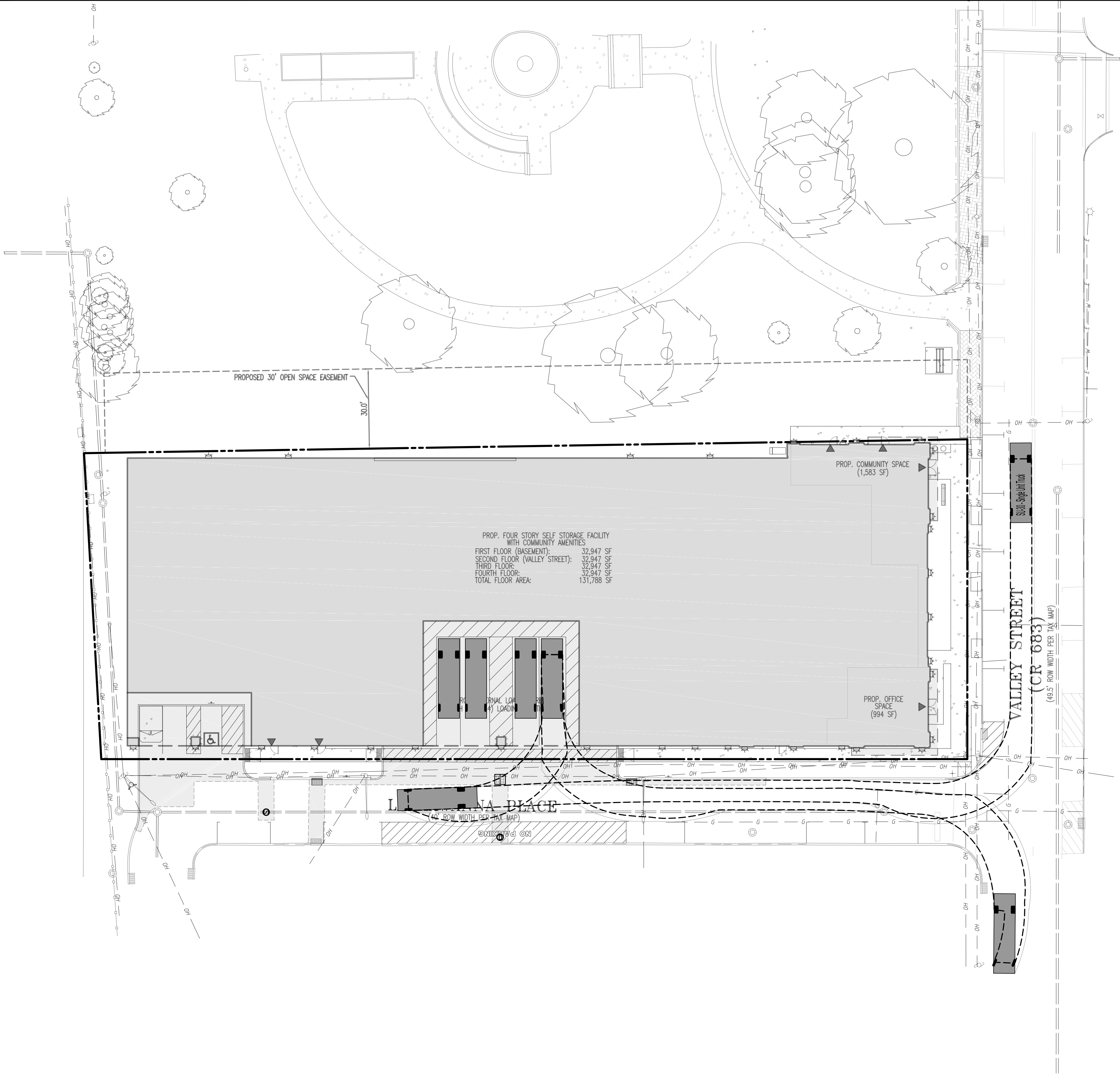
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LED Lens Mounting Mounting Color 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

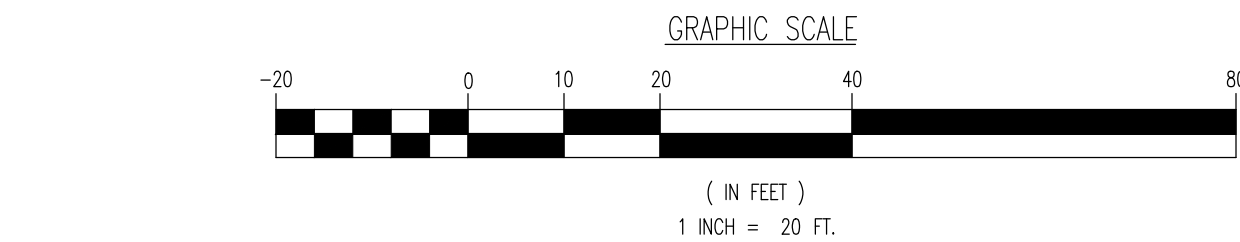
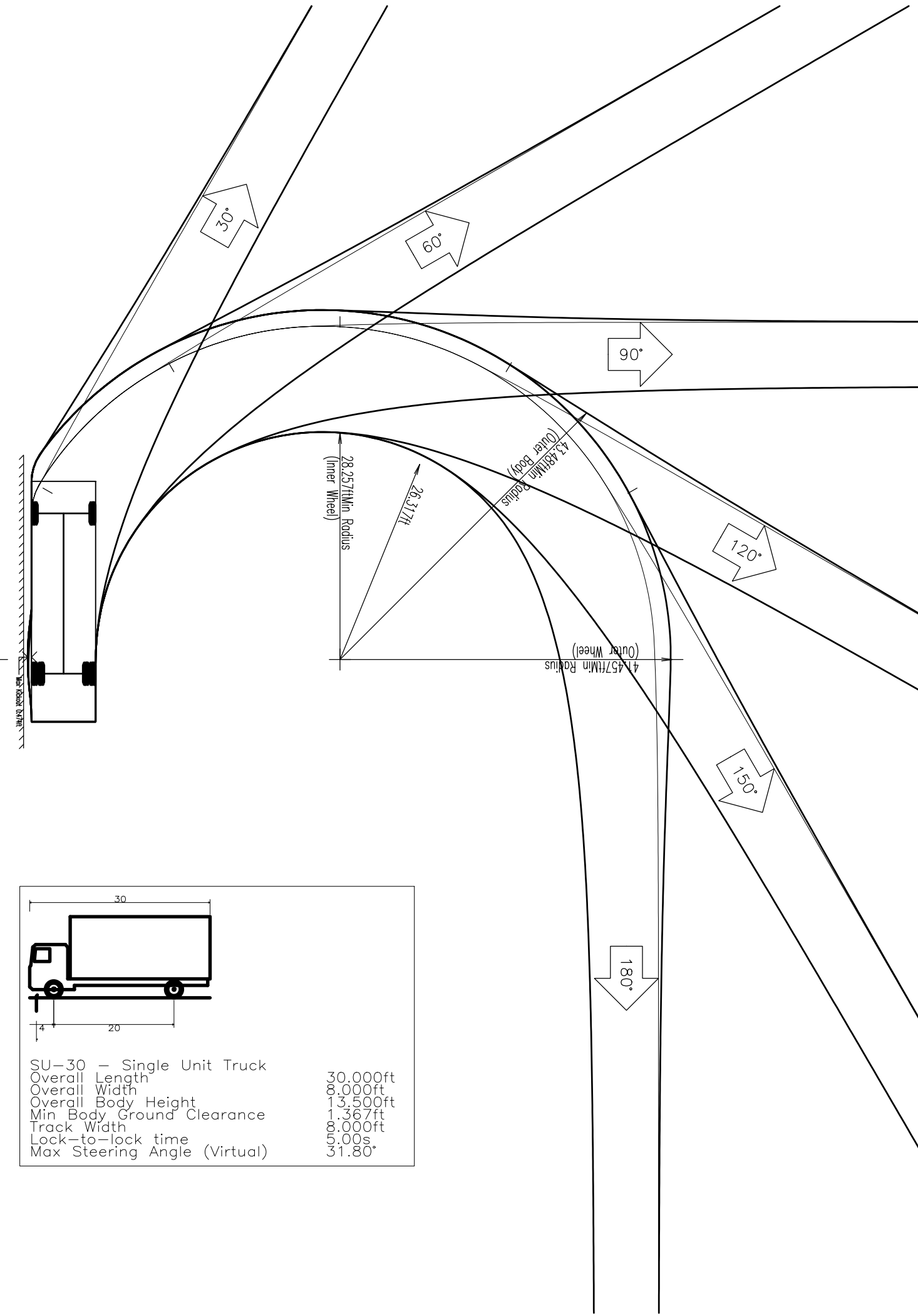
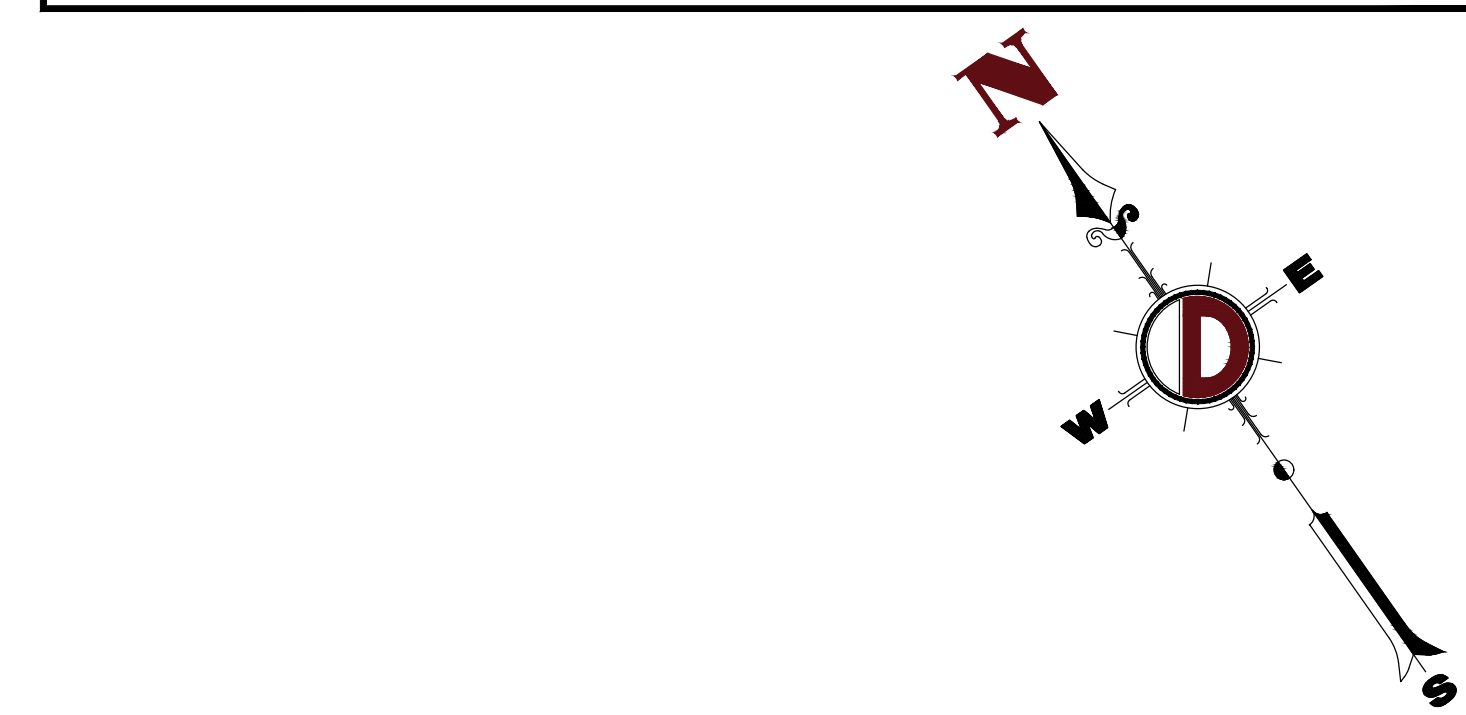
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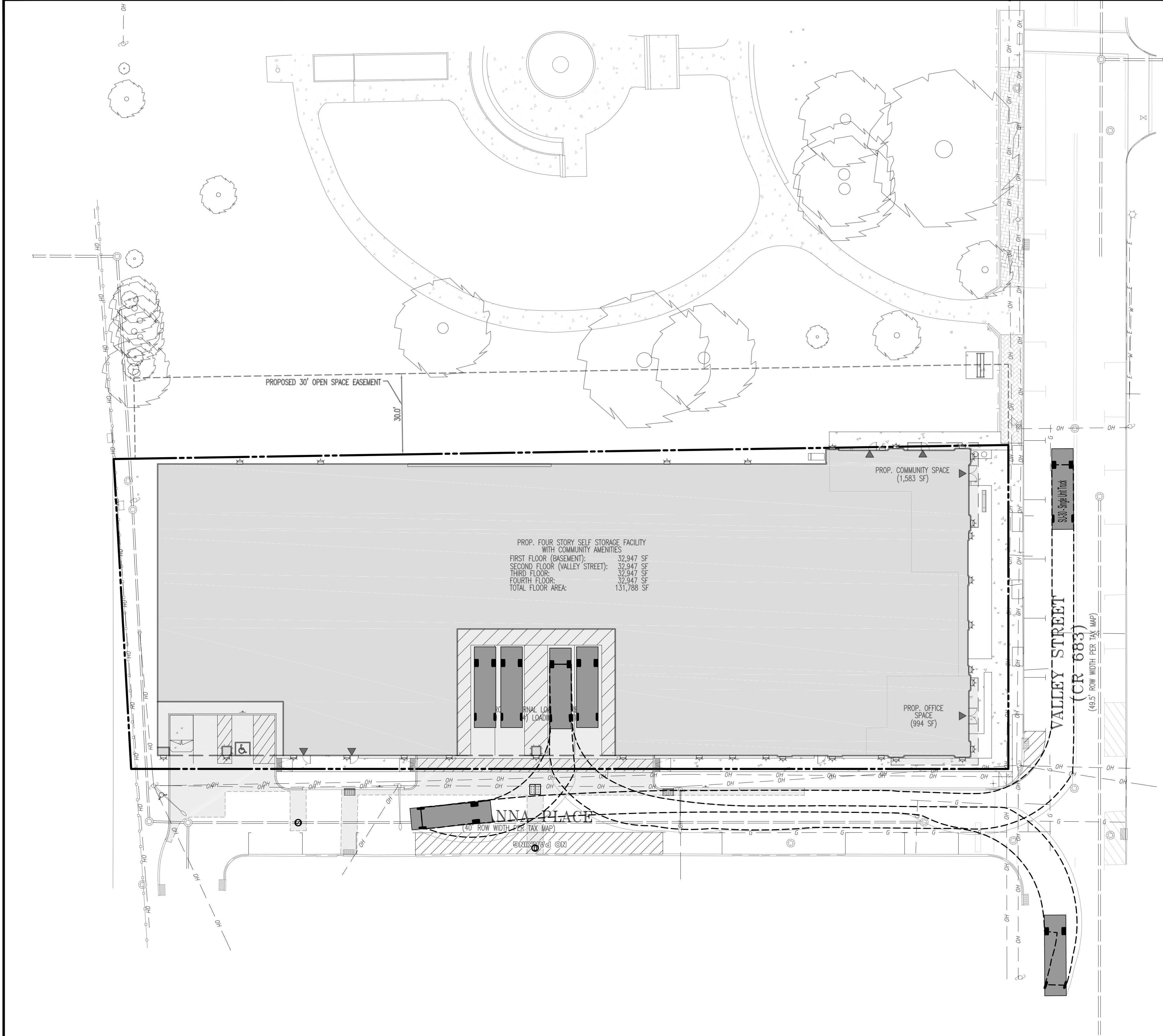
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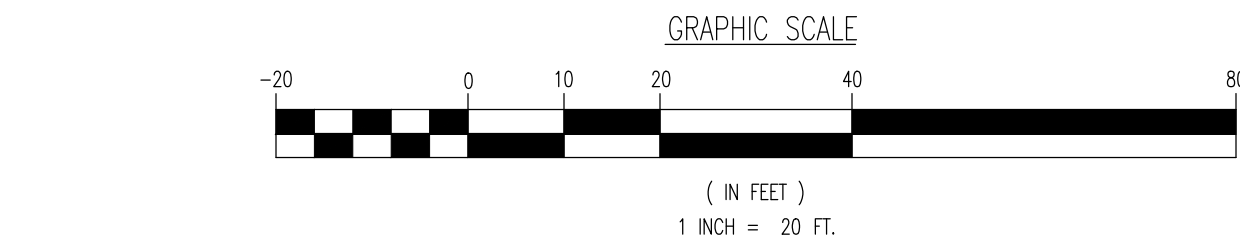
