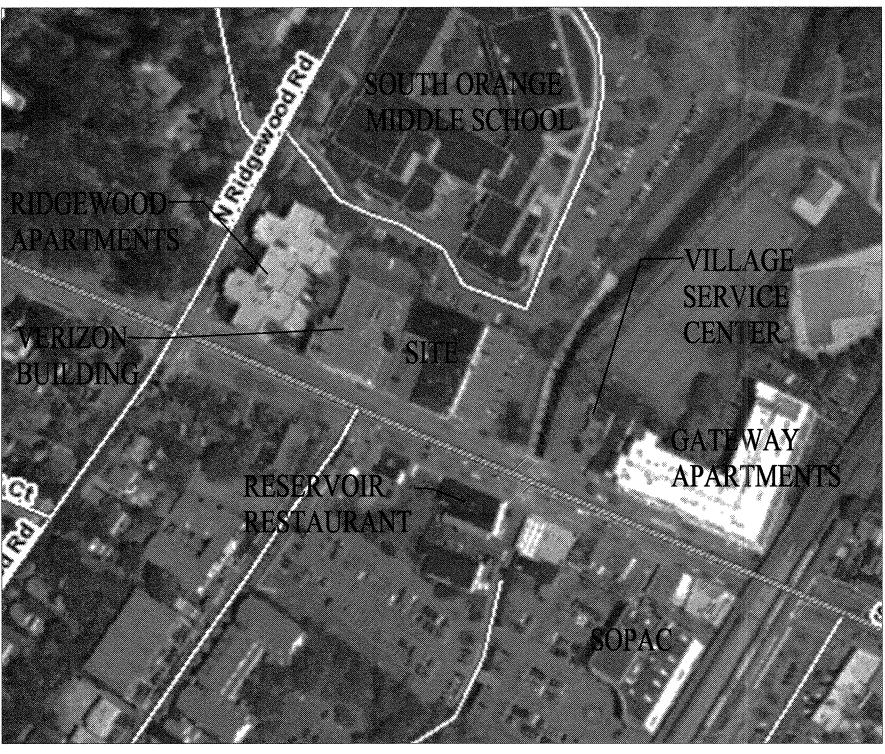
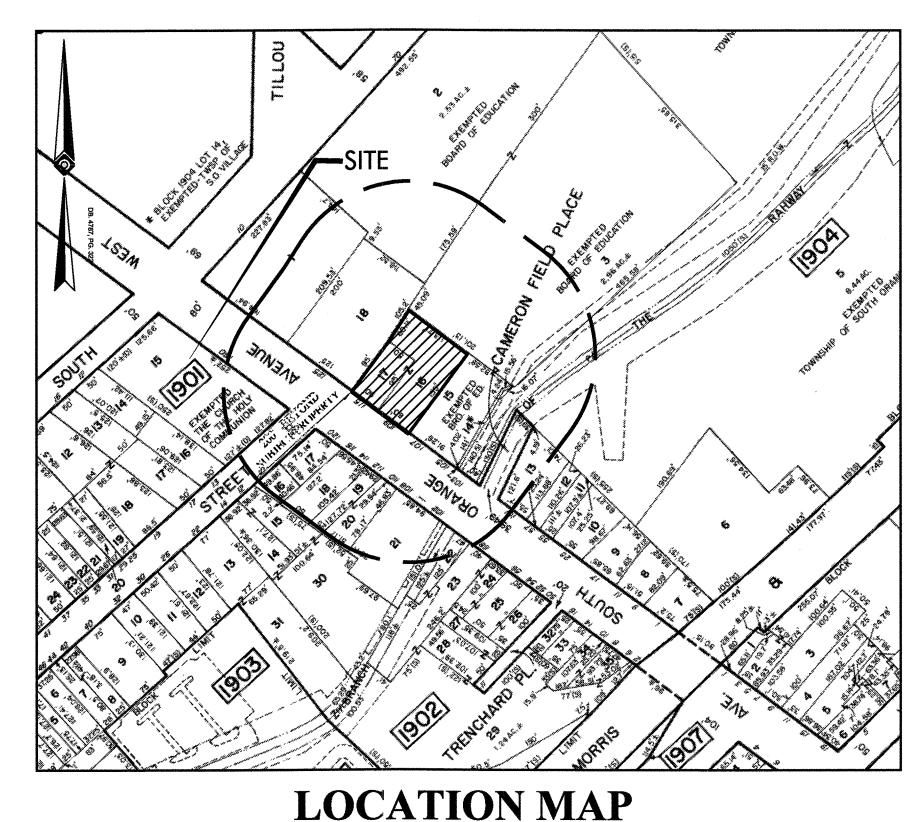
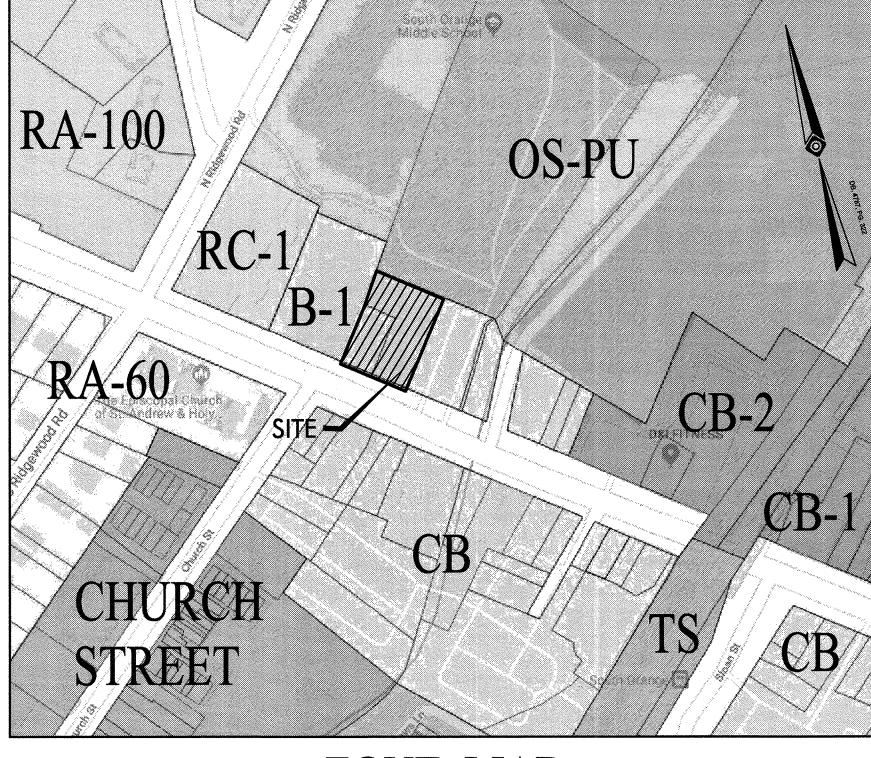
THE LEARNING EXPERIENCE

109 & 115 SOUTH ORANGE AVENUE WEST, TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY **BLOCK 1904, LOTS 16&17**





SCALE: 1"=150'



ZONE MAP SCALE: 1"=150"

VICINITY MAP SCALE: 1"=150"

ZONING SCHEDULE ZONE B-1 PRIMARY BUSINESS ZONE						
units	Requirement	Existing	9	Proposed		Code Section
	See Note "B"	Retail	С	Child Day Care	С	92 Attachment 5:2 (Unlisted)
story	4	1	С	2	С	
feet	48	20 (APPROX.)	С	34	С	
feet	50	110	С	110	С	
feet	0	0	С	0	С	
feet	10 (See Note "C")	0	ENC	10	С	185 Attachment 3
feet	0 (See Note "D")	0	С	5.6	Ċ	
ratio	43	N/A		N/A		
%	100	100	С	78.3	С	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
sf	6,000	17,160	C	17,160	С	
sf		12,253		13,435		`
	story feet feet feet feet ratio % sf	Requirement	Requirement Existing	Requirement Existing	Requirement Existing Proposed	Computation Computation

Existing Non Conformance

Code based on Township of South Orange Village, Ordinance Attachments 92 and 185.

Child Day Care Center is not listed in 92 Attachment 5:2. Based on New Jersey Municipal Land Use Law (MLUL), Child Day Care Centers are a permitted use in all Non-Residential zones. Side yard setback: zero feet, except if doors or windows are provided on sidewall, or where abutting a side or rear yard in a residential zone,

then a side yard of one (1) foot for every two feet of height of the principal structure in the business zone. No such side yard shall be less

Rear yard setback: zero feet if rear of building has direct access to a public parking lot. If a rear yard abuts a residential zone, a setback of one foot for every two feet of height of the principal structure in the business zone is required. No such rear yard shall be less than 10 feet. A minimum five-foot fence shall be erected to screen the business use.

PARKING REQUIREMENTS:

TOTAL BUILDING FLOOR AREA (sq.ft)	#	(per code section § 185-174 Minimum Offstreet Parking Requirements, Table 2)		
10,000 to 20,000	11,034	1 space per	800	13.8
				13.8
		TOTAL RI	EQUIRED:	14
•		TOTAL PI	ROVIDED:	24

ADA Parking Spaces Required = 1, of which, 1 is required to be ADA Van Per N.J.A.C. 5:23-7.10(c):

200' OWNERS LIST

YAKING DIS	adjacent propert Trict 19 south orange twp	Y LIS	TING APPLICANT: 109wsoon COUNTY 07 ESSE	cange
		CLASS	Owners name 6 address	
1902 15	160 SO ORANGE AVENUE WEST	150	CHURCH OF THE HOLY COMMUNIC 160 SO ORANGE AVENUE WEST SOUTH ORANGE, N.J.	W, THE 27079
1902 16	10 CHURCH STREET	1	GATEWAY II PROJECT ENTITY I 1720 PERCHYREE ST NW \$540 ATLANTA, GA	.LC 10309
1902 17	120 SC ORANGE AVENUE MEST 3 FAMILY-2 APT-STORE	4A	GATEWAY II PROJECT ENTITY, 1720 PEACHTREE ST NW \$540 ATLANTA, GA	17°C
1902 17.01	118 SC ORANGE AVENUE WEST 3 FAMILY-2 APT-STORE	4A	GATEWAY II PROJECT ENTITY I 1730 PEACHTREE ST NE #540 ATLANTA, GA	JC 80309
1902 18	114 SO ORANGE AVENUE WEST	4A	GATENAY II PROJECT ENTITY I 1720 PEACHTRED ST NW 4540 ATLANTA, GA	FC 10309
1902 19	112 SO ORANGE AVENUE WEST	1	GATEWAY II BROJECT ENTITY I 1720 PEACHTREE ST NE \$540 ATLANTA, GA	JC 10309
1902 20	110 SO ORANGE AVENUE WEST	ı	GAISWAY II PROJECT ENTITY, 1720 PEACHTRED ST NW #540 ATLANTA, GA 3	ELC :0309
1902 21	102 SO ORANGE AVERUE WEST	4A	B4T REALTY, LLC 102 WEST SOUTH ORANGE AVE SOUTH ORANGE, NJ 0	7079
1902 22	68 SO ORANGE AVEHUE WEST	15C	NEW JERSEY TRANSIT CORP 1 PENN PLAZA EAST NEWARK, NJ 0	7105
1902 22 BLDG	68 SO ORANGE AVENUE WEST	AR	GAV CAR CARE INC, 68 WEST SO OPANGE AVE SOUTH ORANGE, NJ 0	7079
1904 1	10 RIDGEWOOD RGAD NORTH	4C	10 MORTH RIDGEWOOD ROAD, LL 17-25 CRURCH ST SOUTH ORANGE, NJ 0	C 7079
1964 2	70 RIDGEWOOD ROAD WORTH	15A	SOUTH GRANGE BOARD OF EDUCA 525 ACADEMY STREET MAPLEWOOD, N.J. 0	710N 7040
1904 5	210 MEAD STREET	15C	TOWNSHIP OF SOUTH ORANGE VI VILLAGE HALL SOUTH ORANGE, N.J. 0	Llage 7079
1904 13	101 SO ORANGE AVENUE WEST	4A	VSC PROPERTIES, LLC, 101 WEST SC.ORANGE AVE SOUTH GRANGE, NJ G	7079
1904 14	103 SQ CRANGE AVENUE WEST	15C	TOWNSHIP OF SOUTH GRANGE VI VILLAGE HALL	
19 04 16	105 90 Orange avenue west	15A	SOUTH ORANGE BOARD OF BOUCA' 525 ACADEMY STREET	
1904 16	109 SO GRANGE AVENUE WEST	4A	THE RIDGEWOOD COMMONS GROUP 17~25 CHURCH STREET	
1904 17	115 SO CRANGE AVENUE WEST	4A	THE RIDGEWOOD COMMONS GROUP, 17-25 CHURCH STREET	
1904 18	125 SO ORANGE AVENUE WEST	4A	NJ BELL C/O DUFF & PHELPS POB 2749	5001

New Jersey American Water 167 John F Kennedy Pkwy – Bldg A Short Hills New Jersey 07078 Public Service Electric & Gas Co. Manager - Corporate Properties 80 Park Place, T6B Newark, New Jersey 07102 Verizon 540 Broad Street Newark, New Jersey 07101 CABLEVISION 186 West Mark Street Newark, New Jersey 07103

UTILITIES

WATER DEMAND CALCULATIONS:

PROPOSED: 180 PERSONS AT 10 GPD\PERSON =1,800 GPD 2 WASHES AT 50 GAL\WASH = 100 GPD TOTAL PROPOSED WATER DEMAND = 1,900 GPD

SEWER DEMAND CALCULATIONS:

PROPOSED: 160 STUDENTS AT 10 GPD\STUDENT =1,600 GPD 2 WASHES AT 50 GAL\WASH = 100 GPD TOTAL PROPOSED SEWER DEMAND = 1,700 GPD

NJDEP TWA AND WATER EXTENSION PERMITS ARE NOT REQUIRED FOR THIS APPLICATION AS THE PROPOSED FLOWS DO NOT EXCEED THE FLOW THRESHOLD THAT WOULD REQUIRE SUBMISSION OF THESE PERMITS.

