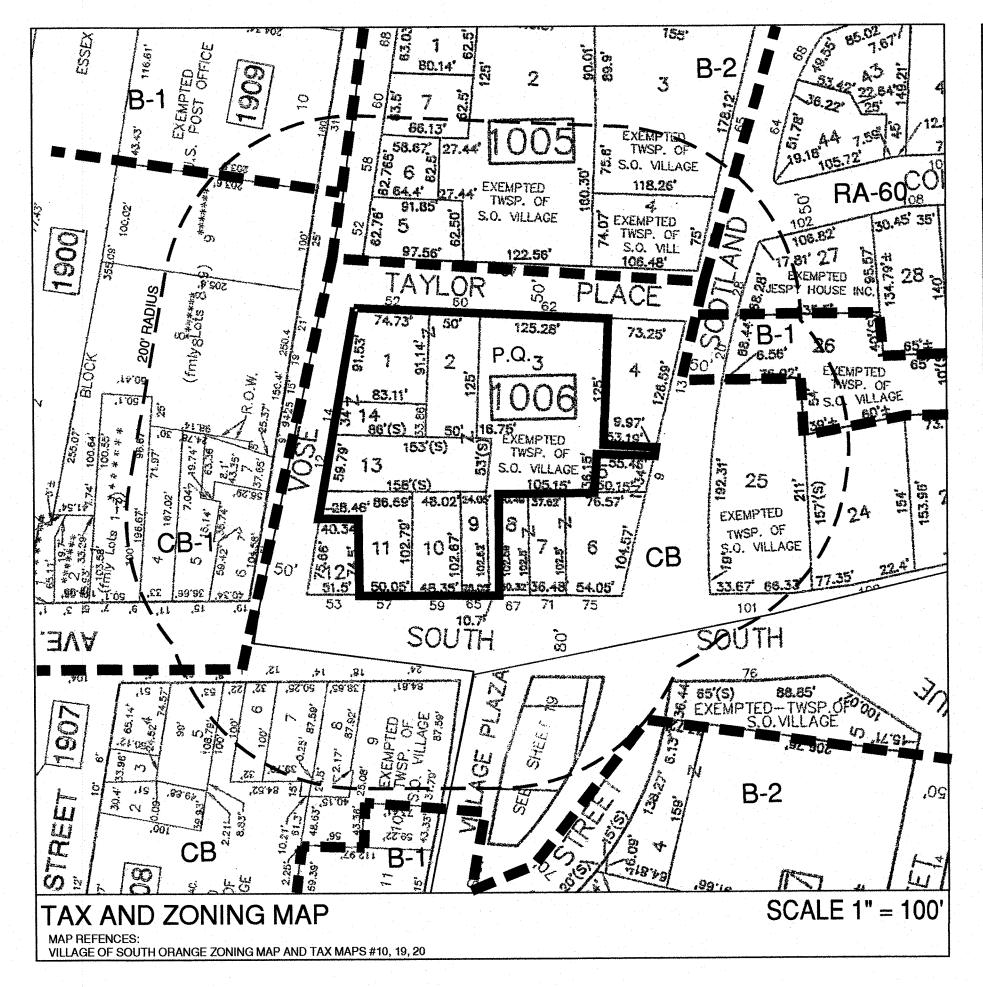
# PRELIMINARY AND FINAL SITE PLAN

PREPARED FOR

# VOSE APTS. URBAN RENEWAL, LLC

LOT 1, 2, 3, 9, 10, 11, 13 & 14 BLOCK 1006 SOUTH ORANGE AVENUE REDEVELOPMENT VILLAGE OF SOUTH ORANGE ESSEX COUNTY, NEW JERSEY



14 COUTH CREEGE AVENUE 4A 14 REALTY MANAGEMENT, LLC 26 SOUTH VALLEY ROAD WEST CREEKE, NJ

24 SOUTH CRANGE AVENUE 150 TOWNSHIP OF SOUTH CRANGE VILLAGE

1-7 SOUTH ORANGE AVENUE 1 SO OR AVE PROF URBAN RENEWAL/WATE

CARLSBAD, CA

11 SOUTH ORANGE AVENUE 4A MACESVIA / THORSON REUTERS

15 SOUTH ORANGE AVENUE 4A 15 S.O. AVEL, LLC
15 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079

19 SOUTH ORANGE AVENUE 4A SCUTH OPANGE ASSOC C/O AFFL MEST

9-25 VOSE AVE I BAGLE URRAN RENEWAL LLC/MALLOUK BLT

50 SOUTH CRANGE AVENUE 4A VILIAGE PLAZA PROP/D MULDBERG
85 LAWRENCE DRIVE
SHORT HELLS, N.J. 07578

36 SOUTH ORANGE AVENUE 4A SOUTH ORANGE PROPERTY, LLC

66 SOUTH ORANGE AVENUE 150 TOWNSHIP OF SOUTH ORANGE VILLAGE

UTILITIES

New Jersey American Water

Short Hills New Jersey 07078

Public Service Electric & Gas Co.

Manager - Corporate Properties

Newark, New Jersey 07101

Newark, New Jersey 07103

80 Park Place, T6B Newark, New Jersey 07102

540 Broad Street

CABLEVISION 186 West Mark Street

167 John F Kennedy Pkwy - Bldg A

SOUTH CRANCE, E.J. G7079

1331 SO LIVINGSTON AVE 201 LIVINGSTON, N.J. 07039

SCUTH GRANGE, N.J. 07079

US LAWRENCE DRIVE SHORT BILLS, N.J. 07078

VILLAGE HALL SOUTE CRANGE, N.J. 07079

18 S CRAMGE AVE

9 VILLASE PLAZA

PROPERTY ID PROPERTY LOCATION

10 VILLAGE PLASA

village plaza -



1. SITE PLAN OF VOSE APTS URBAN RENEWAL

DATE: AUGUST 5, 2020 SCALE: AS NOTED

PRELIMINARY \_\_\_\_ FINAL \_\_\_\_

(CHAIRMAN)

APPLICANT: VOSE APTS. URBAN RENEWAL, LLC

LIST OF APPROVALS REQUIRED:

1. ESSEX COUNTY SITE PLAN APPROVAL

2. SOIL EROSION AND SEDIMENT CONTROL

3. NJDEP DIVISION OF WATER QUALITY APPROVAL

4. NJDEP TREATMENT WORKS APPROVAL

	LIST OF DRAWINGS	
SHEET NO.	NAME	PREPARED BY
SP-1	TITLE SHEET	PETRY ENGINEERING, L
SP-2	LAYOUT PLAN	PETRY ENGINEERING, L
SP-3	GRADING AND DRAINAGE PLAN SHOWING LOWER LEVEL PARKING	PETRY ENGINEERING, L
SP-4	GRADING OF SECOND FLOOR PARKING	PETRY ENGINEERING, L
SP-5	SOIL EROSION SEDIMENT CONTROL PLAN	PETRY ENGINEERING, L
SP-6	CONSTRUCTION DETAILS (1 OF 2)	PETRY ENGINEERING, L
SP-7	CONSTRUCTION DETAILS (2 OF 2)	PETRY ENGINEERING, L
C1 - A10	ARCHITECTURAL PLANS	MARCHETTO HIGGINS STIE
L-001 - L-503	LANDSCAPING PLANS	ARTERIAL, LLC

MAP REFENCES:

TAKEN FROM NJGIN WAREHOUSE 2015

		RENEWAL, LLC ADDRESS: 447 NORTHFIELD AVENUE, SUITE 200 WEST ORANGE NJ 07052 PHONE:973-731-2600 DATE: AUGUST 5, 2020	
	3.	3. I HEREBY CERTIFY THAT HAVE PREPARED THIS SITE PLAN AND THAT ALL DIMENSIONS INFORMATION ARE CORRECT NAME: J. MICHAEL PETRY ADDRESS: 155 PASSAIC AVENUE FAIRFIELD NJ 07004 TITLE & LICENSE: PROJECT ENGINEER, 36662	AND
, LLC LLC	4.	INDED ANY INDICATION	NANCES
, LLC , LLC		(DATE)	
, LLC , LLC	5.	DOCTED IN COMPLIANCE WITH ALL ADDITIONED E CODES AND ODDINANCES	OR A BOND
, LLC TIEVE			
		(VILLAGE ENGINEER) (DATE)	
		(IF BOND POSTED)	
		(VILLAGE CLERK) (DATE) BUILDING PERI	NIT ISSUED
	6	6. APPROVED BY THE PLANNING BOARD	