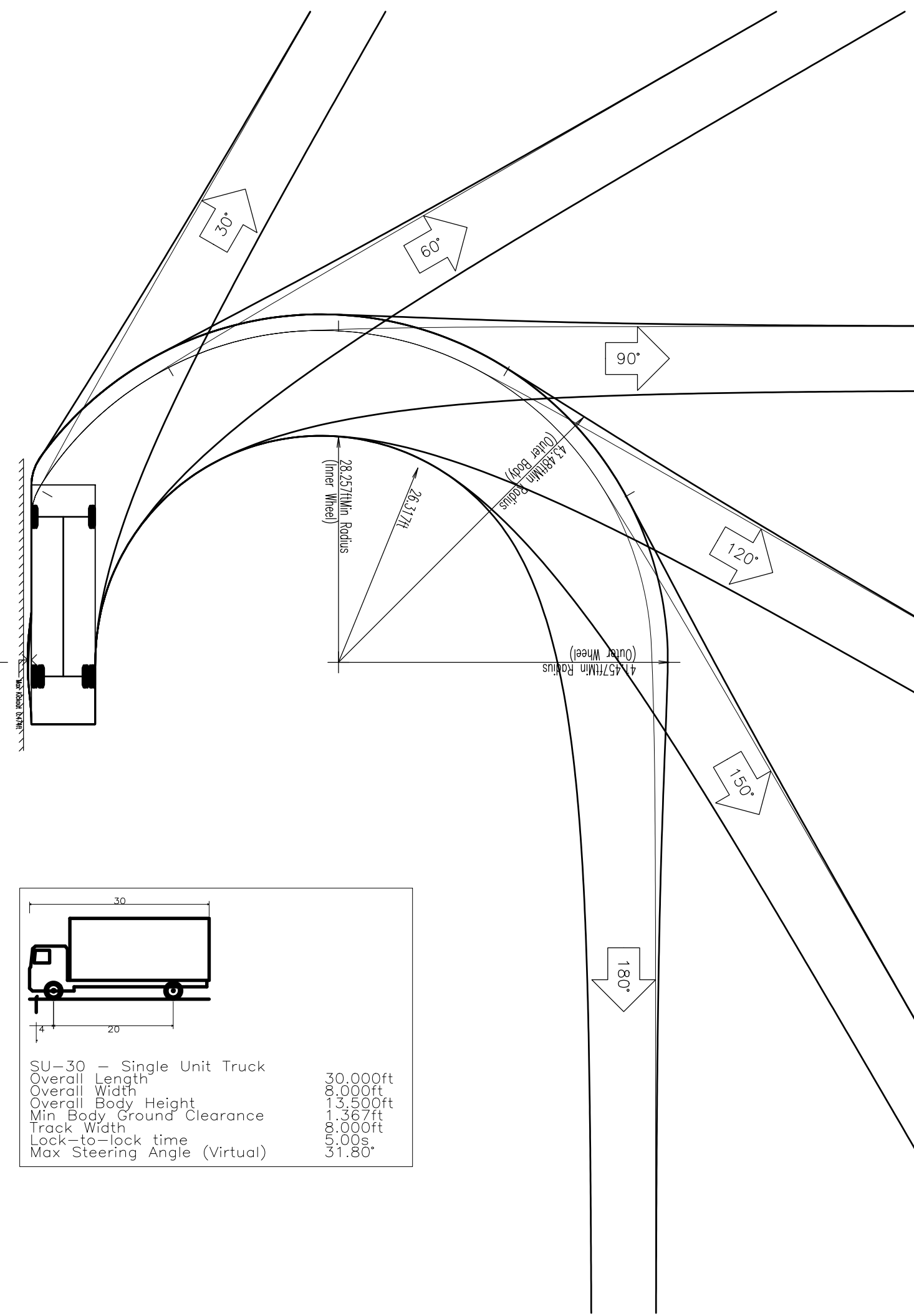
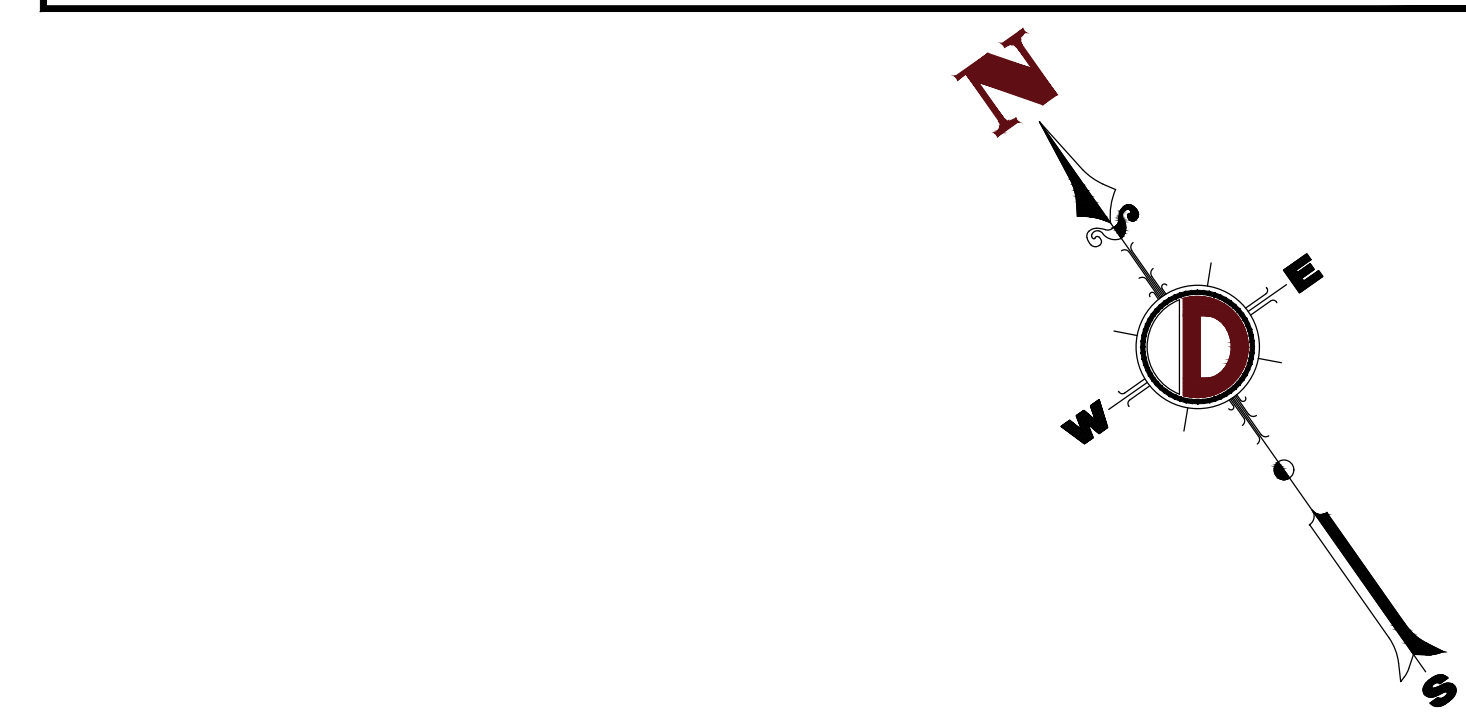
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PROJECT: STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES BLOCK 2.303, LOTS 1, 2, 3, 4, 13 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY		JOB No: 2624-99-007 DATE: 07/08/2021 DRAWN BY: GMC SCALE: (H) 1"=20' (V) DESIGNED BY: LPG SHEET No: 16 CHECKED BY: TJM OF 20 CHECKED BY: -	