PROJECT CONTACTS

OWNER/ APPLICANT: THE RIDGEWOOD COMMONS GROUP, LLC 17-25 CHURCH STREET SOUTH ORANGE, NJ 07079 ATTORNEY: JOHN P. WYCISKALA, ESQ. INGLESINO, WEBSTER, WYCISKALA & TAYLOR, LLC 600 PARSIPPANY ROAD SUITE 200

PARSIPPANY, NJ 07054

LIVINGSTON, NJ 07039 ARCHITECT: MATTHEW B. JARMEL, AIA JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC. 42 OKNER PARKWAY LIVINGSTON, NJ 07039

GERARD P. GESARIO, PE

ENGINEERS, INC.

42 OKNER PARKWAY

JARMEL KIZEL ARCHITECTS AND

BLOCK 1904, LOTS 16 & 17	
I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEE ALL CODES AND ORDINANCES UNDER MY JURISDICTION.	TS
(MUNICIPAL ENGINEER)	(DATE)
APPROVED BY THE PLANNING BOARD	
(CHAIRMAN)	(DATE)
(SECRETARY)	(DATE)
	I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEE ALL CODES AND ORDINANCES UNDER MY JURISDICTION. (MUNICIPAL ENGINEER) APPROVED BY THE PLANNING BOARD (CHAIRMAN)

PRELIMINARY/FINAL SITE PLAN OF: "THE LEARNING EXPERIENCE"

		DRAWING INDEX		
SHEET NO.	DRAWING NO.	DRAWING NAME	DATE	LAST REV. DATE
1	C-001	COVER SHEET	01-17-19	
2	C-100	EXISTING CONDITIONS PLAN	01-17-19	
3	C-200	DEMOLITION PLAN	01-17-19	
4	C-300	SITE LAYOUT AND UTILITY PLAN	01-17-19	
5	C-400	GRADING AND DRAINAGE PLAN	01-17-19	'n
6	C-600	SOIL EROSION AND SEDIMENT CONTROL PLAN	01-17-19	
7	C-601	SOIL EROSION AND SEDIMENT CONTROL NOTES	01-17-19	
8	C-650	LIGHTING PLAN	01-17-19	
9	C-900	DETAIL SHEET	01-17-19	
10	C-901	DETAIL SHEET	01-17-19	
11	C-902	DETAIL SHEET	01-17-19	
12	C-903	DETAIL SHEET	01-17-19	

Jarmel Kizel 42 OKNER PARKWAY LIVINGSTON, NEW JERSEY 07039 TEL: 973-994-9669 FAX: 973-994-4069

> Engineering Interior Design Implementation Services

www.jarmelkizel.com

		ISSUE	
NO.	DATE	DESCRIPTION	INT.
1	1.17.19	FOR COMPLETENESS REVIEW	GPO
	<u> </u>	REVISION	
NO.	DATE	DESCRIPTION	INT

PRINCIPALS	
MATTHEW B. JARMEL, AIA, MBA	NJ LIC AIO-12787
AZ LIC 48159	MN LIC 46404
CO LIC ARC-401483	NC LIC 10120
CT LIC ARI.0011415	NH LIC 3501
DC LIC ARC101849	NY LIC 024673
DE LIC \$5-0007256	OH LIC A-99-12444
FL LIC AR94034	PA LIC RA-014851-8
GA LIC RA011484	RI LIC ARC.0004765
IA LIC 05577	SC LIC AR.9163
IL LIC 001.020069	TN LIC 103850
MA LIC AR10286	TX LIC 20992
MD LIC 12662 MI LIC 1301052189	VA LIC 0401 014089
IRWIN H. KIZEL, AIA, PP	VT LIC 2453 NJ LIC 21 Al0079470
	NJ PP LIC 33LI00243
CT LIC 08522	
RICHARD A. JARMEL, PE CT LIC PEN0027735	NJ LIC 37491
FL LIC /0134	MN LIC 47482 NY LIC 073898-1
ML UC 6201052339	PA LIC PE070600
DE LIC 18754 VT LIC 88498	MA LIC 50445
ASSOCIATES VT LIC 88498	TX LIC 123822
	NU UC CEAEEL1
RONALD A. BROKENSHIRE, PE CT LIC PEN.0032811	NJ LIC GE45511 PA LIC PE085817
DAVID L. LESESNE, RA	NJ LIC AI 13231
CT LIC ARI-0011748	NY LIC 024719
CT LIC ARI-0011748 MA LIC 31425 MICHAEL J. VORLAND, RA	PA LIC RA-405081
MICHAEL J. VORLAND, RA	NY LIC 036993
GERARD P. GESARIO, PE	NJ LIC GE038255
FREDERICK KINCAID, RA	NJ LIC 21A101829
JEROME LESLIE EBEN, FAIA, PP	NJ LIC AI 8883
PA LIC 016502-8	NY LIC 019151
CHERYL SCHWEIKER, AIA	NJ LIC 21AI020690
	PA LIC RA407927

Project: THE LEARNING EXPERIENCE 109 & 115 SOUTH ORANGE AVENUE WEST TOWNSHIP OF SOUTH ORANGE VILLAGE ESSEX COUNTY, NJ BLOCK 1904, LOTS 16&17

Project No:	Scale:
TLENJ-S-17-264	AS NOTE
Drawn By:	Approved By:
Drawing Name:	

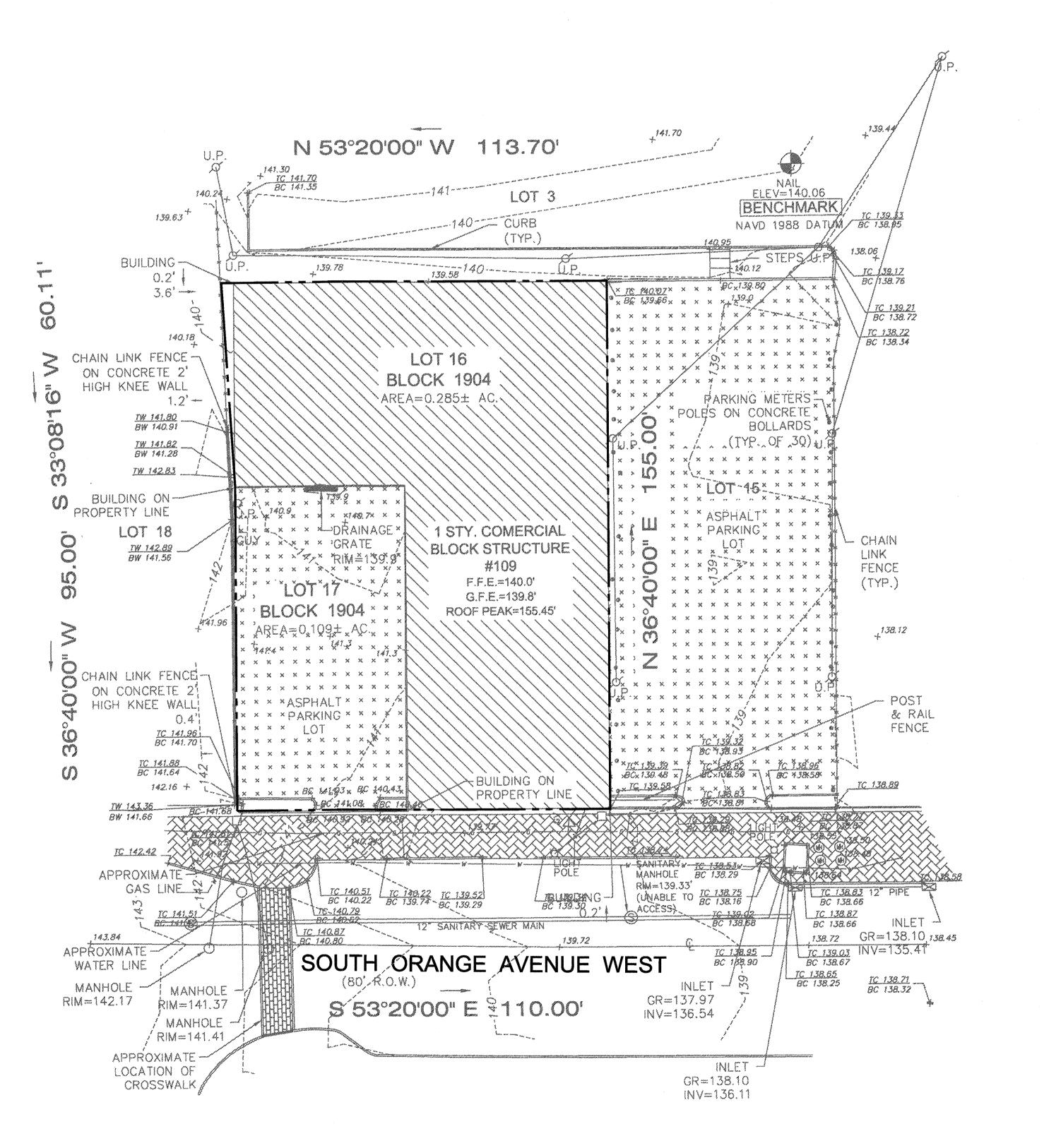
COVER SHEET

Drawing Number:

JANUARY 3, 2019

PROFESSIONAL ENGINEER

1. BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHIC SURVEY OF PROPERTY, LOT NO.16&17, BLOCK 1904, TOWNSHIP OF SOUTH ORANGE VILLAGE, COUNTY OF ESSEX, NEW JERSEY" BY MORGAN ENGINEERING & SURVEYING DATED 2/5/2017.





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	REVISION			
NO.	DATE	DESCRIPTION	INT.	

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FL LIC 70134	NY LIC 073898-1
MI LIC 6201052339	MA LIC 50445
DE UC 18754 VT UC 88498	TX LIC 123822
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PA LIC 016502-8	NY LIC 019151
CHERYL SCHWEIKER, AIA	N1 UC 21AI02049000

NJ State Board Of Architects Authorization No. 161
NJ State Board Of Engineers & Land Surveyors Authorization No. GA-278177

Project: THE LEARNING EXPERIENCE
109 & 115 SOUTH ORANGE AVENUE WEST

TOWNSHIP	OF SOUTH (ORANGE VILLAGE
E	SSEX COUN	ITY, NJ
BLO	CK 1904, LC	TS 16&17
ct No:	Scale):

NJ LIC 21AI02069000 PA LIC RA407927

TLENJ-S-17-264	1" = 20'
Drawn By:	Approved By:
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EXISTING CONDITIONS PLAN

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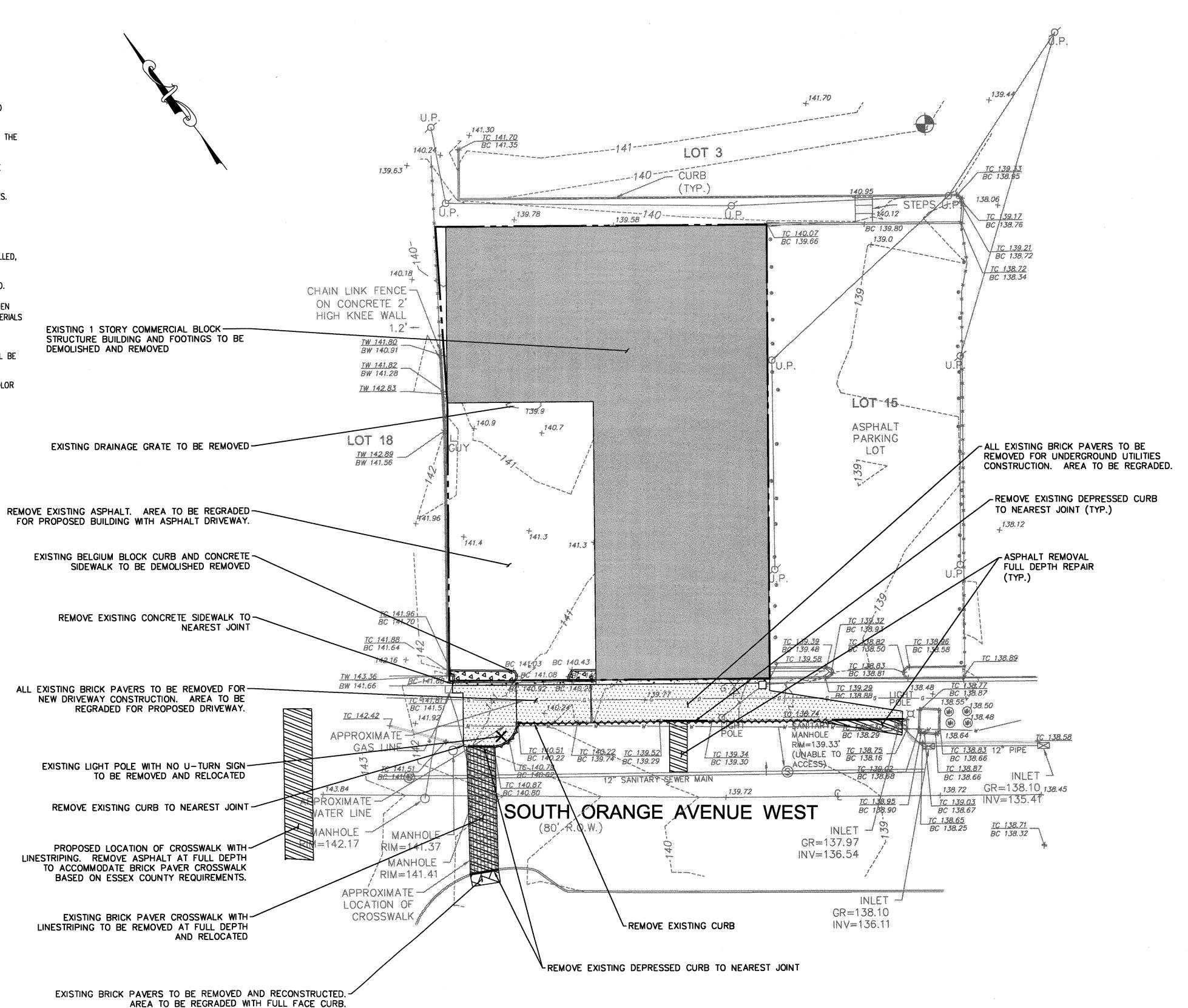
GERARD P. GESARIO PROFESSIONAL ENGINEER N.J. LIC. #GE038255