2. I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD OF VOSE APTS. URBAN

LOTS 1,2,3,9,10,11,13,14 BLOCK 1006 ZONE: VOSE+ TAYLOR REDEVELOPMENT PLAN

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

	E DATA	CHAR	T	
OWNER & VOSE APTS. URBAN REI 447 NORTHFIELD AVENU WEST ORANGE, NJ 0705	JE, SUITE 200			:
PROPERTY: LOT 1, 2, 3, 9, 10, 11, AREA = 1.403± ACRE		06		
ZONE: VOSE+ TAYLOR REDEVEL	OPMENT PLAN			
EXISTING USE: MIXED USE	PROPOS	ED USE: MIXE	D USE	
DESCRIPTION	CODE (CBD)	EXISTING	PROPOSED	COMPLIANC
AREA YARD AND BULK REGULA	TIONS	-		
DWELLING UNITS	110 MAX.		111 UNITS	YES*
AFFORDABLE HOUSING	20% OR 22 UNITS	. •	22 UNITS	YES
OFF-SITE AFFORDABLE HOUSING	50% MAX.	<del>-</del>	11 UNITS	YES
COMMERCIAL SPACE	24,000 SF MAX.	<u>.</u>	19,915 SF	YES
MIN. LOT AREA	47,000 SF	61,147 SF	61,147 SF	YES
MINIMUM LOT WIDTH	230 FT	208.1 FT	208.1 FT	NO
MINIMUM LOT DEPTH	260 FT	284.4 FT	284.4 FT	YES
MAX. IMPERVIOUS COVERAGE	95%	91.8%	100%	NO
MAX. BUILDING COVERAGE	95%	<u>.</u>	84.1 %	YES
MIN. SETBACK - SOUTH ORANGE AVE	8 FT	-	9.1 FT	YES
MAX. SETBACK - SOUTH ORANGE AVE	22 FT	. <del>-</del>	21.1 FT	YES
MAX. BUILDING HEIGHT	5 STORIES/66 FT	-	5 STORIES/65.58 FT	YES
PARKING AND LOADING				
MIN. PARKING SPACES	180 SPACES	85 SPACES	205 SPACES**	YES
MAX. PARKING SPACES	198 SPACES	85 SPACES	205 SPACES**	NO
MIN. BICYCLE SPACES	66 SPACES	-	66 SPACES	YES
SMALL CAR STALL %	25%		25%	YES
STALL SIZE	8.5'X18' (REG.) 8'X16' (SMALL)	-	8.5'X18' (REG.) 8'X16' (SMALL)	YES
ADA STALLS	5 STANDARD 2 VAN		5 STANDARD 2 VAN	YES

\* ONE UNIT RESERVED FOR BUILDING OPERATIONS STAFF SHALL
NOT BE COUNTED AS PART OF THE OVERALL RESIDENTIAL DENSITY

\*\* DECIDENTIAL CRACES 110, OFFICE SPACES 20, COMMERCIAL SPACES 49, PUBLIC SPACES

OPEN SPACE	COMPLIANCE	SIDEWALKS	COMPLIANCE
ADA Compliant walkways - On Site	YES	Sidewalks are provided along improved streets	YES
ADA Compliant walkways - Roadway	NO	Sidewalks are 12' wide Min.	NO
Ped Connection to Scotland Rd. accessible 24/7	YES	PEDESTRIAN CROSSINGS	
Alleyway Differentiated from public walkway along S.			
Orange Ave.	YES	Ped crossings are provided at	
Design Promotes Passive Activities	YES	S Orange Ave & Scotland Road	NO
SEATING		S Orange Avenue & Vose Avenue	NO
Height: 18-24 inches Depth 15 in. Min.	YES	Taylor Place & Scotland Road	NO
Aligned to face each other	YES	Taylor Place & Vose Avenue	YES
SIGNAGE		Minimized ped crossing distance	YES
		Curb extended at corners to minimize crossing	
Regulations governing wall mounted signs 185-142 B1	YES	distance	YES
Regulations governing projecting signs 185-142 B2	YES	Materials:	
Regulations governing projecting signs 165-142 B6	YES	High quality pavers	YES
Regulations governing temporary signs 185-142 B9	NO	Crosswalk treatment designed for maximum visibility	YES
LIGHTING		Warning signs are installed	YES
Lights at 60' intervals	YES	Crosswalks are 10' wide	YES
Light height NTE 20'	YES	CURB HEIGHT	
Light height NTL 20	1125	Ped ramps should be extended horizontally to the	
Lights prevent upward spillage	YES	extent practical	YES
Lights are LED lamps providing "warm-white" light	YES	Bollards installed where curb is flush with roadway	YES
Lights provide not less than ½ horizontal foot-candle average		Illuminated bollards are installed at crosswalks	YES
Dimmable Lights and able to be controlled by timer	YES	LANDSCAPING	
Pathways to be lit for pedestrians	YES	Street trees have cast iron grates	NO
1 autways to be in for pedestrains	120	Block pavers are installed around perimeter of tree	
Lights directed away from adjacent lots	YES	pits	YES
Architectural and accent is on structures and will be off	1 LO	Shade trees are planted along the street at 25'	1
between 11-5	YES	intervals	NO
Safety lighting is provided on structures	YES	Trees are 3.5" caliper min.	YES
Light finishes are modern, human-oriented and imaginative	YES	Tree irrigation bags are installed	YES
Light linishes are modern, numan-oriented and magnitude	11.0	Foundation landscaping is provided at building	1-2-7
Cobra lights are not incorporated into plan	YES	setbacks	YES
Tilding and the state of the st	NO NO	Shrubs planted at a max of 2'6" on center	YES
Lighting at crosswalks is maximized  STREETSCAPE	110	in the planted at a max of 2 o of center	1.20
	YES		
Licensed Landscape Architect prepared streetscape	1 ES	1	
FAÇADE	<del> </del>	<b>-</b>	
Streetscape and Façade were designed to indicate clear			
sense of entry to building	YES		
D. d. C the at to be difference along and evolution	VEC		

Path from street to building is clear and welcoming

4	REVISED PER REVIEW COMMENTS	8/5/2020	АНН	
3	ISSUED FOR PLANNING BOARD SUBMITTAL	7/10/2020	JMP	
2	REVISED FOR SESC SUBMISSION	6/18/2020	АНН	
. 1	REVISED FOR PRELIMINARY SUBMISSION	5/28/2020	АНН	
REVISION	DESCRIPTION	DATE	вү	

## VOSE APTS. URBAN RENEWAL, LLC

LOT 1, 2, 3, 9, 10, 11, 13 & 14 BLOCK 1006 SOUTH ORANGE AVENUE REDEVELOPMENT VILLAGE OF SOUTH ORANGE ESSEX COUNTY, NEW JERSEY