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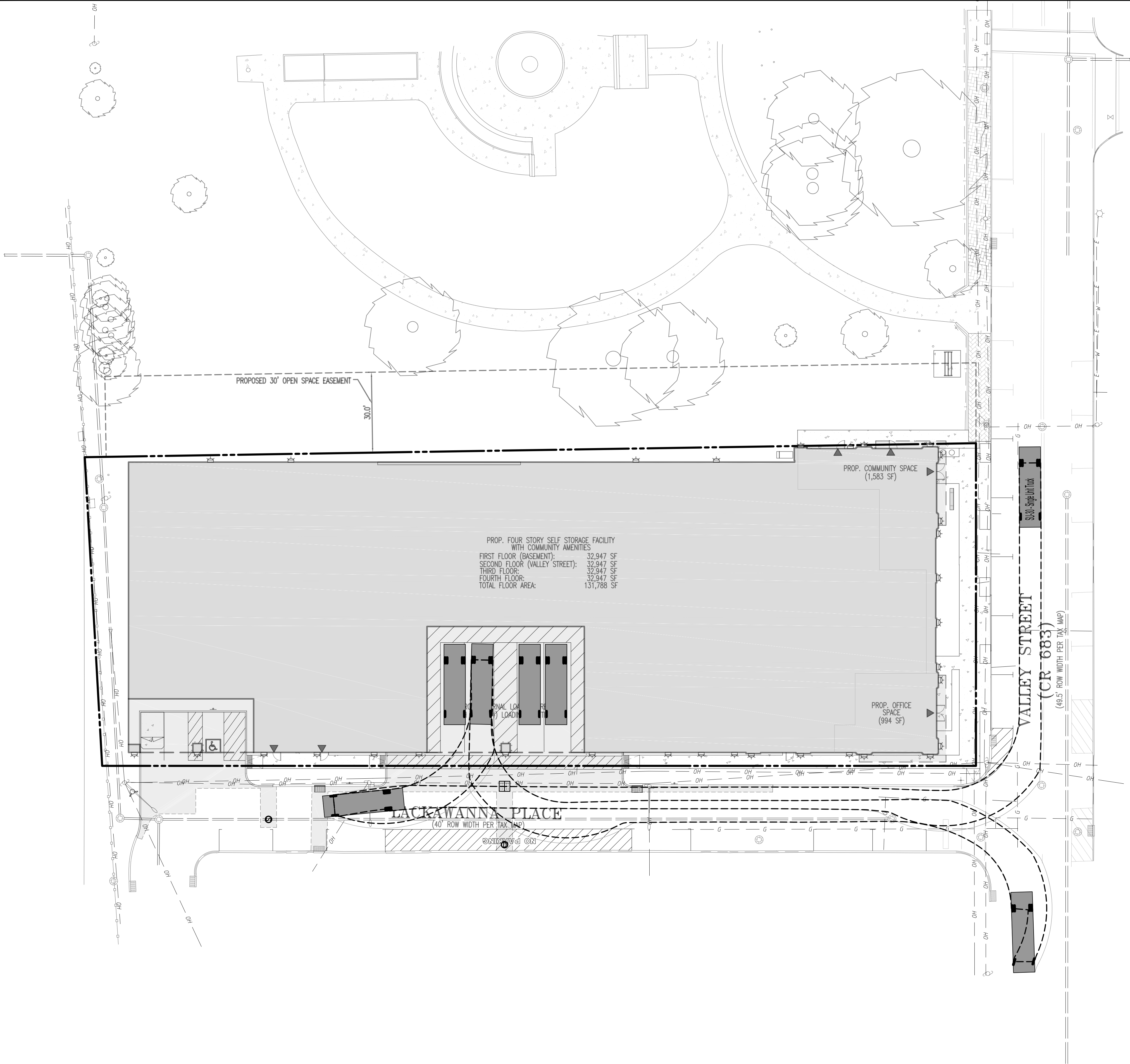


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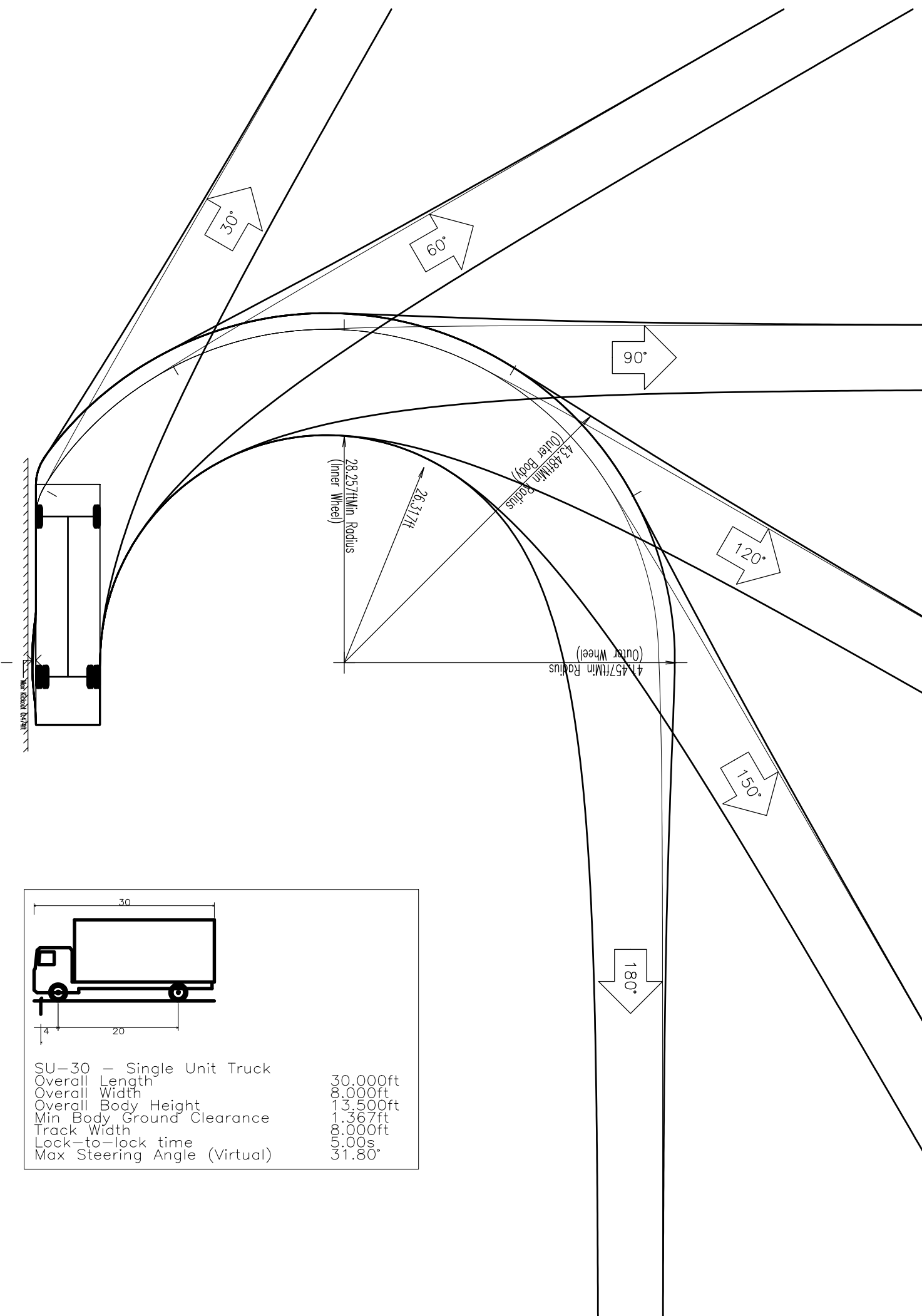
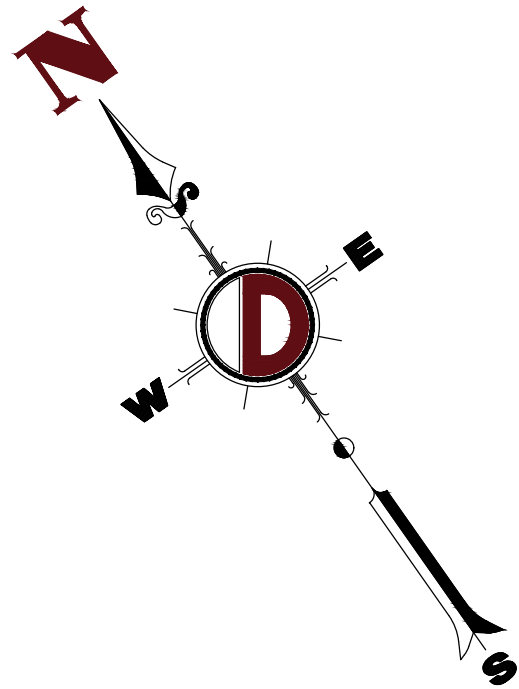
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PROJECT: STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES BLOCK 2.303, LOTS 1, 2, 3, 4, 13 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY		JOB