:\PROJECTS\TLENJ-S-17-264 TLE SOUTH ORANGE NJ\CAD\17-264 C-100 EXISTING PLAN.D'

0 10 20

DEMOLITION NOTES:

- 1. BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHIC SURVEY OF PROPERTY, LOT NO.16&17, BLOCK 1904, TOWNSHIP OF SOUTH ORANGE VILLAGE, COUNTY OF ESSEX, NEW JERSEY" BY MORGAN ENGINEERING & SURVEYING DATED 2/5/2017.
- 2. THE GENERAL CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS AND SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCY ON DRAWINGS.
- 3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSING IN A LEGAL MANNER IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL CONCRETE PADS, ASPHALT PARKING, CURBS, ETC, SUCH THAT ALL THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR NECESSARY DISCONNECTS OF THE EXISTING UTILITY AND RECONNECTION SHALL BE INCLUDED.
- 5. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES AS REQUIRED PRIOR TO START OF DEMOLITION.
- 6. GENERAL CONTRACTOR IS DESIGNATED TO MAKE REMOVALS AND DISPOSAL OF THE MATERIALS IS HIS RESPONSIBILITY.
- 7. GENERAL CONTRACTOR SHALL KEEP THE PROJECT SITE FREE OF DEBRIS AND MAKE FINAL CLEAN UP TO THE SATISFACTION OF THE OWNER.
- 8. GENERAL CONTRACTOR SHALL CARRY OUT THE WORK OF THIS CONTRACT PLACING THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
- 9. THE GENERAL CONTRACTOR SHALL IMPLEMENT ALL NECESSARY MEASURES TO PROTECT ADJACENT AND ON-SITE PROPERTY, STRUCTURES AND UTILITIES THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK.
- 10. THE GENERAL CONTRACTOR SHALL ENSURE FREE AND SAFE PASSAGE OF PERSONS AROUND THE AREA OF THE DEMOLITION AS DIRECTED BY THE OWNER AND THE MUNICIPAL OFFICIALS. THE OWNER'S REPRESENTATIVE IS NOT RESPONSIBLE FOR JOBSITE SAFETY.
- 11. ALL SIDEWALK, CURBS, DRIVEWAYS, PIPES, STRUCTURES TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE DURING CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED BY THE CONTRACTOR AT THEIR EXPENSE.
- 12. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TRAFFIC CONTROL DEVICES REQUIRED BY THE MUNICIPALITY AND LOCAL AGENCIES.
- 13. PULVERIZED CONCRETE OR MASONRY SHALL NOT BE USED AS BACKFILL MATERIAL.
- 14. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED THE OWNER/ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY.
- 15. GENERAL CONTRACTOR SHALL BE RESPONSIBLE EACH DAY TO INSPECT AND REMOVE ALL DIRT, GRAVEL AND LOOSE MATERIAL DUMPED, SPILLED, ETC. FROM THE CONSTRUCTION SITE ONTO OTHER ADJACENT SITES, ROW, PUBLIC OR PRIVATE STREET.
- 16. GENERAL CONTRACTOR SHALL REDUCE THE AIRBORNE DUST DURING THE DEMOLITION AND MAINTAIN EROSION CONTROL DEVICES AS REQUIRED.
- 17. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, CURBING, PAVEMENT, LIGHTING AND/OR STORM INLETS STRUCTURES, THEN THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL CONSTRUCTION MATERIALS SHALL BE NEW.
- 18. GENERAL CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, CURBING, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPLACEMENT.
- 19. EXISTING PAVERS ALONG FRONTAGE MAY BE REMOVED, SALVAGED, AND RE-USED. ANY NEW PAVERS INSTALLED MUST MATCH EXISTING IN COLOR AND PATTERN.





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Project: THE LEARNING EXPERIENCE

109 & 115 SOUTH ORANGE AVENUE WEST

TOWNSHIP OF SOUTH ORANGE VILLAGE

Project No: Scale: 1" = 20"

Orawn By:

Approved By:

LB

Orawing Name:

DEMOLITION PLAN

C-20
Sheet No: of:

GERARD P. GESARIO
PROFESSIONAL
ENGINEER
N.J. LIC. #GE038255

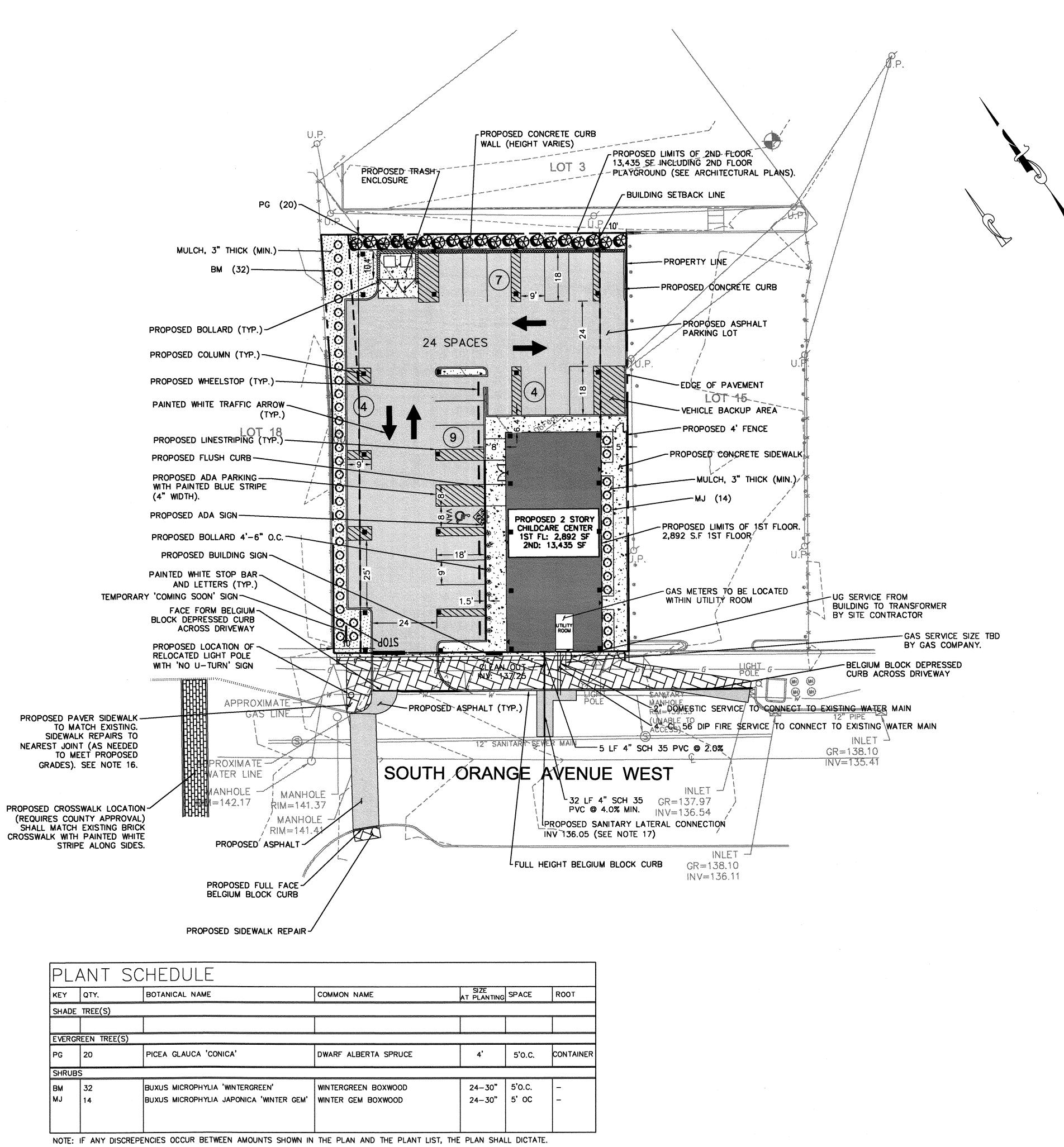
S:\PROJECTS\TLENJ-S-17-264 TLE SOUTH ORANGE NJ\CAD\17-264 C-200 DEMO PLAN.DWG FBERMEK PLOT

- 3. ALL CONSTRUCTION IS TO BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL CODES.
- CONSTRUCTION MATERIALS AND METHODS NOT OTHERWISE SPECIFIED OR SHOWN HEREIN SHALL CONFORM TO NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION AND AMENDMENTS).
- 5. THESE PLANS DEPICT THE SITE WORK IMPROVEMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS, TECHNIQUES, SEQUENCE OF CONSTRUCTION AND JOB SITE SAFETY. AS SUCH, THESE PLANS ARE NOT INTENDED TO REPRESENT SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- 6. THE GENERAL CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION OF THE SITE IN ORDER TO REVEAL EXISTING CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO BIDDING, ORDERING MATERIALS, AND COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE GENERAL CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIS) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITE WORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE WORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- 8. THE GENERAL CONTRACTOR IS RESPONSIBLE TO CONTACT NEW JERSEY ONE CALL NOT LESS THAN 3 BUSINESS DAYS AND NOT MORE THAN 10 BUSINESS DAYS PRIOR TO THE BEGINNING OF ANY EXCAVATION OR DEMOLITION. NEW JERSEY ONE CALL INFORMATION — PHONE: 1-800-272-1000, WEB: WWW.NJ1-CALL.ORG
- THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND JOB SITE SAFETY.
- 10. THE MUNICIPAL ENGINEER MUST BE NOTIFIED ONE WEEK PRIOR TO THE CONSTRUCTION OF ANY CURBING, SIDEWALKS, PAVEMENT GRADING, OR OTHER UTILITIES.
- 11. THE GENERAL CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER OF ANY CONDITION OF CONFLICTS THAT WILL ALTER THE INTENT OF THE
- 12. THE GENERAL CONTRACTOR IS REQUIRED TO REMOVE ALL UNSUITABLE MATERIALS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
- 13. ALL PROPOSED IMPROVEMENTS TO BE IN ACCORDANCE WITH CURRENT ADA AND NJ BARRIER FREE CODE REQUIREMENTS.
- 14. SUBJECT TO ALL APPLICABLE RULES, REGULATIONS, ORDINANCES AND STATUTES OF THE TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY AND STATE OF NEW JERSEY AND ANY OTHER JURISDICTION.
- 15. THE GENERAL CONTRACTOR SHALL CONFIRM EXISTING PARKING LOT AND CURB GRADES PRIOR TO CONSTRUCTION.
- 16. EXISTING PAVERS ALONG FRONTAGE MAY BE REMOVED, SALVAGED, AND RE-USED. ALL NEW PAVERS MUST MATCH EXISTING PAVERS IN COLOR AND PATTERN.
- 17. SANITARY MANHOLES WERE INACCESSIBLE AT TIME OF SURVEY AND AT TIME OF INITIAL SUBMISSION OF PLANS. PUBLIC WORKS IS IN THE PROCESS OF SCHEDULING MAINTENANCE WHICH WILL ALLOW ACCESS TO THESE STRUCTURES. CONTRACTOR TO CONFIRM AND PROVIDE INVERT OF SEWER PRIOR TO CONSTRUCTION IF INFORMATION IS NOT MADE AVAILABLE PRIOR TO APPROVAL.

SITE SPECIFIC NOTES:

- 1. VILLAGE ENGINEER TO BE CONSULTED ON ANY REDESIGN OF THE STORM SEWER WITHIN THE VILLAGE RIGHT-OF-WAY PRIOR TO ITS CONSTRUCTION IF UTILITY TEST PIT(S) INDICATE UTILITY LOCATIONS DOES NOT PROVIDE SUFFICIENT SEPARATION.
- 2. HYDRANT FLOW TESTS WILL BE PERFORMED AND RESULTS PROVIDED TO VILLAGE ENGINEER. IF PRESSURE IN THE MAIN IS FOUND TO BE INSUFFICIENT, BUILDING DESIGN WILL INCORPORATE A DOMESTIC\FIRE SERVICE BOOSTER PUMP.