#### TITLE SHEET



Draftsman: AHH

Checked By: JMP

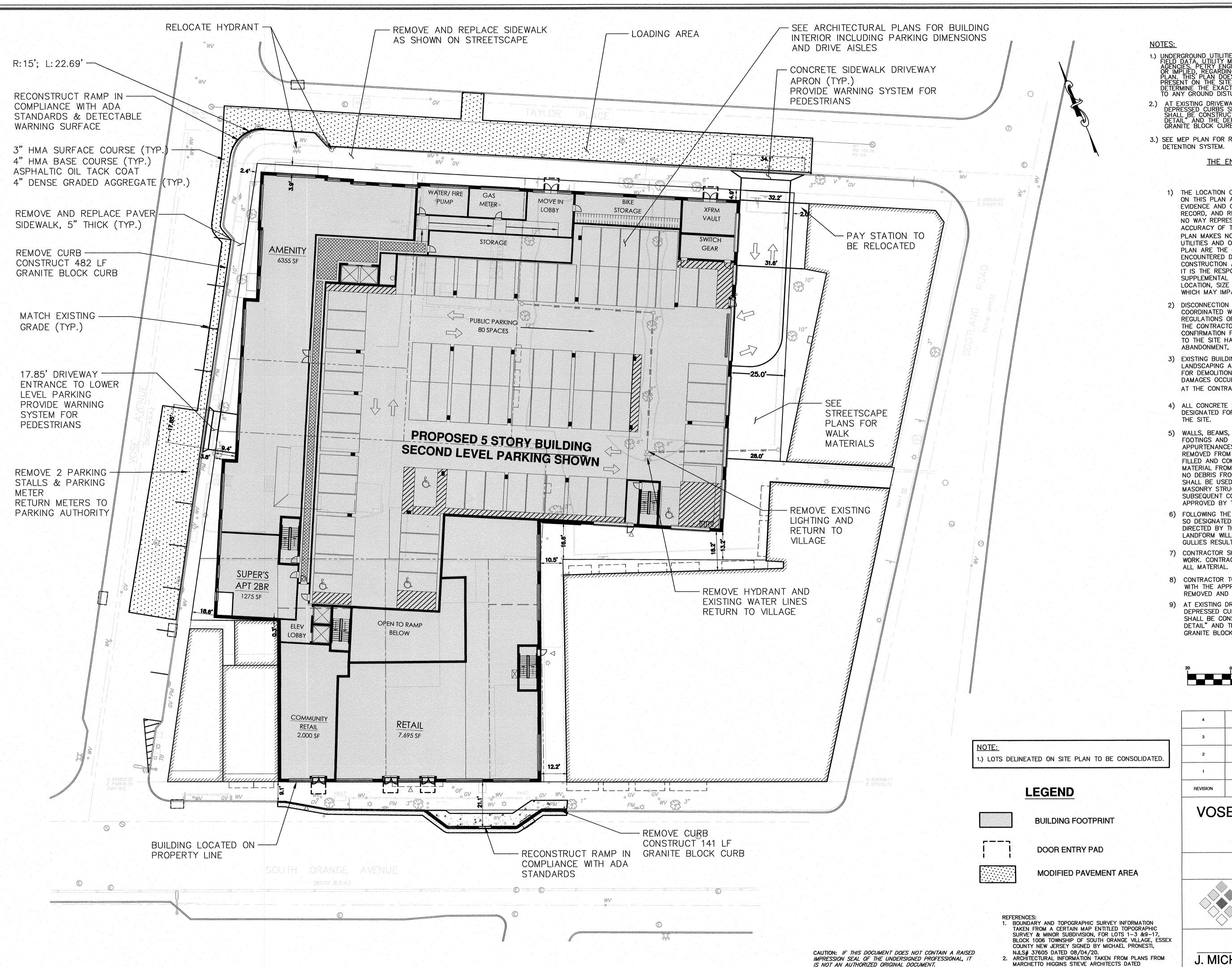
Project No.: 19-0078

Scale: AS NOTED

Designer: JMP



SP-1

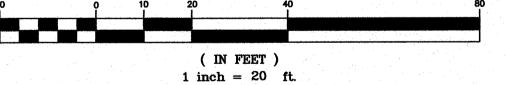


- O UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE PLOTTED USING FIELD DATA, UTILITY MARKINGS AND/OR RECORDS FURNISHED BY VARIOUS AGENCIES. PETRY ENGINEERING, LLC. MAKES NO GUARANTEES, EXPRESS OR IMPLIED, REGARDING THE UTILITY LOCATIONS AS PLOTTED ON THIS PLAN. THIS PLAN DOES NOT IMPLY THAT NO OTHER UTILITIES MAY BE PRESENT ON THE SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY GROUND DISTURBANCE.
- 2.) AT EXISTING DRIVEWAY APRONS TO BE ABANDONED, EXISTING APRONS AND DEPRESSED CURBS SHALL BE REMOVED, NEW CONCRETE SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CONCRETE SIDEWALK DETAIL" AND THE DEPRESSED CURBS SHALL BE REPLACED WITH NEW GRANITE BLOCK CURB, NEW CURBS SHALL MATCH EXISTING CURBS.
- 3.) SEE MEP PLAN FOR ROOF LEADERS SHALL BE CONNECTED TO THE STORM SEWER DETENTION SYSTEM.

## THE ENTIRE EXISTING SITE IS SCHEDULED FOR DEMOLITION DEMOLITION NOTES

- 1) THE LOCATION OF EXISTING SUBSTRUCTURES AND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON FIELD OBSERVATIONS OF SURFACE EVIDENCE AND CERTAIN INFORMATION CONTAINED IN THE PUBLIC RECORD, AND RECORD DATA PROVIDED BY OWNER. THIS PLAN IN NO WAY REPRESENTS ANY GUARANTEE, EXPRESS OR IMPLIED, TO THE ACCURACY OF THESE PLOTTED LOCATIONS, ADDITIONALLY, THIS PLAN MAKES NO GUARANTEE THAT UTILITIES AND OTHER SUBSURFACE UTILITIES AND OTHER SUBSURFACE STRUCTURES SHOWN ON THIS PLAN ARE THE ONLY SUBSURFACE STRUCTURES WHICH MAY BE ENCOUNTERED DURING THE DEMOLITION OR SUBSEQUENT CONSTRUCTION ASSOCIATED WITH THIS OR ANY OTHER PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ANY SUPPLEMENTAL OR VERIFYING INVESTIGATIONS RELATED TO THE LOCATION, SIZE AND NATURE OF UNDERGROUND STRUCTURES WHICH MAY IMPACT THE WORK ON OR NEAR THIS SITE.
- 2) DISCONNECTION OF EXISTING UTILITY SERVICES SHALL BE COORDINATED WITH OWNER AND IN ACCORDANCE WITH THE REGULATIONS OF THE UTLILITY AUTHORITY CONCERNED. THE CONTRACTOR WILL PROVIDE THE OWNER WITH WRITTEN CONFIRMATION FROM UTLITIY COMPANIES THAT ALL SERVICE TO THE SITE HAS BEEN TERMINATED PRIOR TO THE CAPPING, ABANDONMENT, OR REMOVAL OF ANY SUCH UTLITITIES.
- 3) EXISTING BUILDINGS, STRUCTURES, CURBS, UTILITIES, SIGNS, LANDSCAPING AND ANY OTHER IMPROVEMENTS NOT DESIGNATED FOR DEMOLITION SHALL BE PROTECTED FROM DAMAGE. SHOULD DAMAGES OCCUR, THE OWNER SHALL BE NOTIFIED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- 4) ALL CONCRETE SLABS, FLOORS, BARRIERS, CURBS AND SIDEWALKS DESIGNATED FOR DEMOLITION SHALL BE COMPLETELY REMOVED FROM THE SITE.
- 5) WALLS, BEAMS, COLUMNS, FLOORS, SLABS, PAVEMENTS, RAMPS, FOOTINGS AND ALL OTHER BUILDING COMPONENTS OR APPURTENANCES DESIGNATED FOR REMOVAL SHALL BE COMPLETELY REMOVED FROM THE SITE. THE RESULTING DEPRESSIONS SHALL BE FILLED AND COMPACTED AS DIRECTED, USING ONLY SUITABLE MATERIAL FROM ON—SITE OR APPROVED MATERIAL FROM OFF—SITE. NO DEBRIS FROM DEMOLITION OR OTHER UNSUITABLE MATERIAL SHALL BE USED. IN SPECIAL CASES, DEEP SEATED CONCRETE OR MASONRY STRUCTURES WHICH WILL NOT INTERFERE WITH SUBSEQUENT CONSTRUCTION MAY REMAIN IN PLACE IF SO APPROVED BY THE OWNER'S ENGINEER.
- 6) FOLLOWING THE DEMOLITION AND REMOVAL OF ALL IMPROVEMENTS SO DESIGNATED, THE DISTURBED AREA SHALL BE GRADED, AS DIRECTED BY THE OWNER'S ENGINEER, SO THAT THE RESULTING LANDFORM WILL NOT ALLOW FOR PONDING OR THE FORMATION OF GULLIES RESULTING FROM STORMWATER RUN-OFF.
- 7) CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FOR THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL MATERIAL.
- 8) CONTRACTOR TO COORDINATE REMOVAL OF ANY EXISTING SITE LIGHTING WITH THE APPROPRIATE UTILITY COMPANY. LIGHT POLES SHALL BE REMOVED AND DISPOSED OF AS REQUIRED.
- 9) AT EXISTING DRIVEWAY APRONS TO BE ABANDONED, EXISTING APRONS AND DEPRESSED CURBS SHALL BE REMOVED, NEW CONCRETE SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CONCRETE SIDEWALK DETAIL" AND THE DEPRESSED CURBS SHALL BE REPLACED WITH NEW GRANITE BLOCK CURB, NEW CURBS SHALL MATCH EXISTING CURBS.