No: 2624-99-007 DATE: 07/08/2021 DRAWN BY: GMC SCALE: (H) 1"=20' (V) DESIGNED BY: LPG SHEET No: 17 CHECKED BY: TJM OF 20 CHECKED BY: -	
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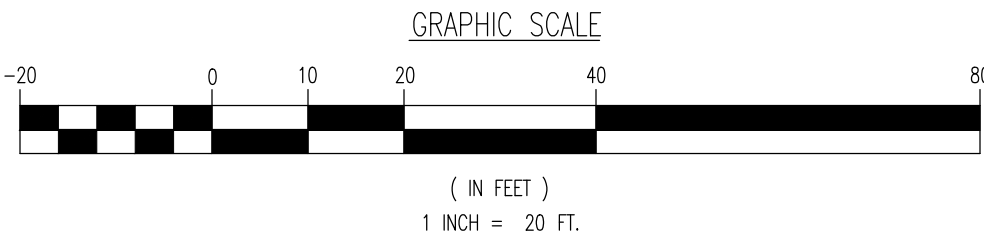
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SU-30 - Single Unit Truck	
Overall Length	30.000ft
Overall Width	8.000ft
Overall Body Height	7.500ft
Min Body Ground Clearance	3.500ft
Track Width	6.000ft
Look-to-lock time	4.000s