	LEGEND	
	EXISTING	PROPOSED
PROPERTY LINE		
BUILDING LINE		
CURB LINE		
DEPRESSED CURB	N/A	
CONCRETE WALK	N/A	4 4 4



ARCHITECTS AND ENGINEERS INC 42 OKNER PARKWAY LIVINGSTON, NEW JERSEY 07039 TEL: 973-994-9669 FAX: 973-994-4069

> www.jarmelkizel.com Architecture Engineering Interior Design Implementation Services

	ISSUE				
NO.	DATE	DESCRIPTION	INT		
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		REVISION			
NO.	DATE	DESCRIPTION	IN		
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MATTHEW B. JARMEL, AIA, MBA	NJ LIC AI0-12787
AZ LIC 48159	MN LIC 46404
CO LIC ARC-401483	NC LIC 10120
CT LIC ARI.0011415	NH LIC 3501
DC LIC ARC101849	NY LIC 024673
DE LIC \$5-0007256	OH LIC A-99-12444
FL LIC AR94034	PA LIC RA-014851-B
GA LIC RA011484	RI LIC ARC.0004765
IA LIC 05577	SC LIC AR.9163
IL UC 001.020069	TN LIC 103850 TX LIC 20992
MA LIC AR10286	VA LIC 20992 VA LIC 0401 014089
MD LIC 12662 MI LIC 1301052189	VT LIC 2453
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CT LIC 08522	NJ PP UC 33U002431
	NI UC 37491
RICHARD A. JARMEL, PE CT LIC PEN0027735 FL LIC 70134 MI LIC 6201052339	NJ LIC 37491 MN LIC 47482
FL LIC 70134 MI LIC 6201052339	NY LIC 073898-1 PA LIC PE070600
MI LIC 6201052339 DE LIC 18754	MA LIC 50445
VI UC 88498	TX LIC 123822
ASSOCIATES	
RONALD A. BROKENSHIRE, PE CT LIC PEN.0032811	NJ LIC GE45511
DAVID L. LESESNE, RA	NJ LIC AI 13231
CT HC APLOCITAR	NY LIC 024719
MA LIC 31425	PA LIC RA-405081
CT LIC ARI-0011748 MA LIC 31425 MICHAEL J. VORLAND, RA	NY LIC 036993
GERARD P. GESARIO, PE	NJ LIC GE038255
FREDERICK KINCAID, RA	NJ LIC 21A1018294
JEROME LESLIE EBEN, FAIA, PP	NJ LIC AI 8883
JEROME LESLIE EBEN, FAIA, PP PA LIC 016502-B	NY UC 019151
CHERYL SCHWEIKER, AIA	NJ LIC 21AI0206900
NJ State Board Of Architects Au NJ State Boord Of Engineers & Land Surveyo	PA LIC RA407927

109 & 115 SOUTH ORANGE AVENUE WEST TOWNSHIP OF SOUTH ORANGE VILLAGE ESSEX COUNTY, NJ BLOCK 1904, LOTS 16&17

1" = 20' TLENJ-S-17-264 Approved By:

> SITE LAYOUT AND **UTILITY PLAN**

Drawing Number:

GERARD P. GESARIO **PROFESSIONAL** ENGINEER **JANUARY 3, 2019** N.J. LIC. #GE038255

EVERGREENS SHALL BE AT LEAST 4' TALL AT PLANTING. SHRUBS SHALL BE AT LEAST 2' TALL AT PLANTING.

GRADING AND DRAINAGE PLAN NOTES

- BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHIC SURVEY OF PROPERTY, LOT NO.16&17, BLOCK 1904, TOWNSHIP OF SOUTH ORANGE VILLAGE, COUNTY OF ESSEX, NEW JERSEY" BY MORGAN ENGINEERING & SURVEYING DATED 2/5/2017.
- 2. THE GENERAL CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE MEASUREMENTS SHOULD BE TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE UTILITY COMPANIES AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
- EXCAVATED MATERIAL CONTAINING ROCK OR STONE GREATER THAN SIX (6) INCHES IN LARGEST DIMENSION IS UNACCEPTABLE AS FILL TO WITHIN THE PROPOSED BUILDING AND PAVING AREA.
- 5. ROCK OR STONE LESS THAN SIX (6) INCHES IN LARGEST DIMENSION IS ACCEPTABLE AS FILL TO WITHIN TWENTY-FOUR (24) INCHES OF SURFACE OF PROPOSED SURGED WHEN MIXED WITH SUITABLE MATERIAL AS PERMITTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- ROCK OR STONE LESS THAN TWO (2) INCHES IN LARGEST DIMENSION AND MIXED WITH SUITABLE MATERIAL IS ACCEPTABLE AS FILL WITHIN THE UPPER TWENTY-FOUR (24) INCH OF PROPOSED SUBGRADE AS PERMITTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- COMPACTION CRITERIA FOR FILL PLACED IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA GIVEN ELSEWHERE:

STANDARD PROCTOR DRY DENSITY

SIDEWALKS PAVEMENTS AND ROADWAYS

95%

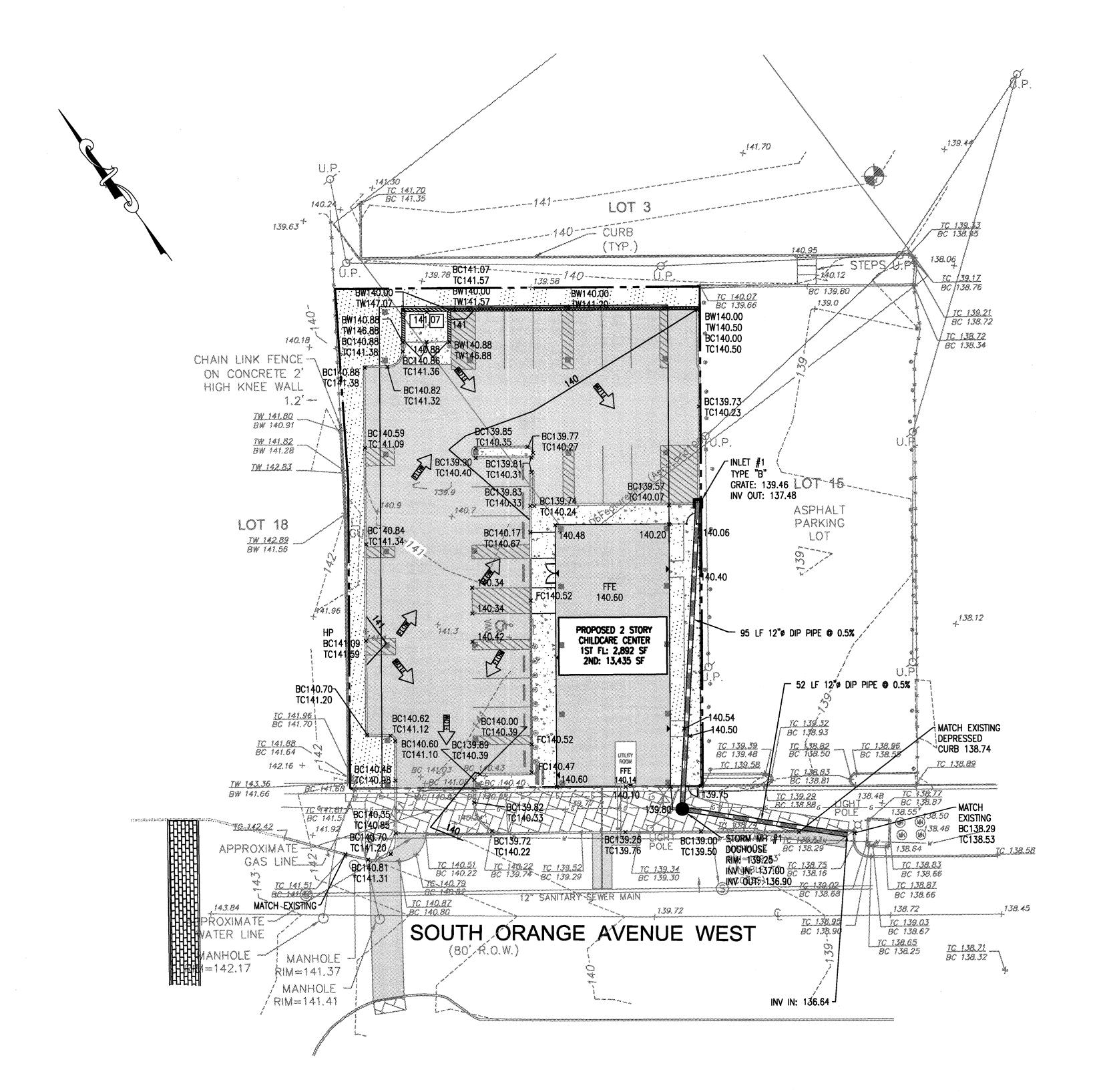
LANDSCAPE AREAS SAME AS SURROUNDING AREA TRENCH BACKFILL

- GRADE ALL AREAS WHERE FINISH GRADE ELEVATIONS OR CONTOURS ARE INDICATED ON DRAWINGS. GRADED AREAS SHALL BE UNIFORM AND SMOOTH, FREE FROM ROCK, DEBRIS, OR IRREGULAR SURFACE CHANGES. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.10 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATION, AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS.
- 9. ALL CONCRETE, UNLESS OTHERWISE NOTED OR SPECIFIED BY REGULATORY AUTHORITIES, SHALL BE 4000 PSI.
- 10. REPRESENTATIVES OF THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT THE DRAINAGE FACILITIES LOCATED ON THE PROPOSED LOTS FROM TIME TO TIME AS DEEMED NECESSARY.
- 11. CATCH BASINS SHALL BE CLEANED OUT PERIODICALLY TO PREVENT THE BUILDUP OF SEDIMENT AND DEBRIS IN STRUCTURES.

STORMWATER NOTE:

THE PROPOSED DEVELOPMENT WILL REDUCE IMPERVIOUS LOT COVERAGE FROM 100 PERCENT UNDER EXISTING CONDITIONS TO 78.3 PERCENT UNDER PROPOSED CONDITIONS. THIS REDUCTION IN IMPERVIOUS LOT COVERAGE WILL REDUCE BOTH THE VOLUME OF STORM RUNOFF AND PEAK FLOW OF STORM RUNOFF FROM THE SITE THUS PROVIDING A BENEFIT TO THE EXISTING DOWNSTREAM STORMWATER SYSTEM.

LEGEND				
	<u>EXISTING</u>	<u>PROPOSED</u>		
STORM SEWER	N/A			
PROPERTY LINE				
MANHOLE	N/A			
CATCH BASIN	N/A	***		
SPOT ELEVATION	70, 100, 57° 80, 100, 42°x	99.30 ⁺		
CONTOUR		99		





Implementation Services

ISSUE					
NO.	DATE	DESCRIPTION	INT.		
1	1.17.19	FOR COMPLETENESS REVIEW	GPG		
		REVISION	<u> </u>		
NO.	DATE	DESCRIPTION	INT.		

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	NJ LIC AI0-12787 MN LIC 46404
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GA LIC RA011484	RI LIC ARC.0004765
IA LIC 05577	SC LIC AR.9163
IL LIC 001.02006 MA LIC AR10286	9 TN LIC 103850 TX LIC 20992
MA LIC ART0286	VA LIC 20992 VA LIC 0401 014089
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RICHARD A. JARMEL, PE CT. LIC PEN002773 FI. LIC 70134 MI. LIC 620105233 DE LIC 18754	NJ LIC 37491 MN LIC 47482 NY LIC 073898-1 PA LIC PE070600 MA LIC 50445
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MI LIC 620105233	9 PA LIC PE070600
DE LIC 18754	MA LIC 50445
ASSOCIATES VT LIC 88498	TX LIC 123822
	NI IIC GE45513
RONALD A. BROKENSHIRE, PE CT LIC PEN.003281	NJ LIC GE45511 1 PA LIC PE085817
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CHERYL SCHWEIKER, AIA	NJ LIC 21AI02069000
	PA LIC RA407927
NJ State Board Of Archi NJ State Board Of Engineers & Land	tects Authorization No. 161 Surveyors Authorization No. GA-278177
Project: THE LEARN	ING EXPERIENCE
	ORANGE AVENUE WEST
	-
	OUTH ORANGE VILLAGE
ESSEX	COUNTY, NJ
	COUNTY, NJ 904, LOTS 16&17
	904, LOTS 16&17 Scale:
BLOCK 1	904, LOTS 16&17 Scale:
Project No: TLENJ-S-17-264	904, LOTS 16&17 Scale: 1" = 20
Project No: TLENJ-S-17-264 Drawn By:	Scale: 1" = 20 Approved By:
Project No: TLENJ-S-17-264	Scale: 1" = 20 Approved By:
Project No: TLENJ-S-17-264 Drawn By: LB	Scale: 1" = 20 Approved By:
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Project No: TLENJ-S-17-264 Drawn By: LB Drawing Name:	904, LOTS 16&17 Scale: 1" = 20 Approved By: GPG
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Project No: TLENJ-S-17-264 Drawn By: LB Drawing Name: GRADING AN PL	Scale: 1" = 20 Approved By: GPG
Project No: TLENJ-S-17-264 Drawn By: LB Drawing Name:	Scale: 1" = 20 Approved By: GPG

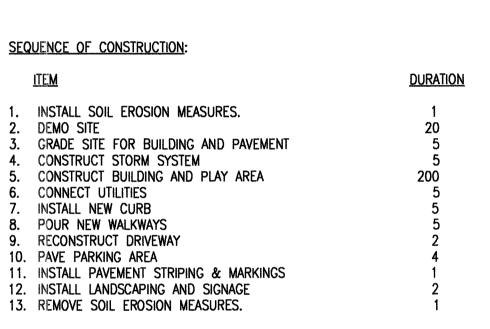
SERARD P. GESARIO

PROFESSIONAL ENGINEER N.J. LIC. #GE03825

JANUARY 3, 2019

SOIL EROSION AND SEDIMENT CONTROL NOTES (To be included on the signed erosion control plan sheet)