GRAPHIC SCALE



4	REVISED PER REVIEW COMMENTS	8/5/2020	AHH
3	ISSUED FOR PLANNING BOARD SUBMITTAL	7/6/2020	JMP
2	REVISED FOR SESC SUBMISSION	6/18/2020	АНН
1	REVISED FOR PRELIMINARY SUBMISSION	5/28/2020	АНН
REVISION	DESCRIPTION	DATE	вү

# PREPARED FOR VOSE APTS. URBAN RENEWAL, LLC LOT 1, 2, 3, 9, 10, 11, 13 & 14 BLOCK 1006 SOUTH ORANGE AVENUE REDEVELOPMENT

VILLAGE OF SOUTH ORANGE ESSEX COUNTY, NEW JERSEY

#### LAYOUT SHEET



Project No.: 19-0078

Scale: 1:20

Sheet:

Designer: JMP

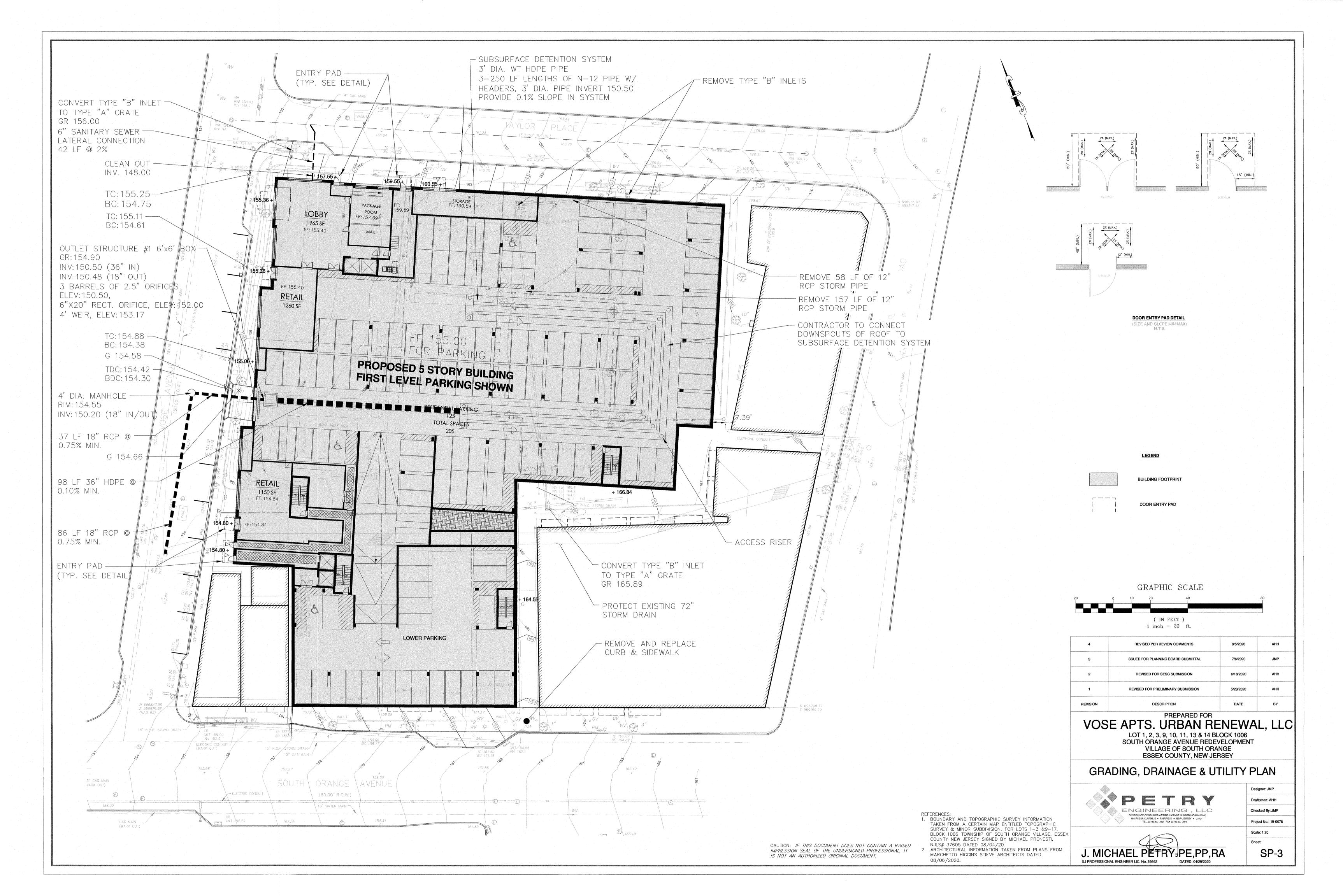
Draftsman: AHH

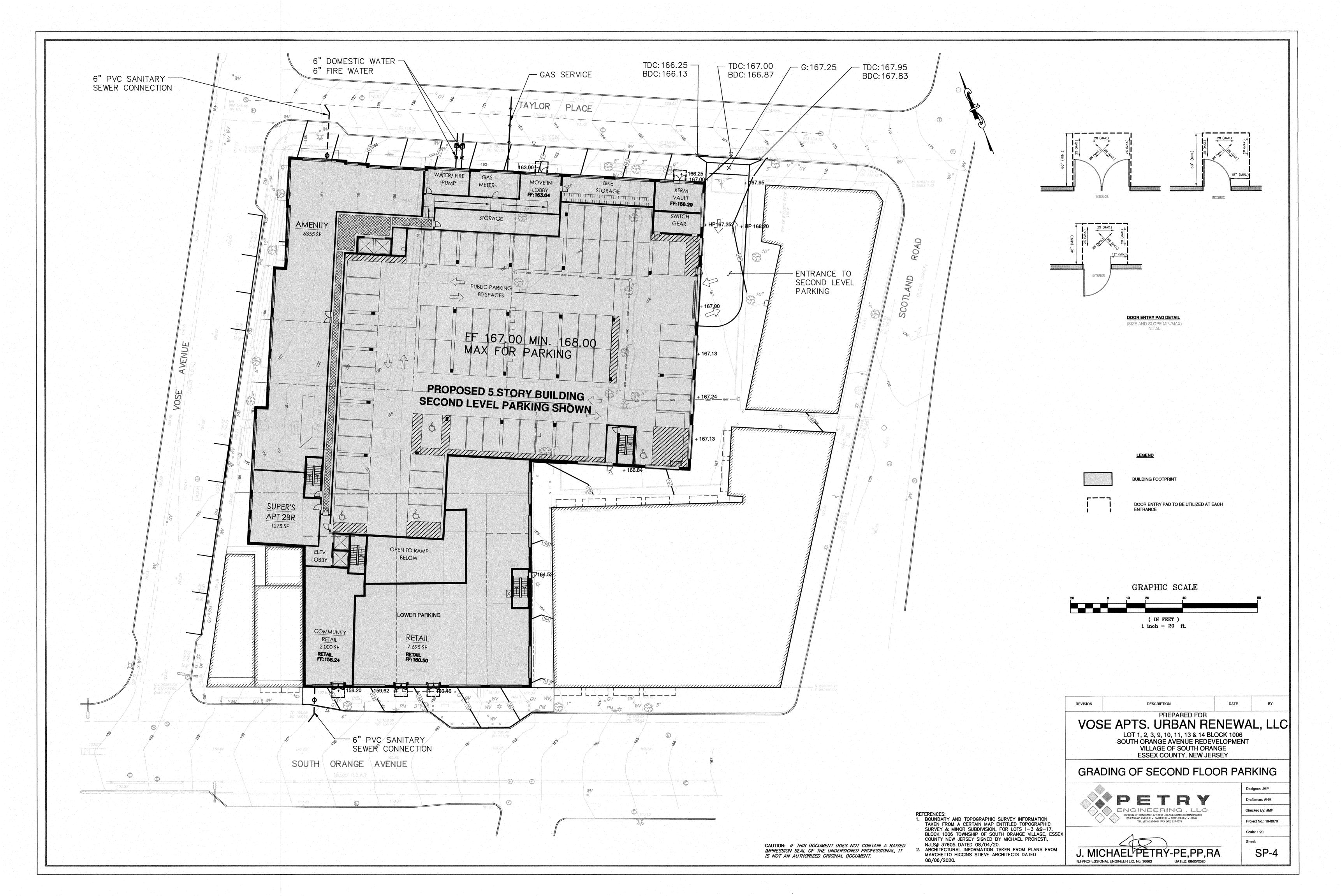
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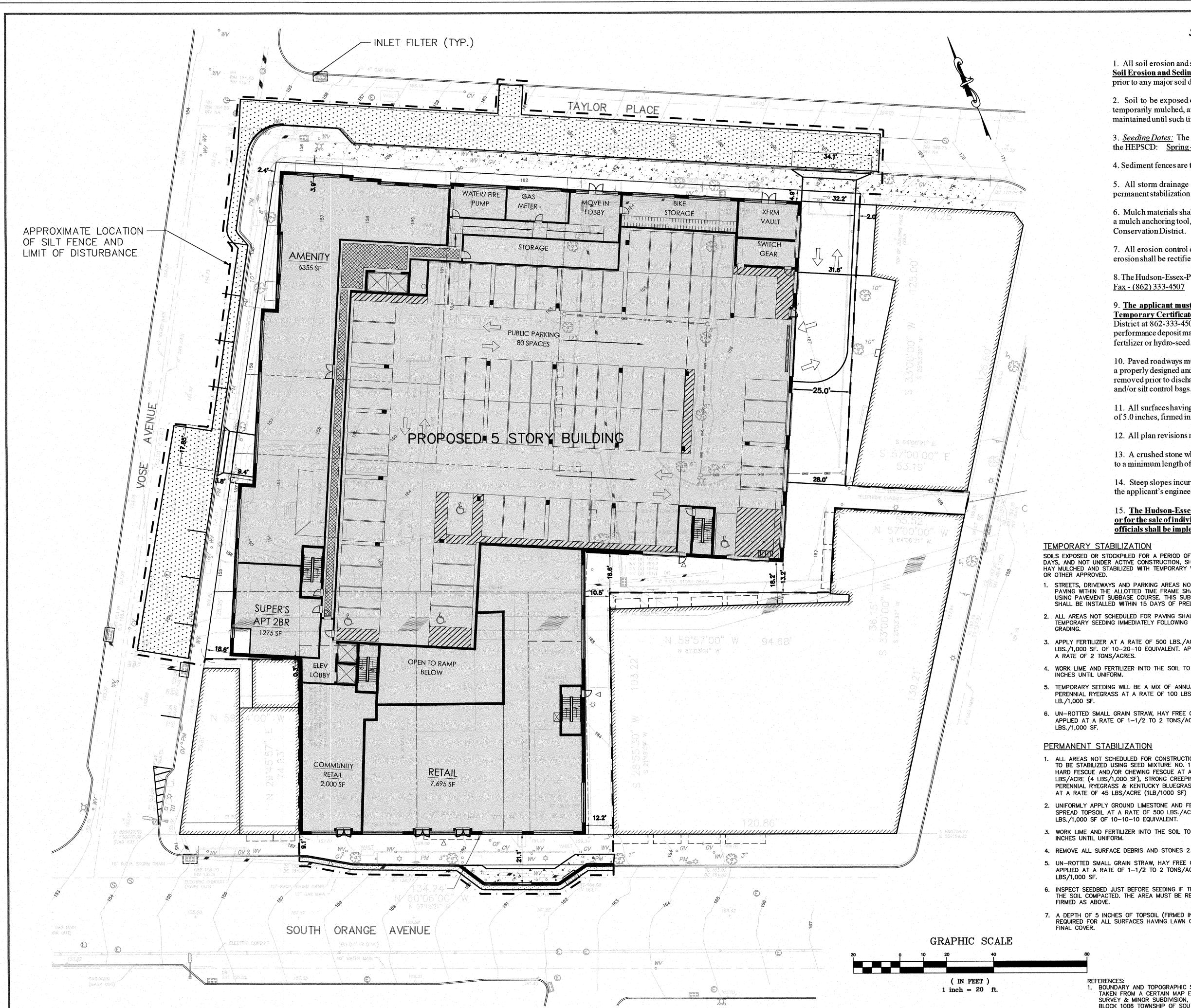
J. MICHAEL PETRY-PE,PP,RA

NJ PROFESSIONAL ENGINEER LIC. No. 36662 DATED: 04/29/2020

SP-2







#### SOIL EROSION AND SEDIMENT CONTROL NOTES

(To be included on the signed erosion control plan sheet)

- 1. All soil erosion and sediment control practices on this plan will be constructed in accordance with the "New Jersey Standards for Soil Erosion and Sediment Control" 7th Edition last revised July 2017, effective December 2017. These measures will be installed prior to any major soil disturbance or in their proper sequence and maintained until permanent protection is established.
- 2. Soil to be exposed or stockpiled for a period of greater than 14 days, and not under active construction, may be required to be temporarily mulched, and seeded or otherwise provided with vegetative cover as per Appendix A3. This temporary cover shall be maintained until such time whereby permanent restabilization is established.
- 3. <u>Seeding Dates:</u> The following seeding dates are recommended to best establish permanent vegetative cover within most locations in the HEPSCD: Spring - 3/1-5/15 and Fall - 8/15 - 10/1
- 4. Sediment fences are to be properly trenched and maintained until permanent vegetative cover is established
- 5. All storm drainage inlets shall be protected by one of the practices accepted in the Standards, and protection shall remain until permanent stabilization has been established. Storm drainage outlet points shall be protected as required before they become functional.
- 6. Mulch materials shall be un-rotted small grain straw applied at the rate of 70 to 90 pounds per 1,000 square feet and anchored with a mulch anchoring tool, liquid mulch binders, or netting tie down. Other suitable materials may be used if approved by the Soil Conservation District.