Max Steering Angle (Virtual)	31.86°

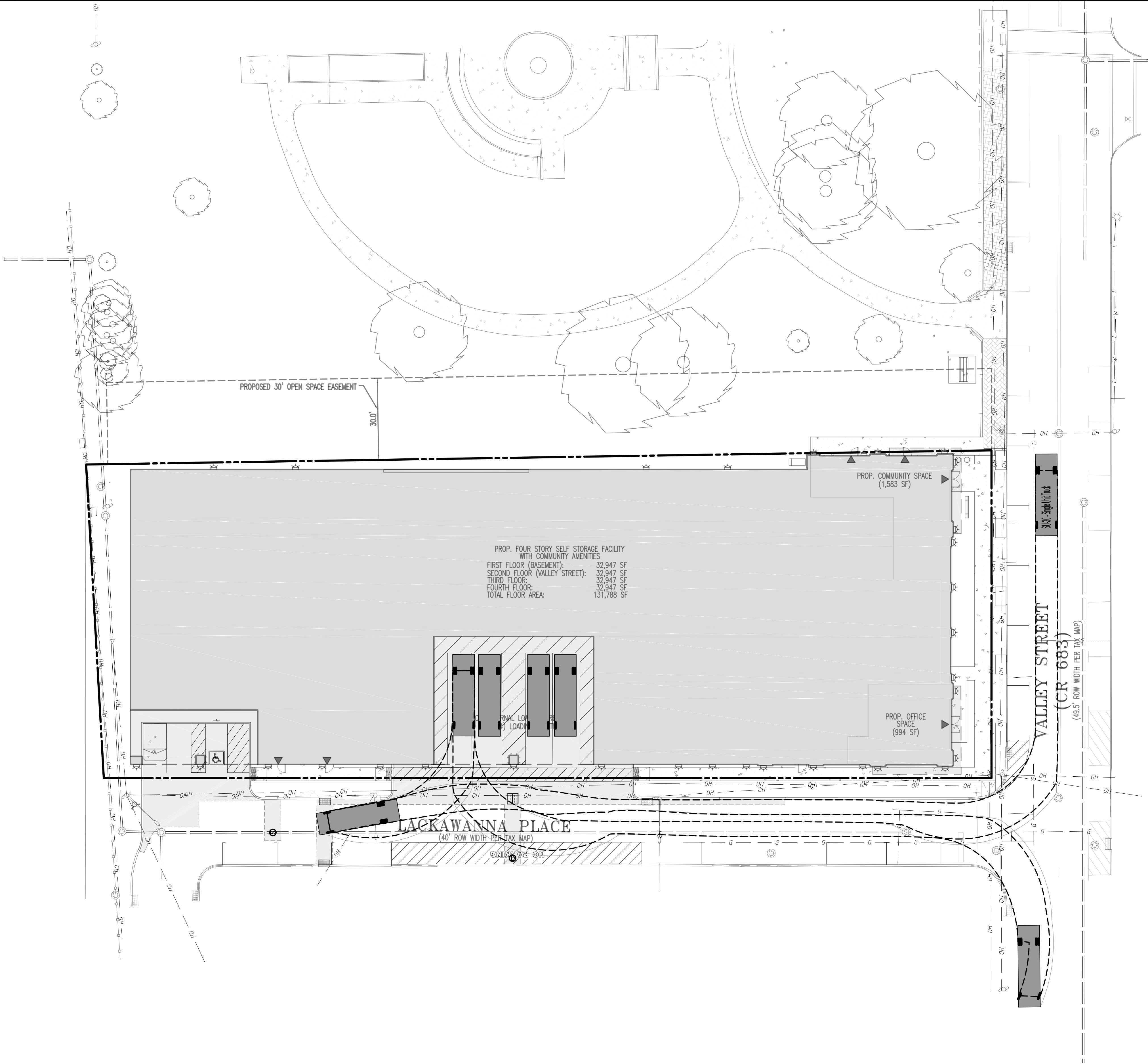


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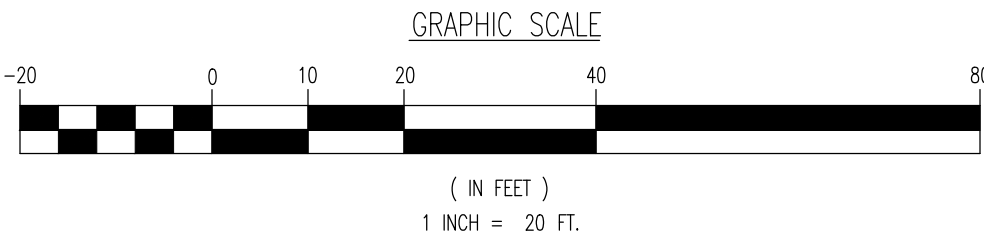
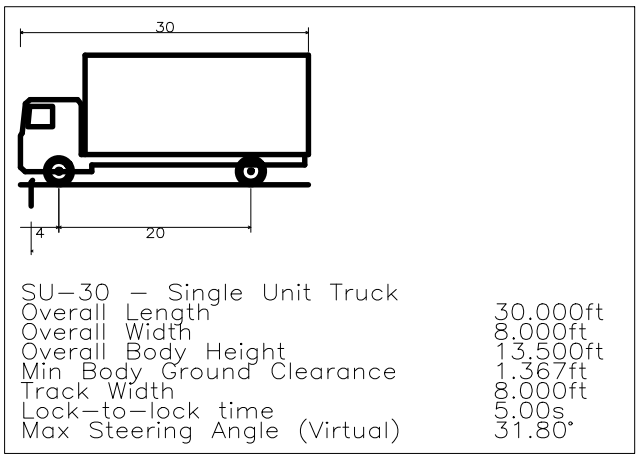
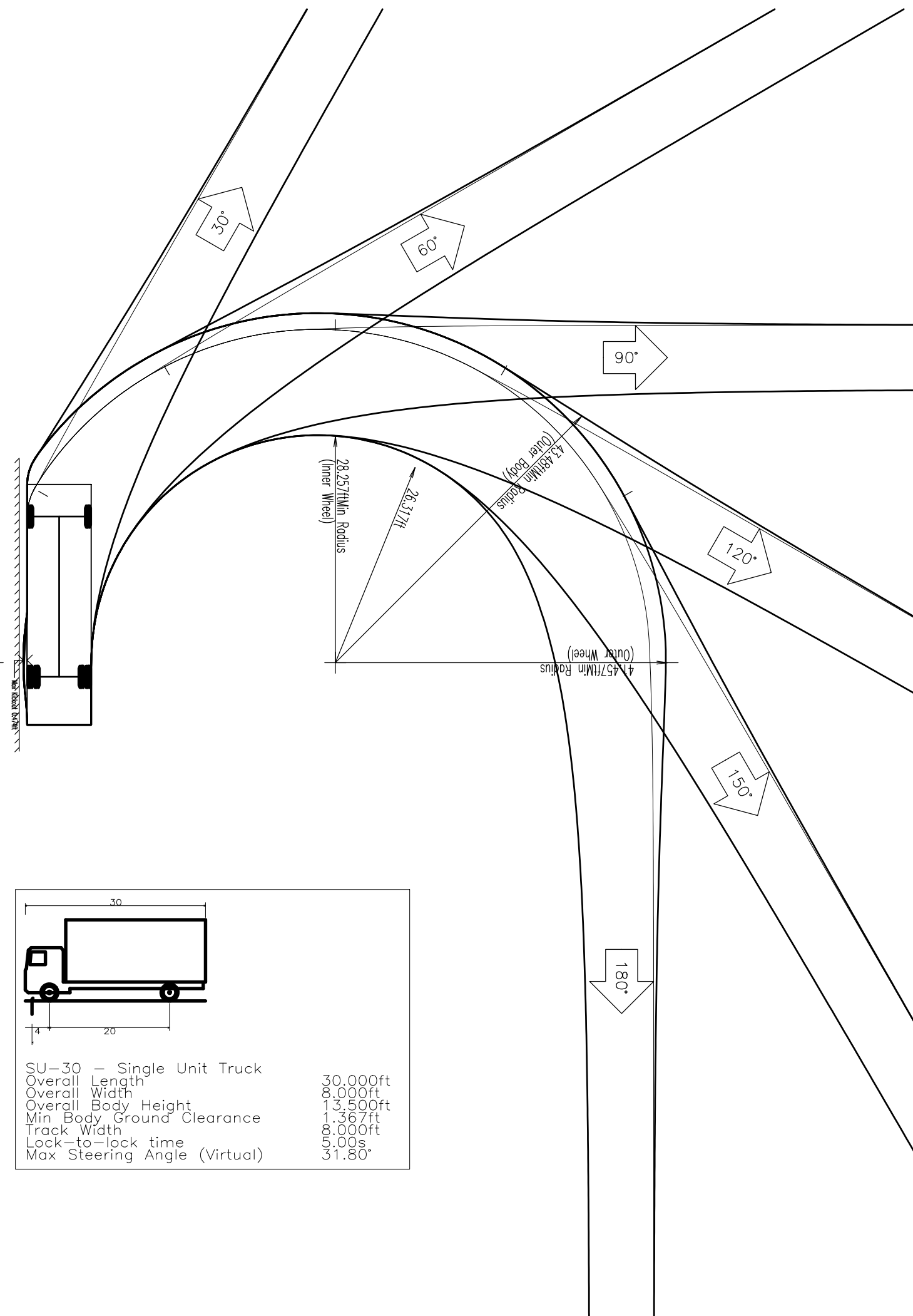
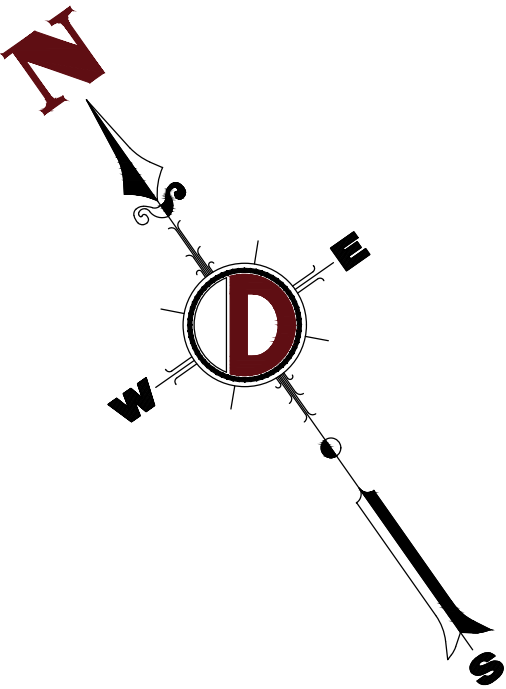
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TITLE: VEHICLE CIRCULATION PLAN C (SU-30)			
PROJECT: STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES BLOCK 2.303, LOTS 1, 2, 3, 4, 13 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY		JOB No: 2624-99-007 DATE: 07/08/2021 DRAWN BY: GMC SCALE: (H) 1"=20' (V) DESIGNED BY: LPG SHEET No: CHECKED BY: TJM 18 OF 20 CHECKED BY: -	
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File: P:\BECPC PROJECTS\2624_Qulian Development Group, LLC\99-007 South Orange\DWG\Site Plans\026249907SV1.dwg, ----> 18 VEHICLE CIRCULATION PLAN D (SU-30)

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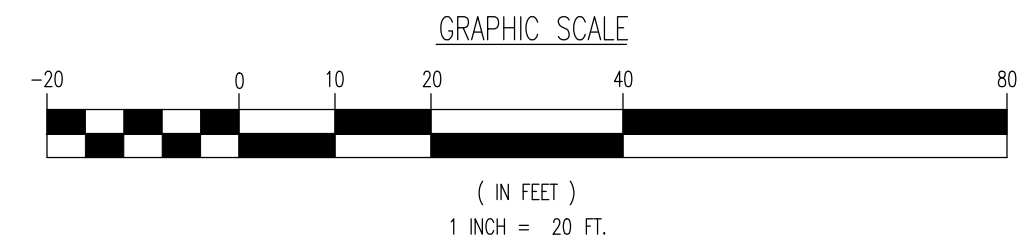
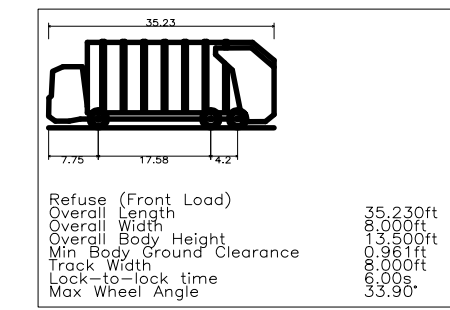
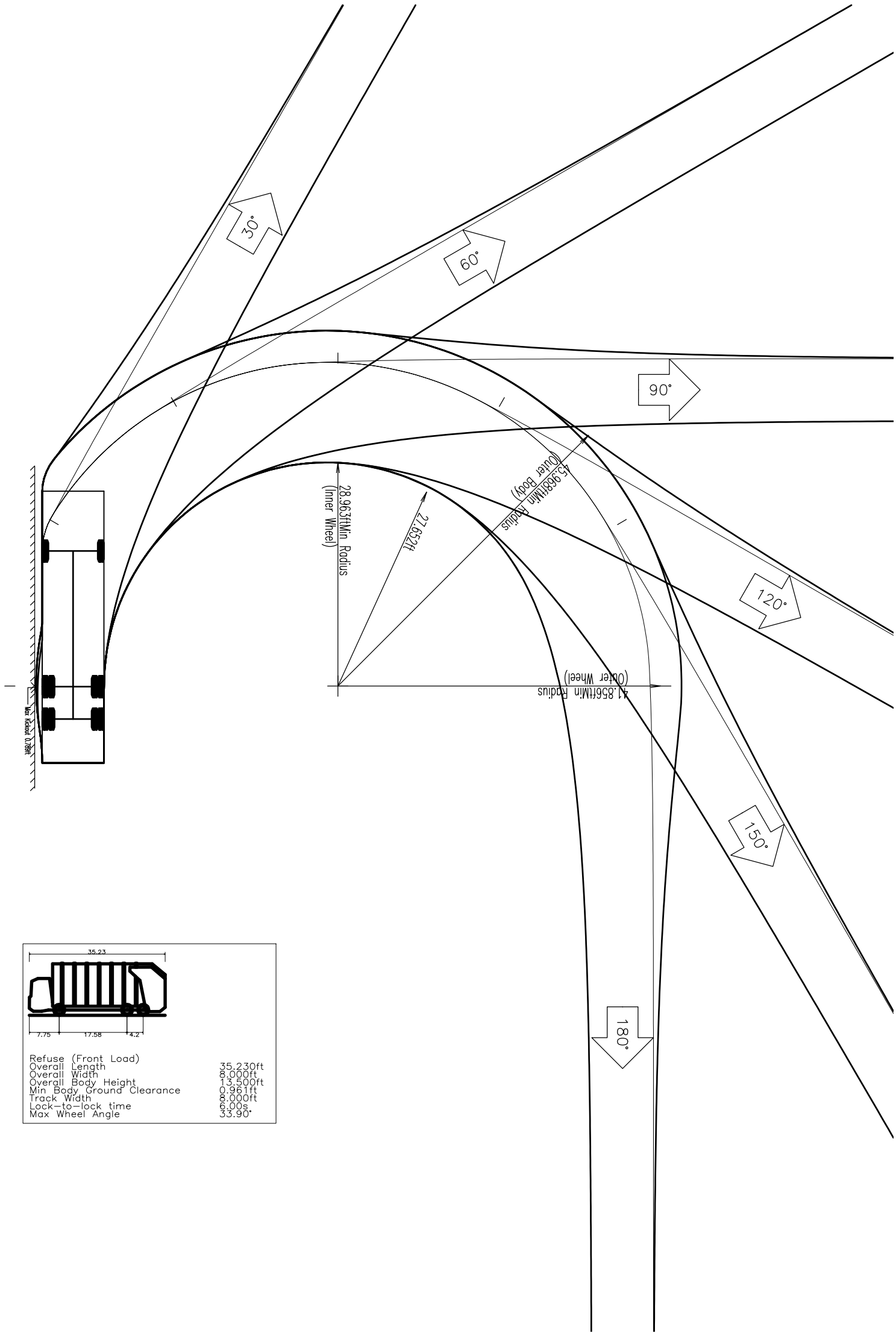


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TITLE: VEHICLE CIRCULATION PLAN D (SU-30)			
PROJECT: STORAGE PLATFORM, LLC PROPOSED SELF-STORAGE FACILITY W/ COMMUNITY AMENITIES BLOCK 2.303, LOTS 1, 2, 3, 4, 13 & 14 256, 311, 313, 315, 317 VALLEY STREET (CR 683) & 1, 15 LACKAWANNA PLACE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY		JOB No: 2624-99-007 DATE: 07/08/2021 DRAWN BY: GMC SCALE: (H) 1"=20' (V) DESIGNED BY: LPG SHEET No: CHECKED BY: TJM 19 OF 20 CHECKED BY: -	
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	DRAWN BY: GMC DESIGNED BY: LPG	SCALE: (H) 1"=20' (V) SHEET No:

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NEW JERSEY LICENSE No. 52179

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