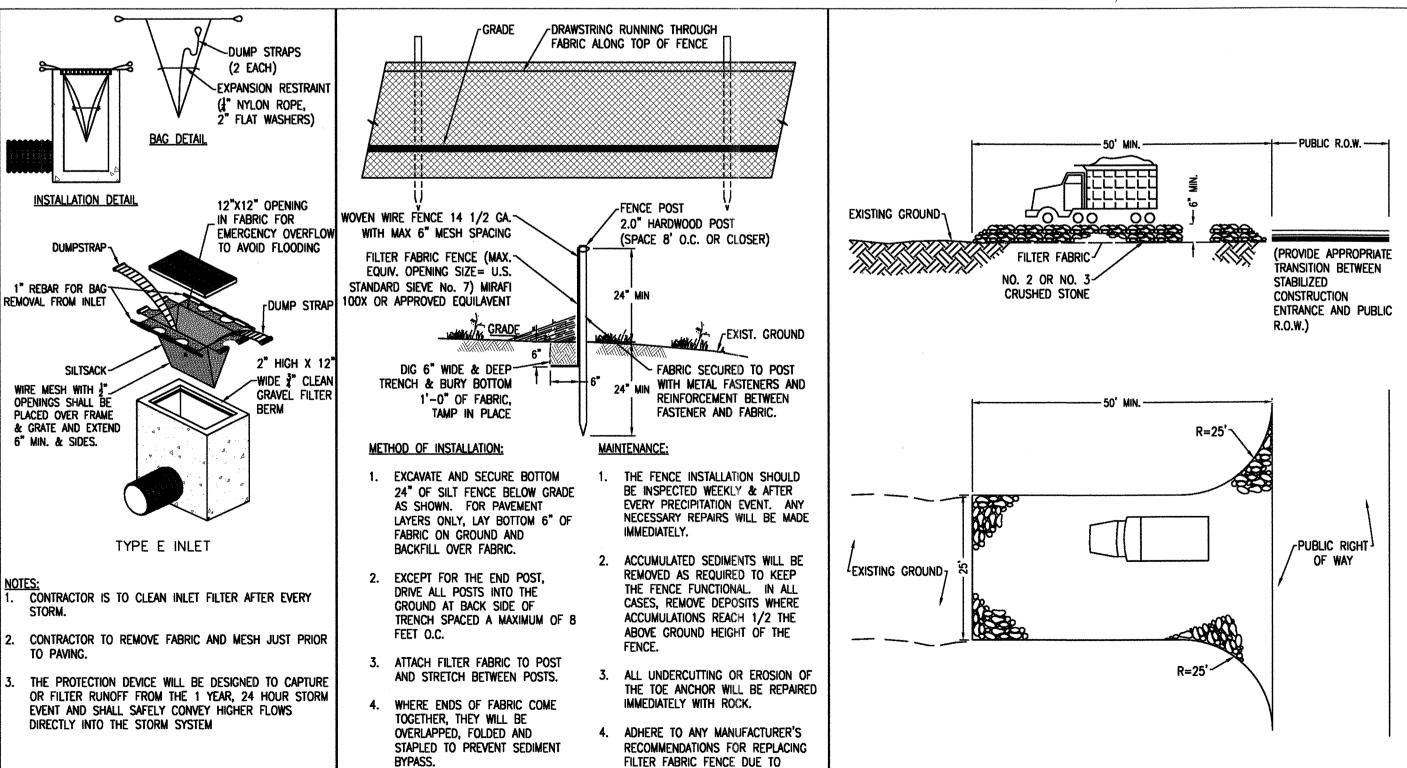
- 1. All soil erosion and sediment control practices on this plan will be constructed in accordance with the "New Jersey Standards for Soil Erosion and Sediment Control" 7th Edition last revised December 2017. These measures will be installed prior to any major soil disturbance or in their proper sequence and maintained until permanent protection is established.
- 2. All soil to be exposed or stockpiled for a period of greater than 14 days, and not under active construction, will be temporarily seeded and hay mulched or otherwise provided with vegetative cover. This temporary cover shall be maintained until such time whereby permanent restabilization is established.
- 3. <u>Seeding Dates:</u> The following seeding dates are recommended to best establish permanent vegetative cover within most locations in the HEPSCD: $\frac{\text{Spring} 3/1-5/15}{\text{Spring} 3/1-5/15}$ and $\frac{\text{Fall} 8/15 10/1}{\text{Spring} 10/1}$
- 4. Sediment fences are to be properly trenched and maintained until permanent vegetative cover is established
- 5. All storm drainage inlets shall be protected by one of the practices accepted in the Standards, and protection shall remain until permanent stabilization has been established. Storm drainage outlet points shall be protected as required before they become functional.
- 6. Mulch materials shall be un—ratted small grain straw applied at the rate of 70 to 90 pounds per 1,000 square feet and anchored with a mulch anchoring tool, liquid mulch binders, or netting tie down. Other suitable materials may be used if approved by the Soil Canservation District.
- 7. All erosion control devices shall be periodically inspected, maintained and corrected by the contractor. Any damage incurred by erosion shall be rectified immediately.
- 8. The Hudson-Essex-Passaic Soil Conservation District will be notified in writing at least 48 hours prior to any soil disturbing activities. Fax (862) 333-4507 OR email INFORMATION@HEPSCD.ORG
- 9. The applicant must obtain a District issued Report-of-Compliance prior to applying for the Certificate of Occupancy or Temporary Certificate of Occupancy from the respective municipality, NJ DCA or any other controlling agency. Contact the District at 862-333-4505 to request a Final Inspection, giving advanced notice upon completion of the restabilization measures. A performance deposit may be posted with the District when winter weather or snow cover prohibits the proper application of seed, mulch, fertilizer or hydro-seed.
- 10. Paved roadways must be kept clean at all times. Do not utilize a fire or garden hose to clean roads unless the runoff is directed to a properly designed and functioning sediment basin. Water pumped aut of the excavated areas contains sediments that must be removed prior to discharging to receiving bodies of water using removable pumping stations, sump pits, portable sedimentation tanks and/or silt control bags.
- 11. All surfaces having lawn or landscaping as final cover are to be provided topsoil prior to re—seeding, sodding or planting. A depth of 5.0 inches, firmed in place, is required, as per the Standards for Topsoiling and Land Grading, last revised December 2017.
- 12. All plan revisions must be submitted to the District for proper review and approval.
- 13. A crushed stone wheel cleaning tracking—pad is to be installed at all site exits using 2 ½ -1" crushed angular stone (ASTM 2 or 3) to a minimum length of 50 feet and minimum depth of 6". All driveways must be provided with crushed stone until paving is complete.
- 14. Steep slopes incurring disturbance may require additional stabilization measures. These "special" measures shall be designed by the applicant's engineer and be approved by the Soil Conservation District.
- 15. <u>The Hudson-Essex-Passaic Soil Conservation District shall be notified, in writing, for the sale of any portion of the project or for the sale of individual lots. New owners' information shall be provided. Additional measures deemed necessary by District officials shall be implemented as conditions warrant.</u>



TOTAL: 256 DAYS

STABILIZED CONSTRUCTION ENTRANCE

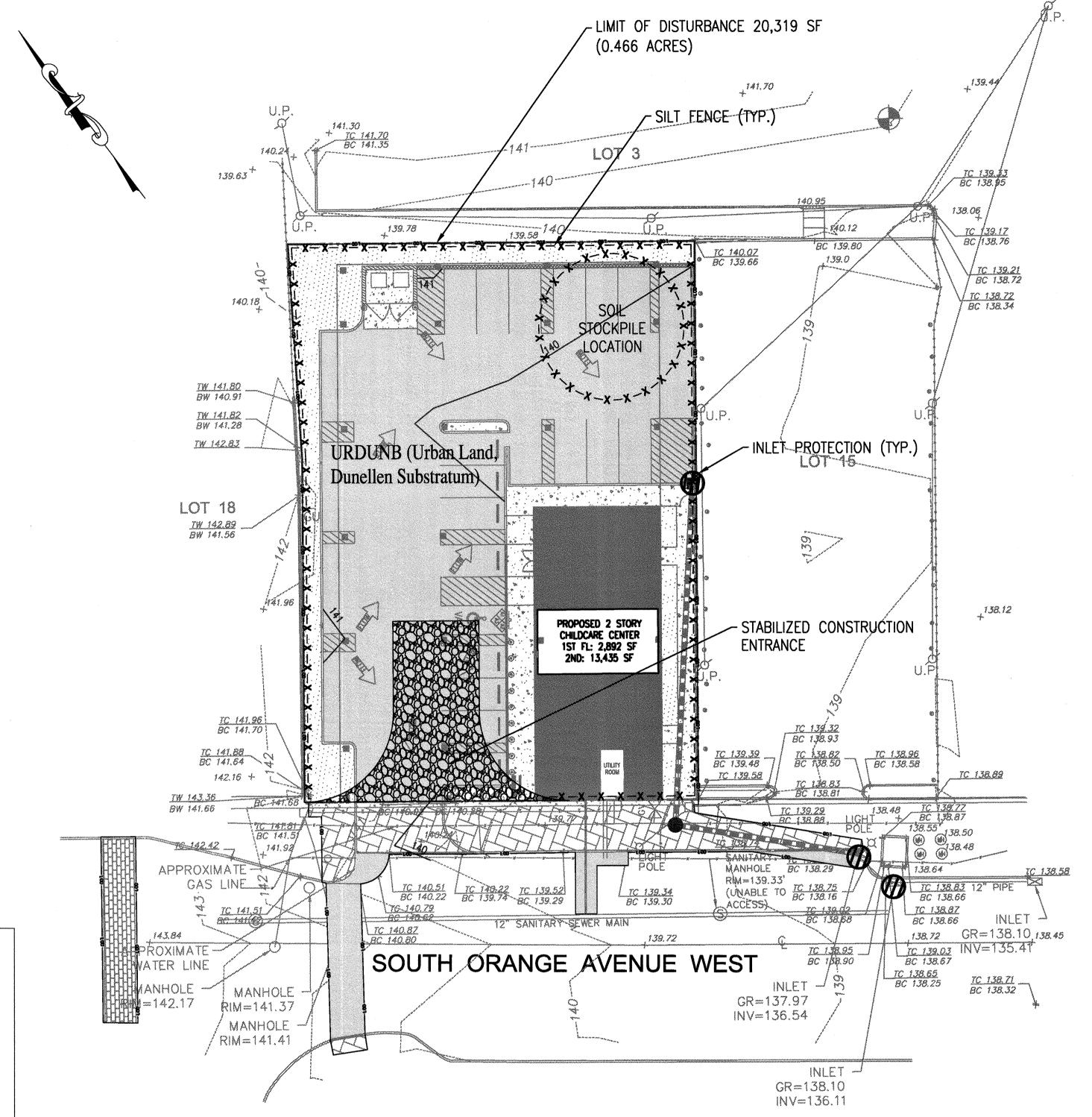
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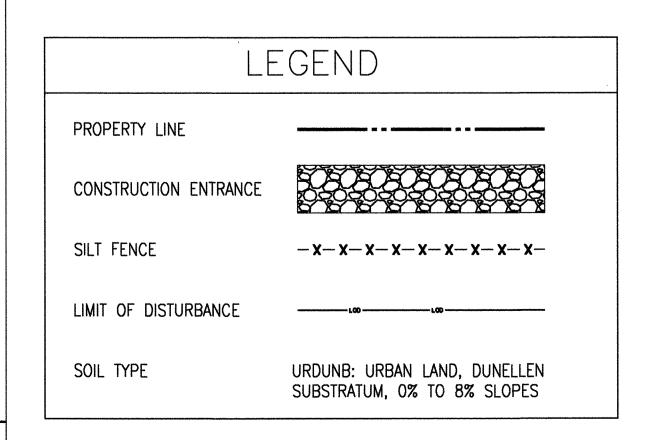


WEATHERING.

48" SILT FENCE DETAIL

N.T.S.







ARCHITECTS AND ENGINEERS INC.

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ISSUE

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1.17.19 FOR COMPLETENESS REVIEW

NO. DATE DESCRIPTION

	REVISION				
NO.	DATE	DESCRIPTION	INT.		

PRINCIPALS			
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AZ			LIC 46404
	LIC ARC-401483	NC	UC 10120
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		PA	LIC RA407927
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Project: Th	IE LEARNING	3 EX	PERIENCE
100 & 1	15 SOUTH OR	ANG	E AVENUE V
TOWN	SHIP OF SOUT	H OR	ANGE VILL
	ECCEV CO	ILLET	

TLENJ-S-17-264

rawn By:

LB

Approved By:

GPG

rawing Name:

BLOCK 1904, LOTS 16&17

SOIL EROSION AND SEDIMENT
CONTROL PLAN

C-600
eet No: of:
6 12

Drawing Number:

6 12
Initial Date:

JANUARY 3, 2019

GERARD P. GESARIO PROFESSIONAL ENGINEER N.J. LIC. #GE038255

ROJECTS\TLENJ-S-17-264 TLE SOUTH ORANGE NJ\CAD\17-264 C-600 SESC PLAN.DWG FBERMEK PLOTTED: 01/2

INLET FILTER

N.T.S.

10 20

Soil Compaction Testing Requirements

1. Subgrade soils <u>prior to the application of topsoil</u> (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.

2. Areas of the site which are subject to compaction testing and/or mitigation are graphically denoted on the certified soil erosion control plan.