- 7. All erosion control devices shall be periodically inspected, maintained and corrected by the contractor. Any damage incurred by erosion shall be rectified immediately.
- 8. The Hudson-Essex-Passaic Soil Conservation District will be notified in writing at least 48 hours prior to any soil disturbing activities. Fax - (862) 333-4507 OR email - INFORMATION@HEPSCD.ORG
- 9. The applicant must obtain a District issued Report-of-Compliance prior to applying for the Certificate of Occupancy or Temporary Certificate of Occupancy from the respective municipality, NJ - DCA or any other controlling agency. Contact the District at 862-333-4505 to request a Final Inspection, giving advanced notice upon completion of the restabilization measures. A performance deposit may be posted with the District when winter weather or snow cover prohibits the proper application of seed, mulch fertilizer or hydro-seed.
- 10. Paved roadways must be kept clean at all times. Do not utilize a fire or garden hose to clean roads unless the runoff is directed to a properly designed and functioning sediment basin. Water pumped out of the excavated areas contains sediments that must be removed prior to discharging to receiving bodies of water using removable pumping stations, sump pits, portable sedimentation tanks and/or silt control bags.
- 11. All surfaces having lawn or landscaping as final cover are to be provided topsoil prior to re-seeding, sodding or planting. A depth of 5.0 inches, firmed in place, is **required**, as per the Standards for Topsoiling and Land Grading, effective December 2017.
- 12. All plan revisions must be submitted to the District for proper review and approval.
- 13. A crushed stone wheel cleaning tracking-pad is to be installed at all site exits using 2 ½ -1" crushed angular stone (ASTM 2 or 3) to a minimum length of 50 feet and minimum depth of 6". All driveways must be provided with crushed stone until paving is complete.
- 14. Steep slopes incurring disturbance may require additional stabilization measures. These "special" measures shall be designed by the applicant's engineer and be approved by the Soil Conservation District.
- 15. The Hudson-Essex-Passaic Soil Conservation District shall be notified, in writing, for the sale of any portion of the project or for the sale of individual lots. New owners' information shall be provided. Additional measures deemed necessary by District officials shall be implemented as conditions warrant.