3. <u>Compaction testing locations</u> are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.

4. In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

A. Probing Wire Test (see detail)
B. Hand-held Penetrometer Test (see detail)

C. Tube Bulk Density Test (licensed professional engineer required D. Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

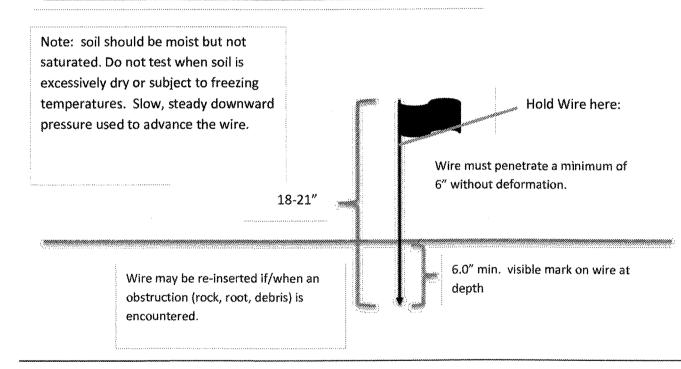
Soil compaction testing is not required if/when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

Procedures for Soil Compaction Mitigation

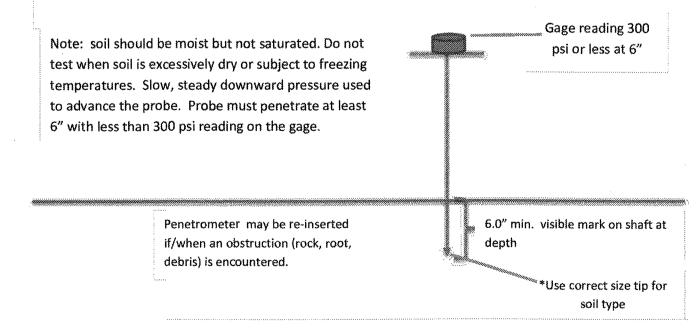
Procedures shall be used to mitigate excessive soil compaction prior to placement of topsoil and establishment of permanent vegetative cover.

Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer maybe substituted subject to District Approval.

Probing Wire Test- 15.5 ga steel wire (survey flag)



Handheld Soil Penetrometer Test



NOTE

 THIS PROJECT IS EXEMPT FROM THE SOIL COMPACTION MITIGATION MEASURES FOR: "URBAN REDEVELOPMENT" (SESC NJ STANDARDS, PAGE 19-2). AREA LOCATED WITHIN THE METROPOLITAN PLANNING AREA 1 AND HAS BEEN PREVIOUSLY DEVELOPED. STANDARD FOR DUST CONTROL

<u>Definition</u>

The control of dust on construction sites and roads.

<u>Purpose</u>

To prevent blowing and movement of dust from exposed soil surfaces, reduced on-site and off-site damage and health hazards and improve traffic safety.

Condition Where Practice Applies

This practice is applicable to areas subject to dust blowing and movement where on-site and off-site damage is likely without treatment. Consult with local municipal ordinances on any restrictions.

Water Quality Enhancement

Sediments deposited as "dust" are often fine colloidal material which is extremely difficult to remove from water once it becomes suspended. Use of this standard will help to control the generation of dust from construction sites and subsequent blowing and deposition into local surface water resources.

Planning Criteria

The following methods should be considered for controlling dust:

Mulches - See Standard of Stabilization with Mulches Only, pg. 5-1

<u>Vegetative Cover</u> - See Standard for: Temporary Vegetative Cover, pg. 7-1, Permanent Vegetative Cover for Soil Stabilization pg. 4-1 and Permanent Stabilization with Sod, pg. 6-1

Spray-On Adhesives - On mineral soils (not effective on muck soils). Keep traffic off these areas.

Table 16-1 Dust Control Materials

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACR E
Anionic asphalt emulsion	7:1	Coarse Spray	1200
Latex emulsion	12.5:1	Fine Spray	235
Resin in water	4:1	Fine Spray	300
Polyacrylamide (PAM) - spray on Polyacrylamide (PAM) - dry spread	Apply according to manufacturer's instructions. May also be used as an additive to sediment basins to flocculate and precipitate suspended colloids. See Sediment Basin standard, p. 26-1		
Acidulated Soy Bean Soap Stick	None	Coarse Spray	1200

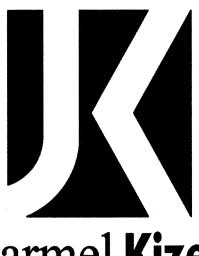
<u>Tillage</u> - To roughen surface and bring clods to the surface. This is a temporary emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chiscl-type plows spaced about 12 inches apart and spring-toothed harrows are examples of equipment which may produce the desired effect.

Sprinkling - Site is sprinkled until the surface is wet.

<u>Barriers</u> - Solid board fences, snow fences, burlap fences, crate walls, bales of hay and similar material can be used to control air currents and soil blowing.

<u>Calcium Chloride</u> - Shall be in the form of loose, dry granules or flakes fine enough to feed through commonly used spreaders at a rate that will keep surface moist but not cause pollution or plant damage. If used on steeper slopes, then use other practices to prevent washing into streams or accumulation around plants.

Stone - Cover surface with crushed stone or coarse gravel.



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DE LIC \$5-0007256	OH LIC A-99-12444
FL LIC AR94034	PA LIC RA-014851-B
GA LIC RA011484	RI LIC ARC.0004765
IA LIC 05577	SC LIC AR.9163
IL LIC 001.020069	TN LIC 103850
MA LIC ART0286	TX LIC 20992
MD LIC 12662	VA LIC 0401 014089
MI LIC 1301052189	VT LIC 2453
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CT LIC 08522	NJ PP LIC 33LI00243
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CT LIC PEN0027735	MN UC 47482
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CT LIC ARI-0011748	NY LIC 024719
MA LIC 31425	PA LIC RA-405081
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CHERYL SCHWEIKER, AIA

NJ LIC 21AI02069000
PA LIC RA407927

NJ State 8oard Of Architects Authorization No. 161
NJ State 8oard Of Engineers & Land Surveyors Authorization No. GA-278177

Project: THE LEARNING EXPERIENCE
109 & 115 SOUTH ORANGE AVENUE WEST
TOWNSHIP OF SOUTH ORANGE VILLAGE

ESSEX COUNTY, NJ BLOCK 1904, LOTS 16&17

Project No:	Scole:
TLENJ-S-17-264	AS NOTE
Drawn By:	Approved By:
LB	GP

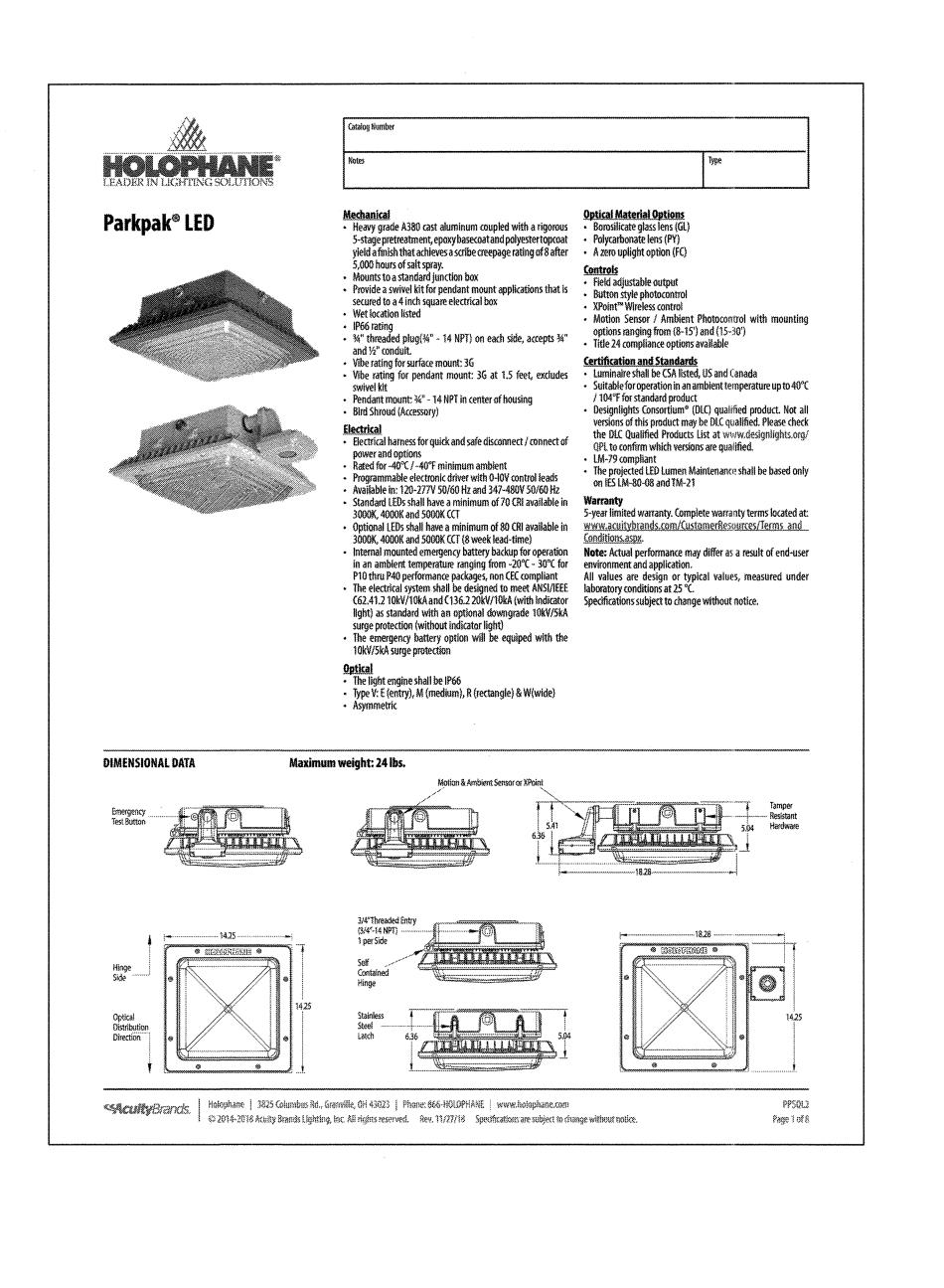
SOIL EROSION AND SEDIMENT CONTROL NOTES

C-60

Cheet No: of:

7 12
Initial Date:
JANUARY 3, 2019

GERARD P. GESARIO PROFESSIONAL ENGINEER N.J. LIC. #GE038255



. Readings shown are in units of maintained

8. This phatametrics layout was calculated using

any deviation from stated parameters will effect actual

9. These lighting calculations are not a substitute for

engineering analysis of lighting system suitability and safety.

2. Total light loss factor = .92
4. Ceiling height = 12.5' off
5. Fixture mounting height = 12.25' off
6. Fixture spacing = See plan view.

Reflectance = 10%

Statistics Min Max/Min Avg/Min Description

Schedule	Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	А	14	Holophane	GL T5W	Halophane ParkPak Square LED, LED Performance Package P40, 51W, 4000K/5000K CCT, Valtage, Borosilicate glass lens, Type V, W		1	PPSQL2_P40_40K_ 50K_XX_GL_T5W.ie s	4822	0.92	51

2ND: 13,435 SF (i)

SOUTH ORANGE AVENUE WEST

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CT LIC 08522 TN LiC 103850 TX LiC 20992 VA LiC 0401 014089 VT LiC 2453 NJ LiC 21Ai00794700 NJ PP LiC 33Li00243100

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CHERYL SCHWEIKER, AIA

NJ LIC GE038255 NJ LIC 21A1018294 NJ LIC 21A1018294 NJ LIC 019151 NJ LIC 21A102069000 PA LIC RA407927 109 & 115 SOUTH ORANGE AVENUE WEST OWNSHIP OF SOUTH ORANGE VILLAGE