TEMPORARY STABILIZATION

SOILS EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, SHALL BE SEEDED & HAY MULCHED AND STABILIZED WITH TEMPORARY VEGETATIVE COVER

- 1. STREETS, DRIVEWAYS AND PARKING AREAS NOT SCHEDULED FOR PAVING WITHIN THE ALLOTTED TIME FRAME SHALL BE STABILIZED USING PAVEMENT SUBBASE COURSE. THIS SUBBASE COURSE SHALL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING.
- 2. ALL AREAS NOT SCHEDULED FOR PAVING SHALL RECEIVE A TEMPORARY SEEDING IMMEDIATELY FOLLOWING FOLLOWING ROUGH
- 3. APPLY FERTILIZER AT A RATE OF 500 LBS./ACRE OR 11 LBS./1,000 SF. OF 10-20-10 EQUIVALENT. APPLY LIMESTONE AT A RATE OF 2 TONS/ACRES.
- 4. WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES UNTIL UNIFORM.
- 5. TEMPORARY SEEDING WILL BE A MIX OF ANNUAL RYEGRASS OR PERENNIAL RYEGRASS AT A RATE OF 100 LBS./ACRE OR 1 LB./1,000 SF.
- 6. UN-ROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT A RATE OF 1-1/2 TO 2 TONS/ACRE (70 TO 90 LBS./1,000 SF.

#### PERMANENT STABILIZATION

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- 1. ALL AREAS NOT SCHEDULED FOR CONSTRUCTION OR LANDSCAPING TO BE STABILIZED USING SEED MIXTURE NO. 13 CONSISTING OF HARD FESCUE AND/OR CHEWING FESCUE AT A RATE OF 175 LBS/ACRE (4 LBS/1,000 SF), STRONG CREEPING RED FESCUE PERENNIAL RYEGRASS & KENTUCKY BLUEGRASS (BLEND), BOTH
- 2. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO SPREAD TOPSOIL AT A RATE OF 500 LBS./ACRE OR 11 LBS./1,000 SF OF 10-10-10 EQUIVALENT.
- 3. WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES UNTIL UNIFORM.
- 4. REMOVE ALL SURFACE DEBRIS AND STONES 2 INCHES OR LARGER.
- 5. UN-ROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT A RATE OF 1-1/2 TO 2 TONS/ACRE (70 TO 90 LBS/1,000 SF.
- 6. INSPECT SEEDBED JUST BEFORE SEEDING IF TRAFFIC HAS LEFT THE SOIL COMPACTED. THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.
- 7. A DEPTH OF 5 INCHES OF TOPSOIL (FIRMED IN PLACE) IS REQUIRED FOR ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER.

MARCHETTO HIGGINS STIEVE ARCHITECTS DATED

08/06/2020.

#### 1. BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED TOPOGRAPHIC SURVEY & MINOR SUBDIVISION, FOR LOTS 1-3 &9-17, BLOCK 1006 TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY NEW JERSEY SIGNED BY MICHAEL PRONESTI, NJLS# 37605 DATED 08/04/20. ARCHITECTURAL INFORMATION TAKEN FROM PLANS FROM

#### SEQUENCE OF CONSTRUCTION

- INSTALL SEDIMENT FILTER FENCE. (DURATION: APPROX. 2 DAYS) 2. CONSTRUCTION IN ACCORDANCE WITH ARCHITECTURAL AND CIVIL
- DESIGN PLANS (DURATION: APPROX. 2 YEARS) 3. REMOVE AND REINSTALL FILTER FABRIC AS NEEDED TO ACCOMMODATE CONSTRUCTION SEQUENCING. (DURATION: APPROX.
- 4. FINAL GRADING AND STABILIZATION (DURATION: APPROX. 2 DAYS) 5. UPON STABILIZATION OF ALL AREAS, REMOVE ALL SOIL EROSION DEVICES AND CLEAN ENTIRE DRAINAGE SYSTEM. (DURATION:

#### SOIL EROSION LEGEND

FILTER FABRIC FENCING & LIMIT OF DISTURBANCE

TOTAL AREA OF DISTURBANCE: 76.373 SQ.FT. OR 1.75± AC.

4	REVISED PER REVIEW COMMENTS	8/5/2020	АНН
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1	REVISED FOR PRELIMINARY SUBMISSION	5/28/2020	АНН
REVISION	DESCRIPTION	DATE	вү