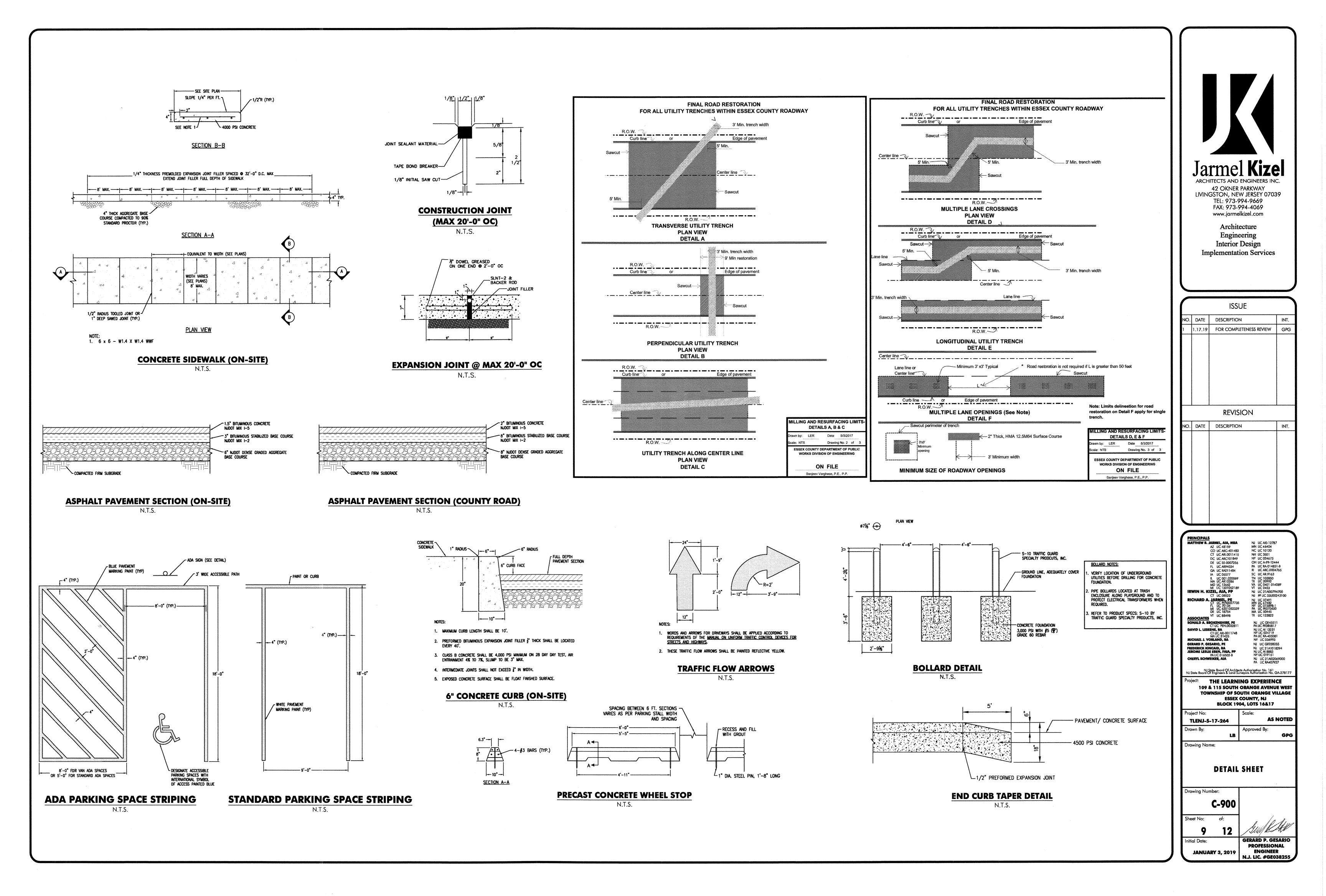
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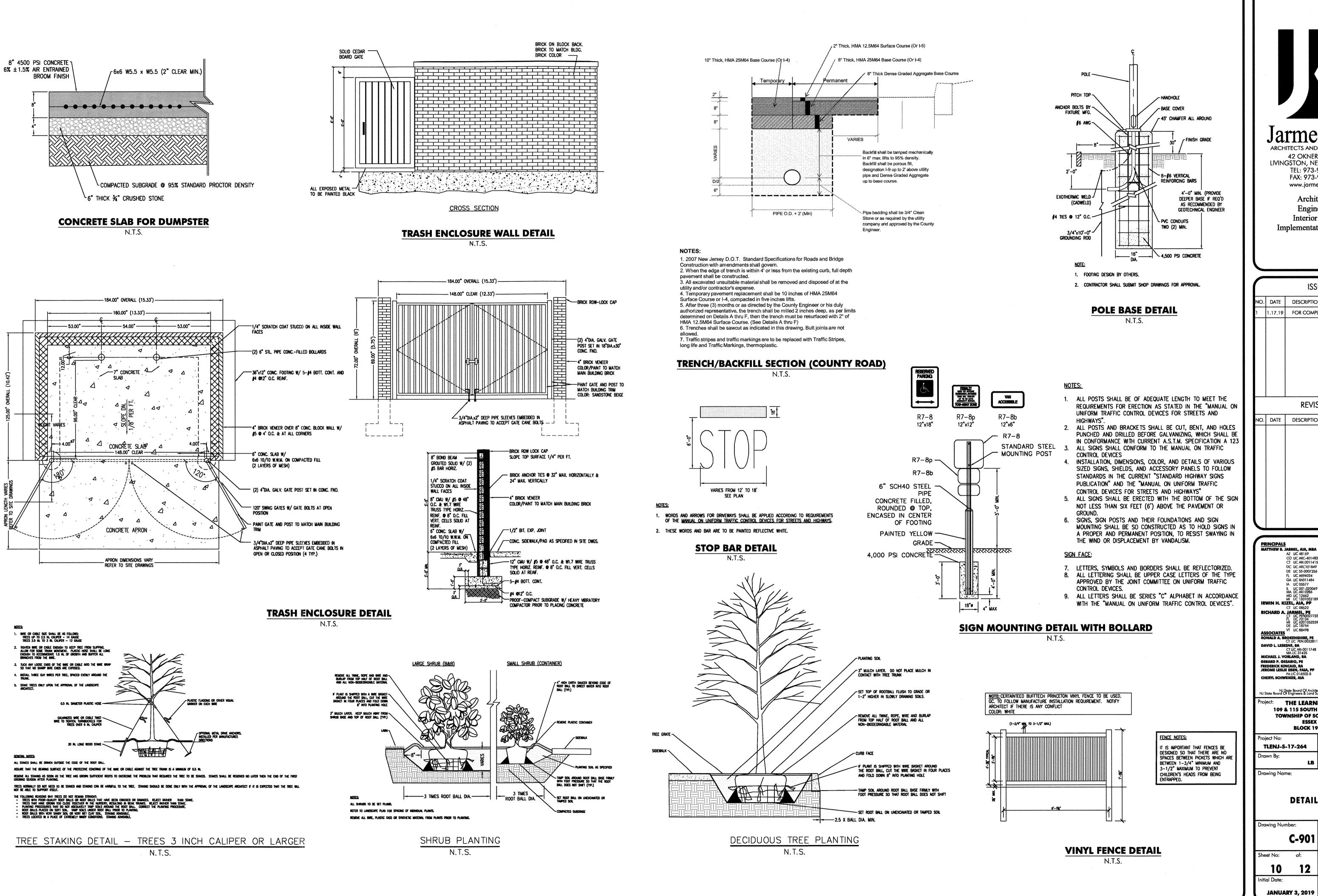
BLOCK 1904, LOTS 16&17 TLENJ-S-17-264

LIGHTING PLAN

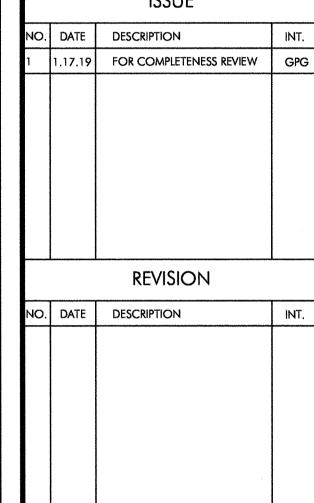
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109 & 115 SOUTH ORANGE AVENUE WEST TOWNSHIP OF SOUTH ORANGE VILLAGE

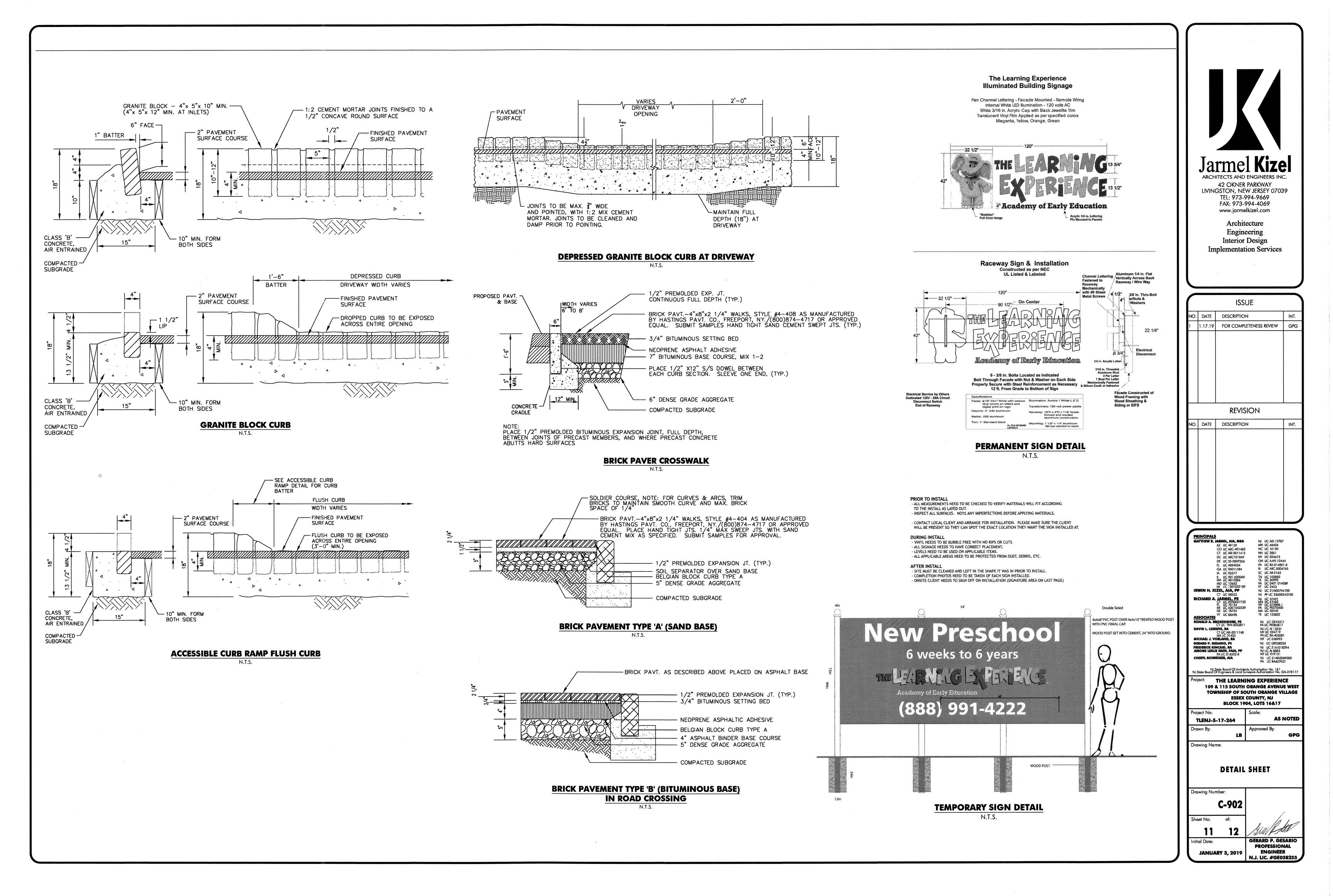
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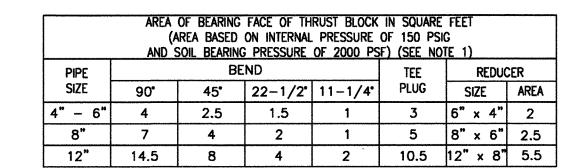
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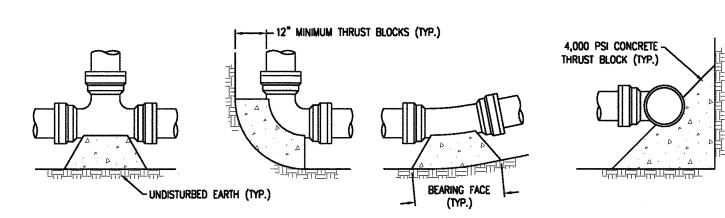
DETAIL SHEET

ENGINEER

GERARD P. GESARIO **PROFESSIONAL** N.J. LIC. #GE038255



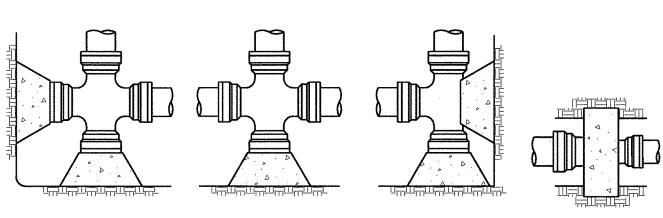




AT BEND

TYPICAL ELEVATION

AT REDUCER

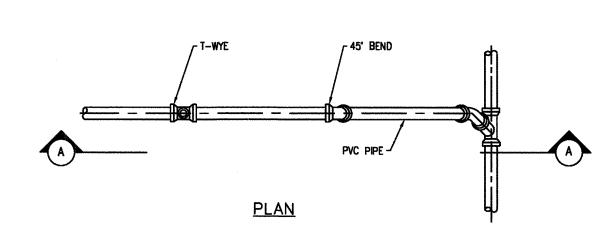


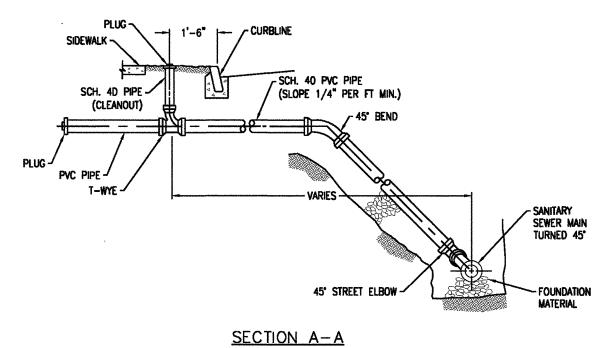
AT TEE. CROSS AND PLUG

- 1. SPECIAL DESIGN IS REQUIRED FOR FITTINGS ON DOMESTIC WATER MAIN PIPE LARGER THAN 12 INCHES.
- 2. THRUST BLOCK IS TO BE POURED AGAINST UNDISTURBED EARTH. WIDTH OF THRUST BLOCK SHOULD BE APPROXIMATELY TWICE HEIGHT.
- 3. THRUST BLOCK IS TO BE INSTALLED AT ALL BENDS, PLUGS, TEES, AND TAPPING SLEEVE AND VALVE CONNECTIONS.
- 4. FACTORY CAST OFFSETS ARE TO BE TREATED AS (2) 45 DEGREE BENDS.
- 5. FOR REDUCERS, THRUST BLOCK IS TO BE KEYED INTO WALLS AND BOTTOM OF TRENCH.
- 6. MECHANICAL RESTRAINT IS REQUIRED IN ADDITION TO THRUST BLOCK.
- 7. WOOD BLOCKING IS NOT PERMITTED.

THRUST BLOCK DETAILS

N.T.S.

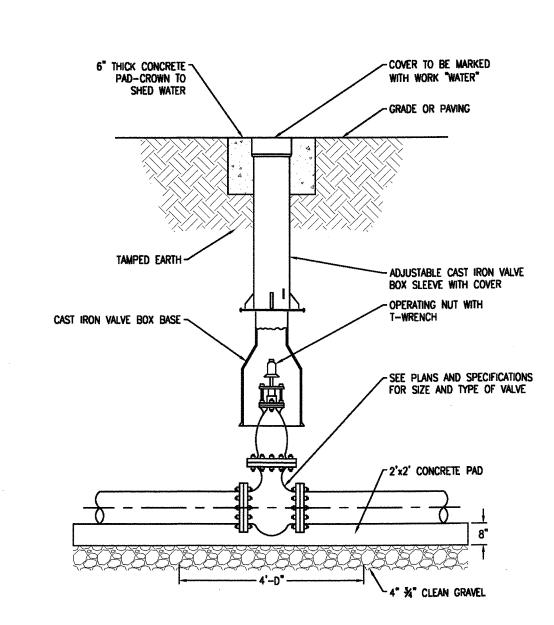




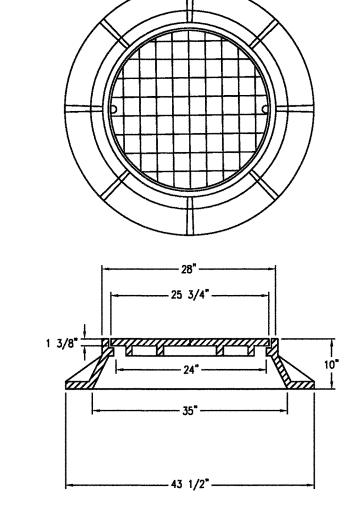
- **GENERAL NOTES:** ALL COUPLINGS, PLUGS, SOIL PIPES & CAPS TO BE STANDARD FOR TYPE OF PIPE USED, INSTALLATION TO BE WATERTIGHT.
- 2. HOUSE CONNECTIONS ARE TO BE 6" P.V.C.
- 3. ALL PLUG THREADS SHALL BE GREASED AT TIME OF INSTALLATION.
- 4. MINIMUM DEPTH OF COVER ON SANITARY SEWER MAINS SHALL BE 5 FEET.
- 5. POLYVINYL CHLORIDE PIPE AND FITTINGS FOR HOUSE LATERALS SHALL CONFORM TO A.S.T.M. D-3034.

SANITARY SEWER BUILDING CONNECTION

N.T.S.

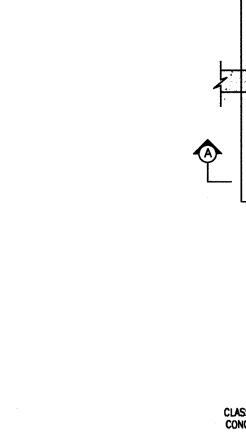


CURB VALVE DETAIL N.T.S.



MANHOLE FRAME AND COVER N.T.S.

1. DIAMETER OF MANHOLE SHALL BE REVIEWED BY THE CONTRACTOR TO DETERMINE A LEGEND OF STANDARD MANHOLE DIMENSIONS WITH RESPECT TO PROPOSED PIPE SIZES, NUMBER AND GEOMETRY. OVER SIZE MANHOLES SHALL BE PROVIDED IF MINIMUM 6" WALL DIMENSION BETWEEN PIPES IS NOT MANUFACTURED.





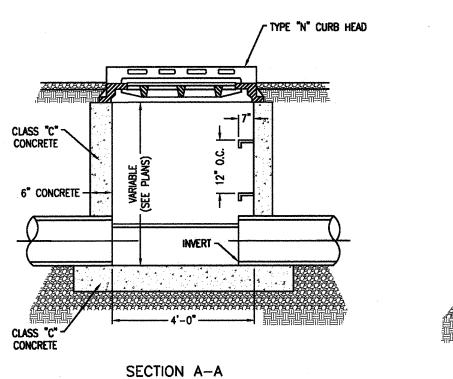
- DIAMOND DESIGN SKID

RESISTANT SURFACE

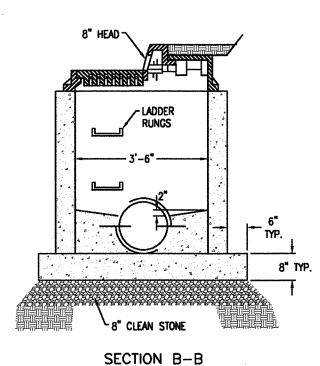
- INVERTS TO BE ELIMINATED IN BOTTOM OF TERMINAL INLETS. BOTTOMS SHALL BE DISHED AND SLOPED TOWARDS THE OUTLET PIPE AT THE RATE OF A GRADE OF 2 INCHES PER
- PROVIDE COPOLYMER POLYPROPYLENE PLASTIC LADDER RUNGS 9 12 INCHES ON CENTER. CASTING TO BE CAMPBELL FOUNDRY CO. PATTERN #2618 OR EQUIVALENT WITH ECO CURB
- PIECE TYPE "N" AND BICYCLE SAFETY GRATE #2617. CASTING TO BE THOROUGHLY PAINTED, OR APPROVED EQUAL.

4. WHEN DEPTH IS GREATER THAN 12 FEET, THE WALLS SHALL BE 8 INCHES THICK AND THE

- FOOTING SHALL BE EXTENDED TO 12 INCHES BEYOND THE OUTSIDE WALLS.
- 5. CLEAN STONE SHALL BE PLACED BENEATH THE STRUCTURE TO A DEPTH OF 8 INCHES.

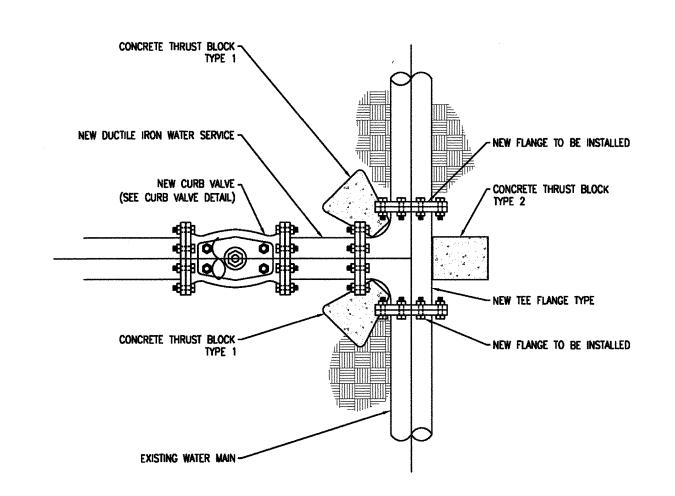


DUMP NO WASTE XX DRAINS TO RIVER XX

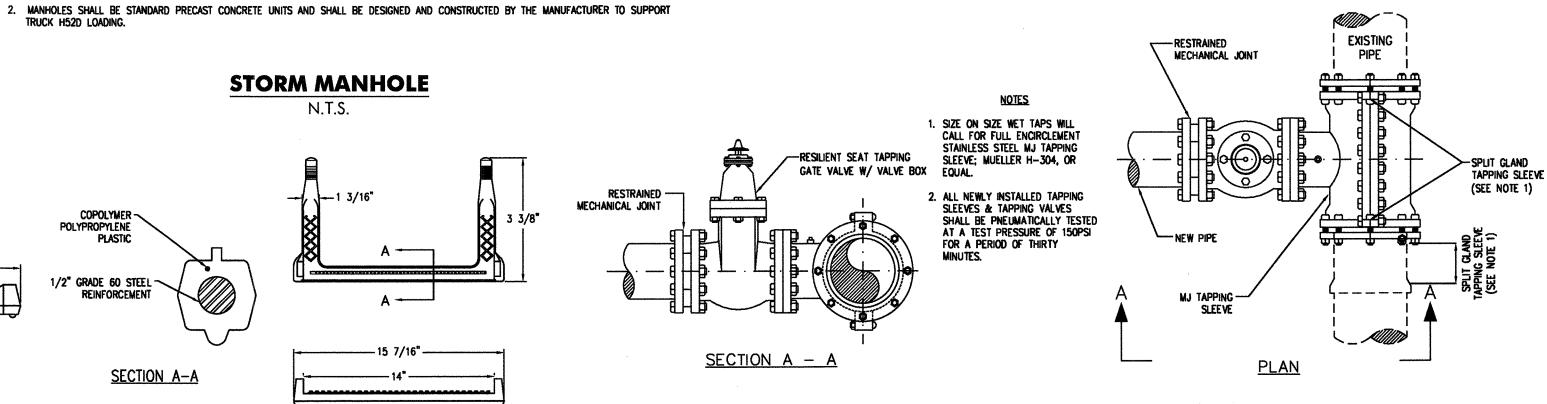


TYPE "B" INLET

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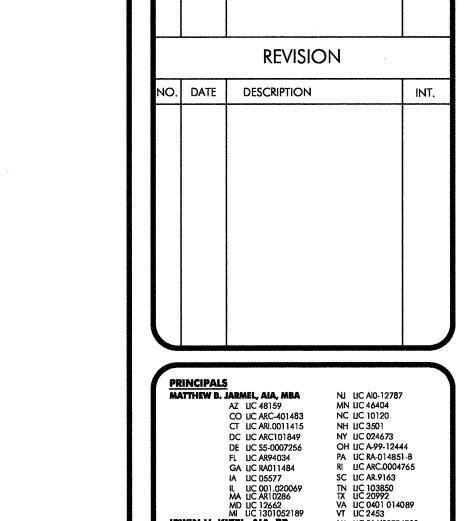
WATER MAIN CONNECTION DETAIL



PLASTIC LADDER RUNG

N.T.S.





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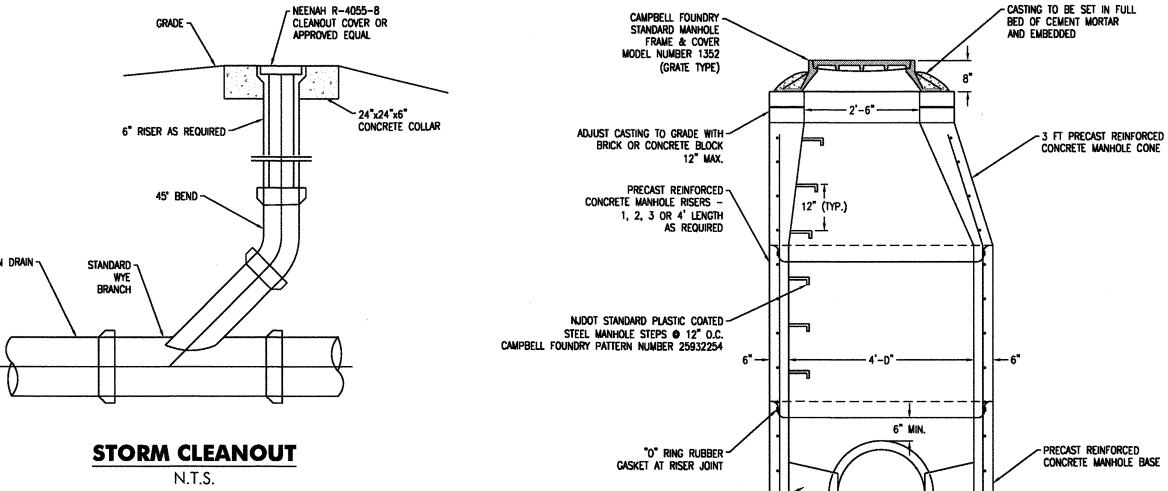
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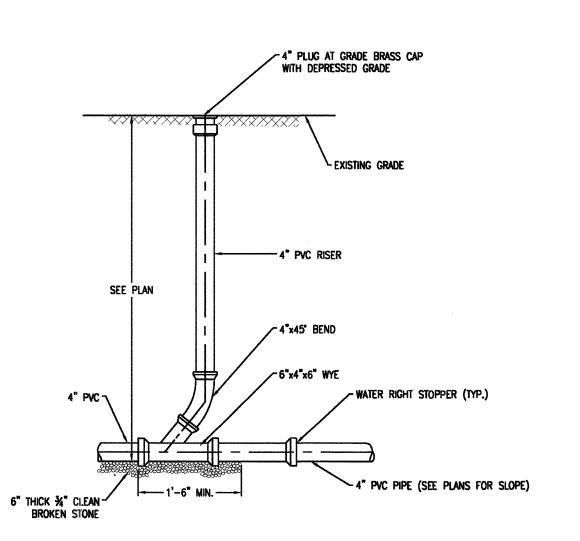
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ENGINEER N.J. LIC. #GE038255

PROFESSIONAL



CAST IN PLACE CONCRETE -



SANITARY CLEANOUT

N.T.S.