PREPARED FOR

VOSE APTS. URBAN RENEWAL, LLC LOT 1, 2, 3, 9, 10, 11, 13 & 14 BLOCK 1006

SOUTH ORANGE AVENUE REDEVELOPMENT VILLAGE OF SOUTH ORANGE **ESSEX COUNTY, NEW JERSEY** 

SOIL EROSION SEDIMENT CONTROL

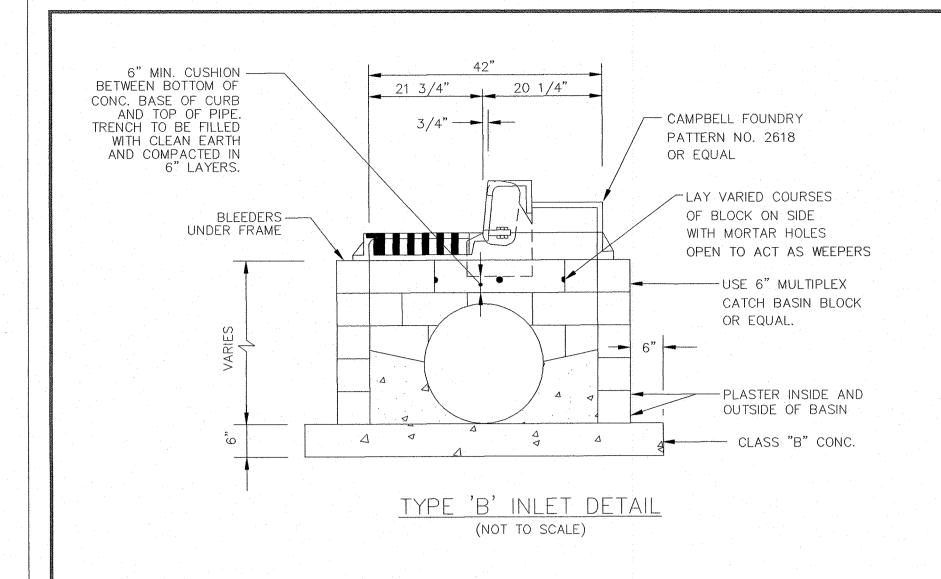


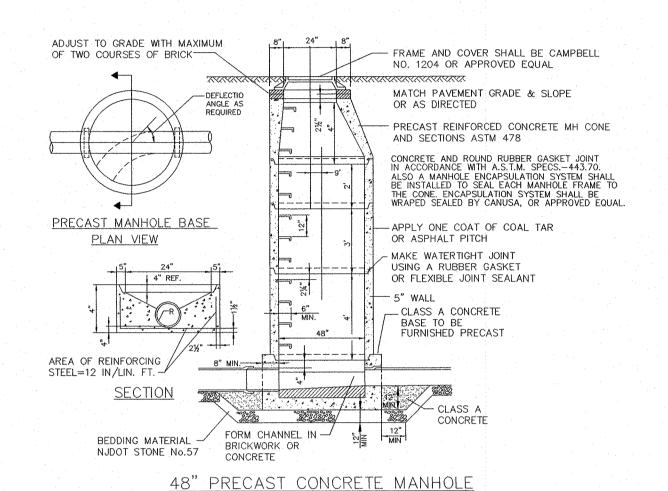
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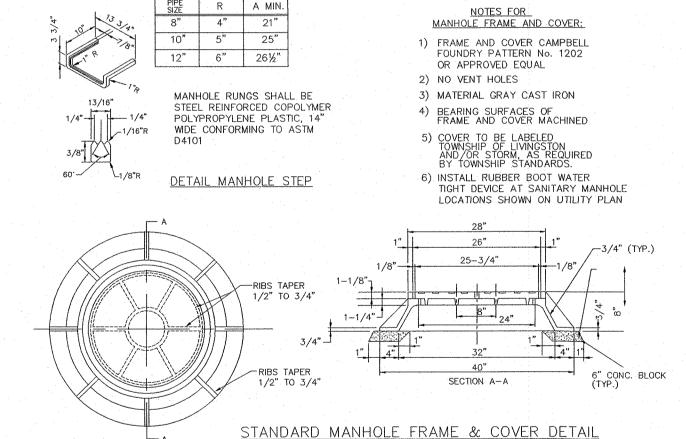
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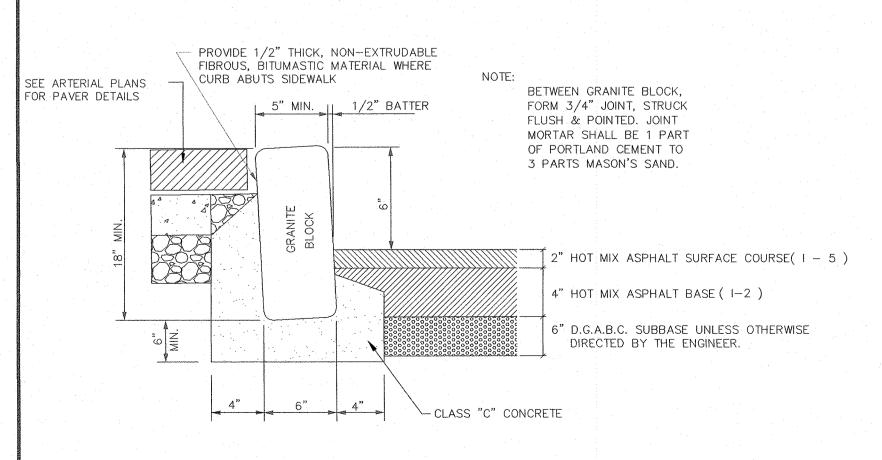
Draftsman: AHH

NJ PROFESSIONAL ENGINEER LIC. No. 36662









GRANITE BLOCK CURB & PAVEMENT DETAIL

SCALE - NOT TO SCALE

1.) THIS INLET MAY BE CONSTRUCTED OF BRICK, CONC. OR CONC. BLOCK, IF BRICK OR CONC. BLOCK IS USED THE BOTTOM SHALL BE AS SHOWN FOR CONC. 2.) DEPTH OF INVERT TO BE 0.80 THE DIAMETER OF THE MAIN SEWER THROUGH THE INLET. 3.) INVERTS TO BE ELIMINATED IN BOTTOM OF TERMINAL INLETS. BOTTOMS SHALL BE DISHED AND SLOPED TOWARDS THE OUTLET PIPE AT A RATE OF 2" PER FOOT. FRAME & TWO GRATES CAMBELL 3425 -POLYPROYLENE CONCRETE-4500 PSI LADDER RUNGS -8" IF BRICK 6" IF CONC. OR CONC. 5'-0" or 5'-4" 4'-8" or 5'-0' INLET TYPE "E" DETAIL

SCALE N.T.S.

1. INLETS MAY BE CONSTRUCTED OF BRICK, CONCRETE, CONCRETE BLOCK OR PRECAST CONCRETE. WALLS SHALL BE 8 INCHES THICK IF BRICK AND 6 INCHES THICK IF CONCRETE, CONCRETE BLOCK OR PRECAST CONCRETE. INLET FOUNDATIONS AND INVERTS SHALL BE CLASS B CONCRETE. 2. CORBELLING OF INLET WALLS WILL BE PERMITTED AT THE RATE OF 1/2 INCH PER 8 INCHES OF HEIGHT; MAXIMUM CORBEL 6 INCHES PER WALL. 3. EXCEPT FOR INLETS TYPE A AND C, FOUNDATIONS AND INVERTS SHALL BE CONSTRUCTED IN TWO STAGES, AND THE BOTTOM OF THE FOOTINGS SHALL BE 8 INCHES BELOW THE OUTER WALL OF THE LOWEST PIPE IN THE INLET. 4. WHEN THE DEPTH OF AN INLET THAT IS NOT PRECAST

GENERAL NOTES

EXCEEDS 10 FEET AS MEASURED FROM TOP OF GRATE TO INVERT, WALLS BELOW A DEPTH OF 8 FEET SHALL BE 12 INCHES THICK AND THE DEPTH OF FOUNDATION INCREASED TO 12 INCHES. WHEN ROCK IS ENCOUNTERED THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED. 5. INLET FOUNDATIONS WHICH ARE PRECAST SHALL BE PLACED ON A 6 INCH THICK BED OF COMPACTED COARSE AGGREGATE SIZE NO. 57. THE COARSE AGGREGATE SHALL EXTEND 6 INCHES BEYOND THE HORIZONTAL LIMITS OF THE INLET FOUNDATION. 6. CASTINGS FOR PRECAST INLETS SHALL BE ADJUSTED TO GRADE WITH COURSES OF BRICK, AS REQUIRED, 12 INCHES

MAXIMUM. 7. WHEN THE DEPTH OF A PRECAST INLET EXCEEDS 10 FEET AS MEASURED FROM TOP OF GRATE TO INVERT, THE FOUNDATION SHALL BE INCREASED TO 12 INCHES. WHEN ROCK IS ENCOUNTERED, THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.

UNPAVED

FINISHED GRADE ---

COMMON FILL -

8" MINIMUM

CLEARANCE

EXCAVATION IN ROCK

IN ROCK -

SELECT FILL

PIPE BEDDING MATERIAL

TO SPRINGLINE OF PIPE.

PAVED

- PAVING AND SUBBASE MATERIAL PER BOROUGH

OR COUNTY REQUIREMENTS

IMPERVIOUS CLAY DAMS

SHALL BE LOCATED A

MINIMUM OF 300-FEET

APART ALONG THE FORCEMAIN TRENCH.

BED BOTTOM QUADRANT

EXCAVATION IN EARTH

TYPICAL TRENCH DETAIL FOR UTILITIES

SCALE N.T.S.

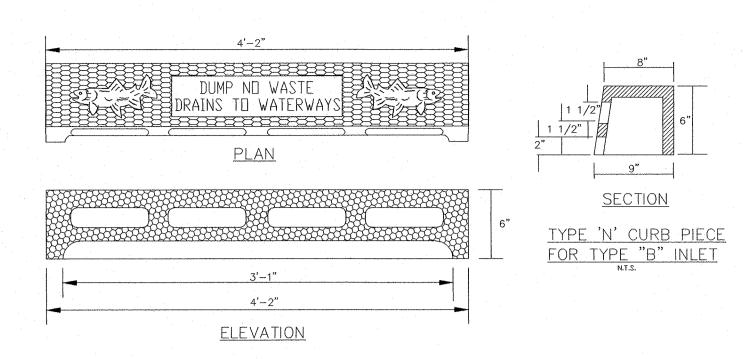
ON UNDISTURBED EARTH

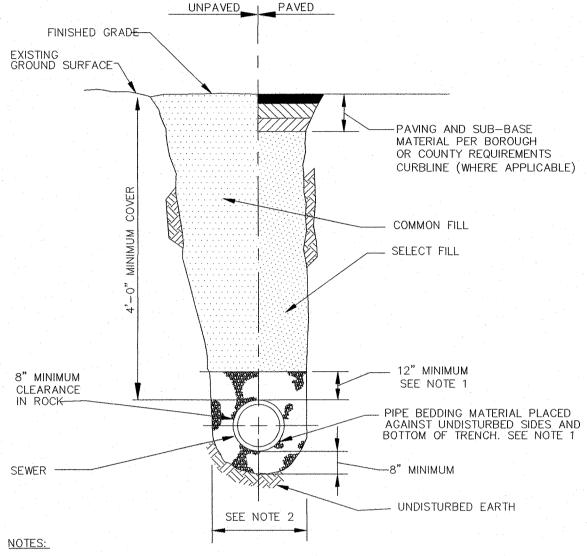
8. MINIMUM WALL REINFORCEMENT FOR PRECAST INLETS TYPES A, B, C, E, D-1, D-2 AND B MODIFIED: HORIZONTAL DEPTH BELOW VERTICAL TOP OF GRATE REINF. #13 @ 10" C.C. #13 @ 18" C.C. 0' TO 10'-0" 10'-1" TO 15'-0" #13 @ 8" C.C. #13 @ 18" C.C. 15'-1" TO 20'-0" #13 @ 6" C.C. #13 @ 18" C.C. REINFORCING SHOWN FOR PRECAST INLETS IS THE MINIMUM REQUIRED. ADDITIONAL REINFORCING FOR HANDLING IS THE RESPONSIBILITY OF THE CONTRACTOR.

ALTERNATE REINFORCEMENT DEPTH BELOW TOP OF GRATE WWF  $3 \times 6$  W6 WIRES SPACED AT 3" 0' TO 10'-0" TO RUN HORIZONTAL IN ALL CASES. WWF 3 x 6 W6 ADD #10 BAR @ 18" HORIZONTAL. WWF 3 x 6 W6 ADD #10 BAR @ 9"

HORIZONTAL OR ADD #13 BAR AT 15" HORIZONTAL. 9. ALL INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT NUDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND ITS AMENDMENTS.

10. FOR CAST IRON CLASS 30B ONLY. ANY OTHER CLASS OF CAST IRON OR TYPE OF MATERIAL MUST BE ON THE BUREAU OF MATERIALS APPROVED PRODUCTS LIST OR NEW TECHNOLOGYS AND PRODUCTS APPROVED PRODUCTS LIST.





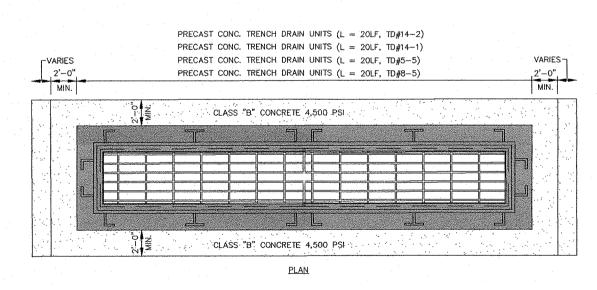
1. FOR PIPES OTHER THAN PVC, SELECT FILL MAY BE USED FROM MID-DIAMETER OF PIPE TO 12" ABOVE TOP OF PIPE.

2. PIPE TRENCH WIDTH SHALL BE PIPE OD +2'-0" MAXIMUM FOR PIPES 12" AND LARGER, FOR PIPES LESS THAN 12", TOTAL PIPE TRENCH WIDTH SHALL BE 3'-0".

4. PROVIDE AT LEAST ONE IMPERVIOUS DAM IN GRAVEL BEDDING BETWEEN EACH MANHOLE

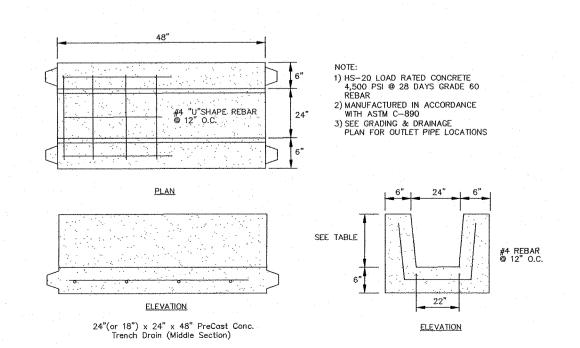
- 3. TRENCHES LOCATED ON ROAD SHOULDER SHALL BE TREATED THE SAME
- AS STREET EXCEPT FOR PAVING.

TYPICAL TRENCH DETAIL FOR 6" PVC SDR-35 SEWER PIPE N.T.S.



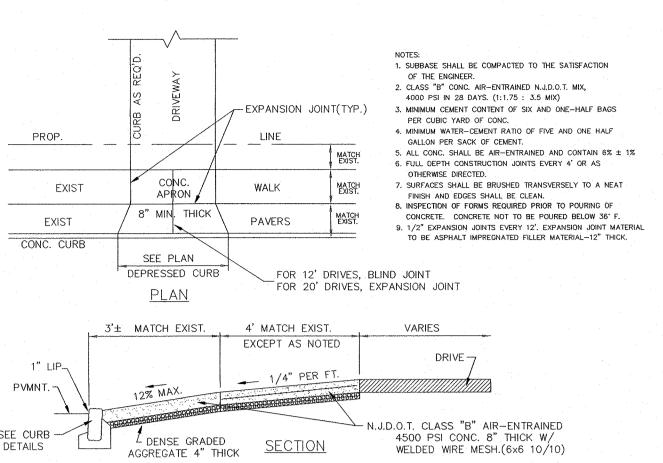
OR EVERY 300 FT. WHICHEVER IS LESS.

CAMPBELL FOUNDRY HEAVY DUTY GRATE NO. 4529 CAMPBELL FOUNDRY HEAVY DUTY COVER NO. 4504



TRENCH DRAIN DETAIL SCALE - N.T.S.

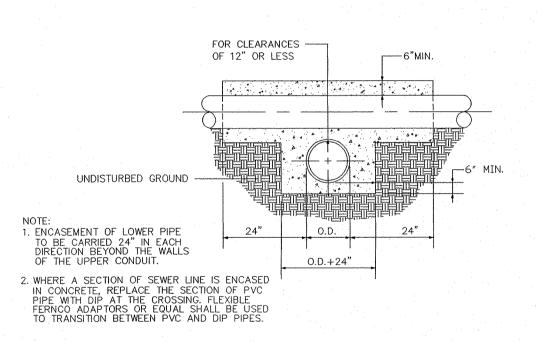
> IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.



### **CONCRETE APRON DETAILS**

CONCRETE. PAVEMENT, OR TOPSOIL, AS INDICATED ON THE PLANS - SELECT BACKFILL (COMPACTED TO 95% PROCTOR UNDER PAVED AREAS) SUBMIT MATERIAL GRADATION FOR ENGINEER'S APPROVAL 1.) CONTRACTOR TO EXCAVATE TRENCH, INSTALL BEDDING, PIPE, BACKFILL AND INSTALL PAVEMENT OR TOPSOIL AND GRASS (AS SPECIFIED) COMPACTED DENSE GRADED AGGREGRATE TO SPRING LINE

PIPE TRENCH DETAIL WITHIN SITE N.T.S.



### **UTILITY CROSSING**

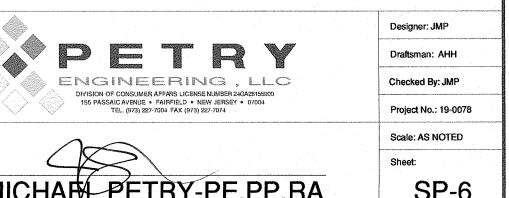
SCALE - N.T.S. REVISED PER PROFESSIONAL COMMENTS ISSUED FOR PLANNING BOARD SUBMITTAL 7/6/2020 REVISED FOR SESC SUBMISSION 6/18/2020 AHH REVISION DATE BY DESCRIPTION PREPARED FOR

### VOSE APTS. URBAN RENEWAL, LLC

LOT 1, 2, 3, 9, 10, 11, 13 & 14 BLOCK 1006 SOUTH ORANGE AVENUE REDEVELOPMENT VILLAGE OF SOUTH ORANGE **ESSEX COUNTY. NEW JERSEY** 

#### **CONSTRUCTION DETAILS**

NJ PROFESSIONAL ENGINEER LIC. No. 36662



CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED

