

SETON HALL UNIVERSITY

UNIVERSITY CENTER PHASE 2

RENOVATION & ADDITION

PRELIMINARY AND FINAL SITE PLAN APPLICATION

400 SOUTH ORANGE AVENUE

BLOCK No. 901 LOT No. 3

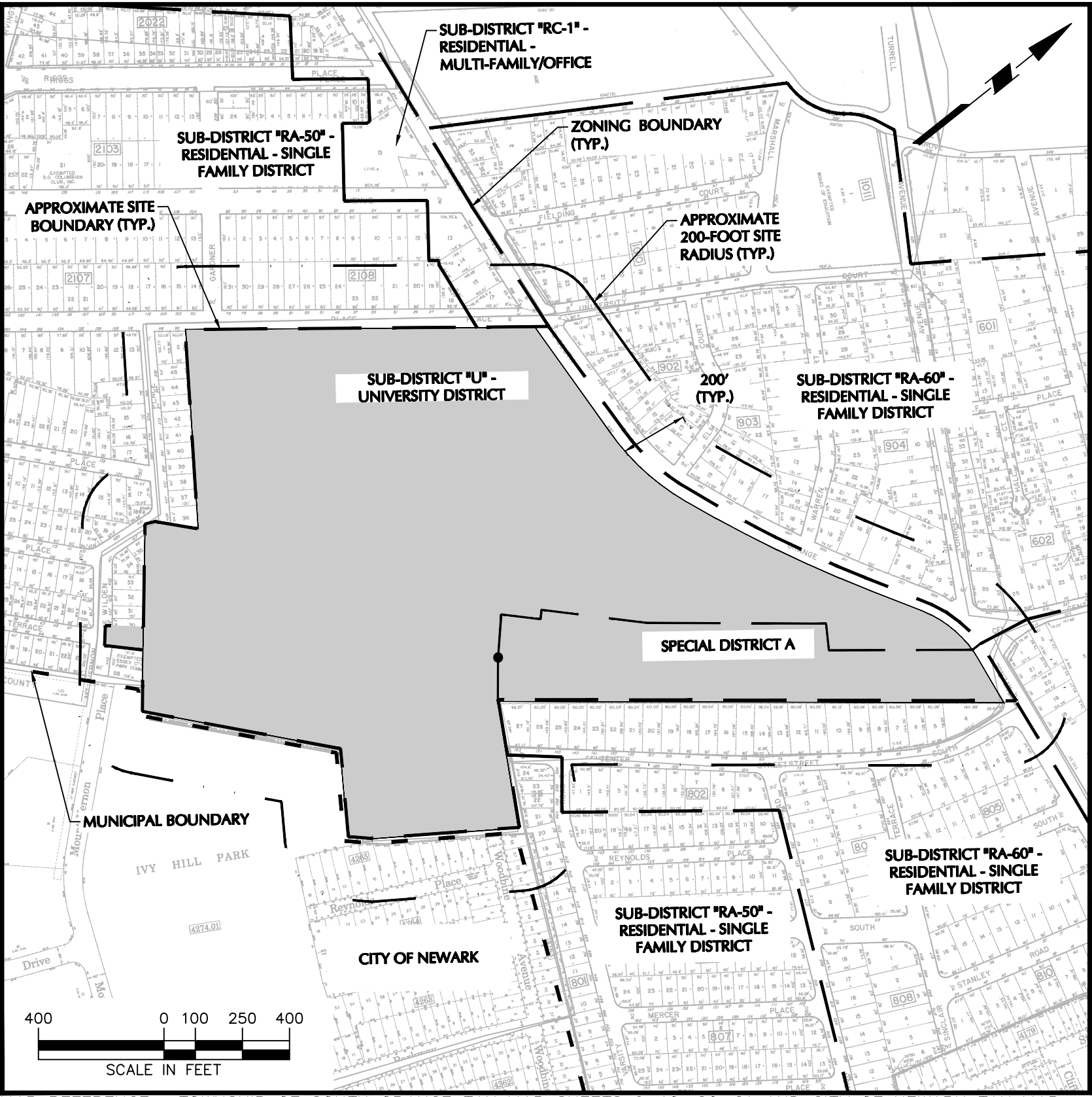
TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY

DRAWING INDEX: SITE-CIVIL/SURVEY

| | |
|-------|--|
| CS001 | COVER SHEET |
| CS002 | ZONING ANALYSIS TABLE & 200 FT PROPERTY OWNER LIST |
| CS100 | MASTER PLAN |
| VT102 | PARTIAL TOPOGRAPHIC SURVEY |
| CS101 | SITE PLAN |
| CG101 | GRADING PLAN |
| CG102 | DRAINAGE PLAN |
| CU101 | UTILITY PLAN |
| CE101 | SOIL EROSION & SEDIMENT CONTROL PLAN |
| CS501 | CONSTRUCTION DETAILS I |
| CS502 | CONSTRUCTION DETAILS II |
| CS503 | CONSTRUCTION DETAILS III |

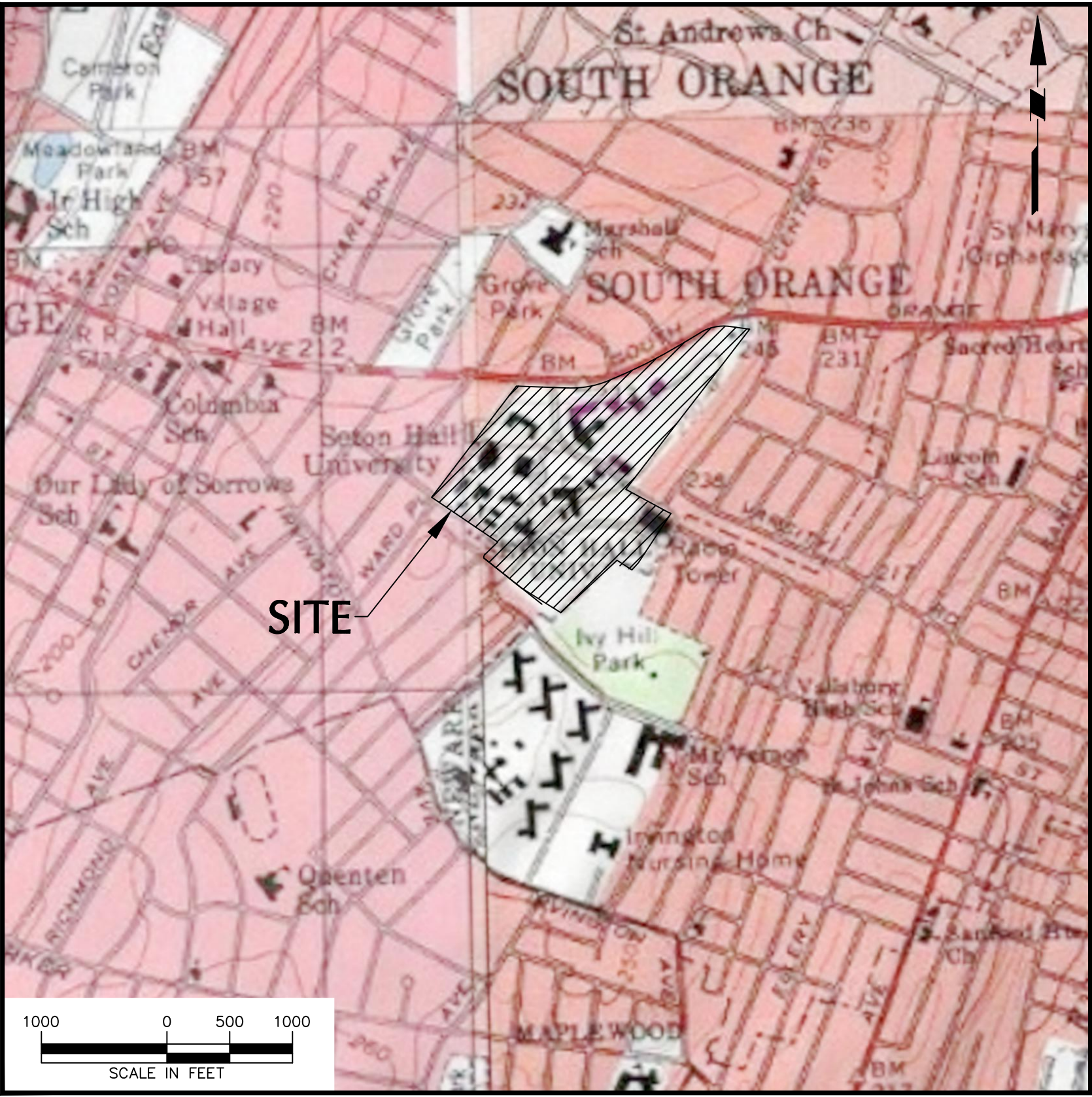
ARCHITECTURAL/LANDSCAPE ARCHITECTURE

| | |
|-------|------------------------------|
| G-001 | SITE PHOTOS |
| A-001 | PAVING PLAN |
| A-002 | PAVING PLAN |
| A-101 | GROUND FLOOR PLAN |
| A-102 | FIRST FLOOR PLAN |
| A-103 | SECOND FLOOR PLAN |
| A-104 | ROOF PLAN |
| A-201 | BUILDING ELEVATIONS |
| A-202 | BUILDING ELEVATIONS |
| A-301 | SITE LIGHTING |
| A-302 | SITE LIGHTING FIXTURES |
| A-401 | SITE DETAILS |
| L-100 | PLANTING PLAN AND PLANT LIST |
| L-200 | PLANTING DETAILS AND NOTES 1 |
| L-201 | PLANTING DETAILS AND NOTES 2 |



200-FOOT PROPERTY OWNER MAP

SCALE: 1" = 400'



SITE LOCATION MAP

SCALE: 1" = 1,000'

APPLICANT/OWNER:
SETON HALL UNIVERSITY
400 SOUTH ORANGE AVENUE
SOUTH ORANGE, NJ 07079
(973) 761-9615

**SURVEYOR/SITE-CIVIL
ENGINEER:**

LANGAN
ENGINEERING & ENVIRONMENTAL SERVICES

300 KIMBALL DRIVE
PARSIPPANY, NJ 07054
TEL: (973) 560-4900

ARCHITECT/LANDSCAPE ARCHITECT:
CLARKE CATON HINTZ

100 BARRACK STREET
TRENTON, NJ 08608
TEL: (609) 883-8383

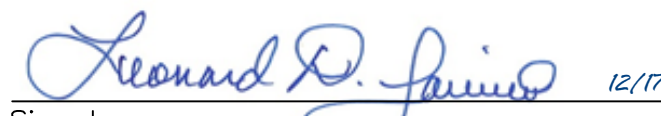
ATTORNEY:
CONNELL FOLEY LLP
56 LIVINGSTON AVENUE
ROSELAND, NJ 07068
TEL: (973) 535-0500

| LIST OF REQUIRED APPROVALS | PERMIT NUMBER AND/ OR DATE ISSUED |
|---|-----------------------------------|
| Hudson-Essex-Passaic Soil Erosion and Sediment Control County of Essex - Site Plan | |

| | |
|--|------|
| Approved by Planning Board Township of South Orange Village | |
| Planning Board Chairperson | Date |
| Planning Board Secretary | Date |
| Township Engineer | Date |

| | |
|--|------|
| Approved by the County Planning Board County of Essex, New Jersey | |
| Planning Board Chairperson | Date |

| Date | Description | No. |
|------|-------------|-----|
| | Revisions | |

| | | | | | |
|---|--|---|-------------------------------------|--|-----------------------------|
|  LEONARD P. SAVINO PROFESSIONAL ENGINEER NJ LIC. No. 39238 | LANGAN Langan Engineering and Environmental Services, Inc. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ Certificate of Authorization No. 24GA27996400 | Project UNIVERSITY CENTER PHASE 2 RENOVATION & ADDITION SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE BLOCK No. 901, LOT No. 3 TOWNSHIP OF SOUTH ORANGE VILLAGE ESSEX COUNTY NEW JERSEY | Drawing Title COVER SHEET | Project No. 100898001 Date 12/17/2020 Drawn By BMW Checked By JED | Drawing No. CS001 |
|---|--|---|-------------------------------------|--|-----------------------------|

ZONING ANALYSIS

Zoning District: University (U)
UNIVERSITY CENTER ADDITION AND RENOVATION

Block 901
Lot 3

| REGULATION | SECTION | University District (U) | EXISTING | PROPOSED | VARIANCE OR WAIVER REQUIRED |
|---|--|--|----------------------------|---|--------------------------------|
| | | REQUIREMENTS | | | |
| Permitted Uses: Principal Uses | \$185-162 (Schedule 1, Schedule of District Use Regulations) | Resident colleges and universities, including buildings, structures, uses and activities normally associated with institutions of higher learning, such as classroom and laboratory buildings, dormitories, libraries, student centers, multiunit faculty residence buildings, auditoriums, gymnasiums and athletic facilities. | University Center | University Center | NO |
| Lot Area: | \$185-165 (Schedule 2) | 50 acres | 2,481,216 sf (56.96 acres) | 2,481,216 sf (56.96 acres) | NO |
| Lot Width: | \$185-165 (Schedule 2) | -- | N/A | N/A | NO |
| Maximum Building Height: | \$185-165 (Schedule 2) | 30 ft Plus 1.5 ft of height for every additional 1 ft increase in building setback. In no case shall the maximum height exceed 75 ft. | H < 75 ft / 3 stories | Top of Roof at Main Entry: 72.43 ft Top of Cross: 77.23 ft | NO |
| | \$185-167.G | The height provisions of this Part 13 shall not apply to the erection of building appearances such as church spires, cupolas or towers designed exclusively for ornamental purposes and shall not apply to antennas, chimneys, flues, bulkheads, elevator enclosures, water tanks or similar accessory structures occupying an aggregate of 10% or less of the area of the roof on which they are located, and further provided that such structures do not exceed the height limitation by more than 10 feet. | Complies | Complies (77.23 ft < 85 ft) (75 ft + 10 ft = 85 ft) | NO |
| Minimum Yard Requirements: (See Note 3) | | | | | |
| Front: | \$185-165 (Schedule 2) | 30 ft (from all property boundaries) | 124.0 ft | 124.0 ft | NO |
| Side (Each): | \$185-165 (Schedule 2) | 30 ft (from all property boundaries) | 477.4 ft | 387.4 ft | NO |
| Corner: | \$185-165 (Schedule 2) | 30 ft (from all property boundaries) | 1005.1 ft | 1008.8 ft | NO |
| Rear: | \$185-165 (Schedule 2) | 30 ft (from all property boundaries) | 28.52% | 28.64% | NO |
| Maximum Lot Coverage: | \$185-165 (Schedule 2) | 30% (Maximum building coverage) | 0.532 | 0.532 (See Note 4) | NO |
| Maximum Floor Area Ratio | \$185-165 (Schedule 2) | 0.65 | 0.532 | 0.532 (See Note 4) | NO |
| Parking Standards | \$185-113.B.(1) | 9 ft (minimum width) 18 foot (minimum length) | 9 ft x 18 ft | 9 ft x 18 ft | NO |
| Stall Sizes: | \$185-113.B.(3).(b) | Compact Spaces: 8 ft (wide) x 16 ft (long) | N/A | N/A | NO |
| Number of Spaces: | \$185-174.A (Schedule 3) | 0.25 spaces for each full- and part-time student and full- and part-time employee (See Note 1) Min. = 8,400 x 0.25 = 2,100 required Current = 7,996 x 0.25 = 1,999 | 2,935 (See Note 2) | 2,916 | NO |
| Loading: | \$185-114.B | Each such loading space shall not be less than 12 feet in width and 35 feet in length, depending on the functions to be performed. 12 ft (minimum floor-to-ceiling clear-height distance) | Complies | Complies/No Change | NO |
| | \$185-114.B | Except for required buffered areas, each such loading space may occupy any required side or rear yard but shall not be located in the required front yard. When adjoining a residential use, institutional use or place of general assembly, a suitably screened or landscaped buffer shall be provided. | Complies | Complies/No Change | NO |
| Signs: | \$185-144.A. | One ground sign identifying a school, university, or public building located a minimum of five feet back from the street property line and not exceeding 40 square feet shall be permitted. | Complies | Complies/No Change | NO |

- Notes:
- For purposes of this calculation, a minimum aggregate total of 8,400 shall be used as the campus population.
 - Updated existing parking space count as of 09-24-2020.
 - Setbacks referenced to University Center building.
 - Refer to Building Data Summary Table below.

BUILDING DATA SUMMARY

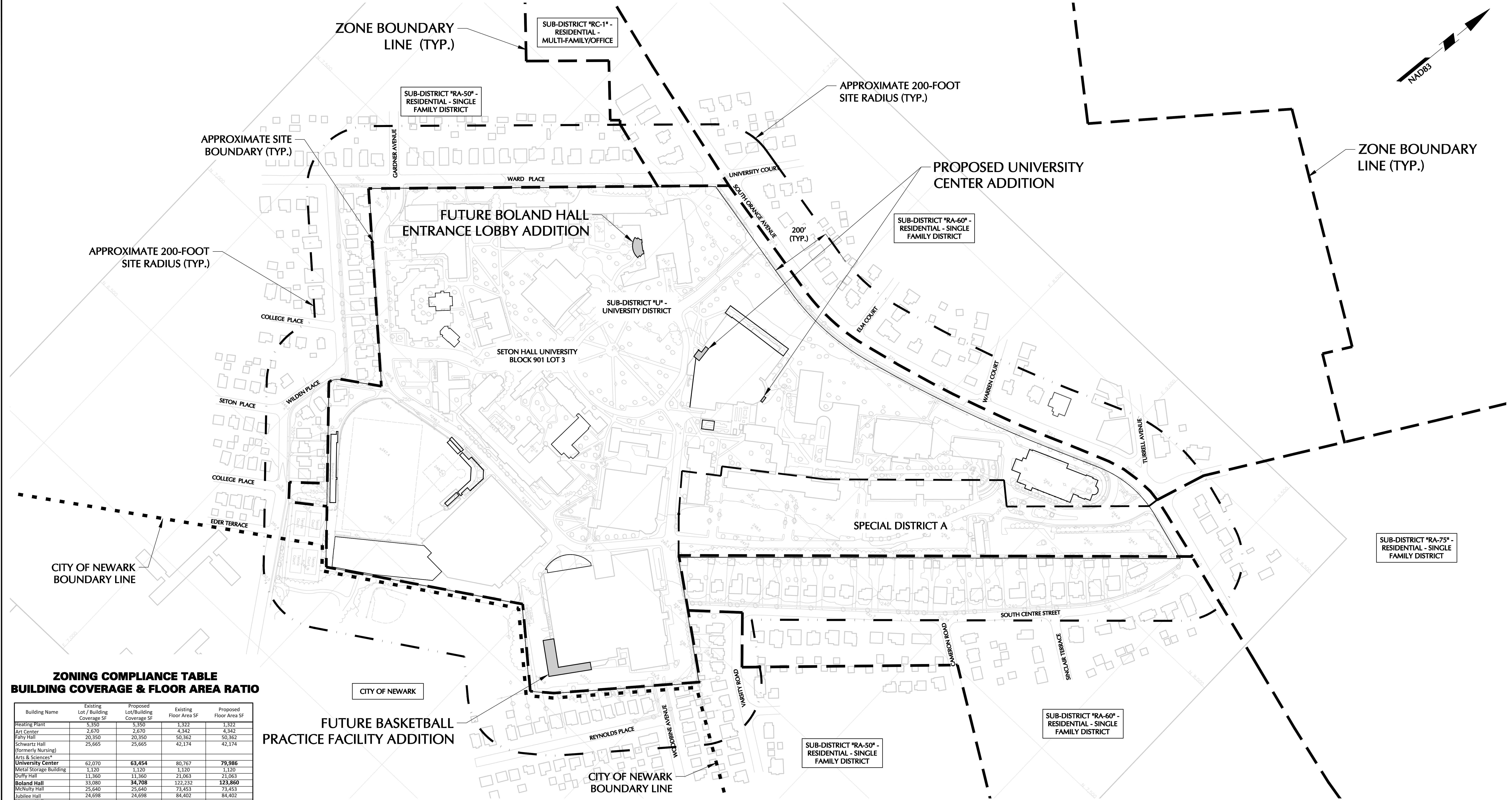
| Building Name | Existing Lot / Building Coverage SF | Proposed Lot/Building Coverage SF | Existing Floor Area SF | Proposed Floor Area SF |
|---|---|---|--------------------------------|---------------------------|
| Heating Plant | 5,350 | 5,350 | 1,322 | 1,322 |
| Art Center | 2,670 | 2,670 | 4,342 | 4,342 |
| Fahy Hall | 20,350 | 20,350 | 50,362 | 50,362 |
| Schwartz Hall (formerly Nursing) | 25,665 | 25,665 | 42,174 | 42,174 |
| Arts & Sciences* University Center | 62,070 | 63,454 | 80,767 | 79,986 |
| Metal Storage Building | 1,120 | 1,120 | 1,120 | 1,120 |
| Duffy Hall | 11,360 | 11,360 | 21,063 | 21,063 |
| Boland Hall | 33,080 | 34,708 | 122,732 | 123,860 |
| Knichluty Hall | 25,640 | 25,640 | 73,453 | 73,453 |
| Jubilee Hall | 24,698 | 24,698 | 84,402 | 84,402 |
| Mooney Hall | 8,150 | 8,150 | 32,224 | 32,224 |
| Regan Rec. Center | 86,926 | 86,926 | 120,917 | 120,917 |
| Stafford Hall | 7,599 | 7,599 | 12,985 | 12,985 |
| Presidents Hall | 6,750 | 6,750 | 19,896 | 19,896 |
| Chapel | 4,541 | 4,541 | 4,366 | 4,366 |
| Lewis Hall | 21,028 | 21,028 | 57,295 | 57,295 |
| Alumni Hall | 3,183 | 3,183 | 6,051 | 6,051 |
| Alfteri Hall | 7,088 | 7,088 | 12,044 | 12,044 |
| McQuaid Hall | 7,636 | 7,636 | 19,261 | 19,261 |
| Bayley Hall | 10,779 | 10,779 | 20,377 | 20,377 |
| Corrigan Hall | 14,950 | 14,950 | 31,611 | 31,611 |
| Aquinas Hall | 27,238 | 27,238 | 84,901 | 84,901 |
| Xavier Hall | 26,150 | 26,150 | 93,430 | 93,430 |
| Public Safety | 1,672 | 1,672 | 2,836 | 2,836 |
| Genety Hall | 4,546 | 4,546 | 12,561 | 12,561 |
| Walsh Gym | 34,120 | 34,120 | 72,372 | 72,372 |
| Marshall Hall | 3,315 | 3,315 | 4,530 | 4,530 |
| Serra Hall | 9,346 | 9,346 | 21,116 | 21,116 |
| Neumann Hall | 9,346 | 9,346 | 20,844 | 20,844 |
| Cabrini Hall | 9,265 | 9,265 | 31,680 | 31,680 |
| Facilities Engineer. | 5,066 | 5,066 | 8,728 | 8,728 |
| Walsh Library | 38,375 | 38,375 | 120,725 | 120,725 |
| Parking Deck | 115,870 | 115,870 | | |
| Athletic Field | 6,314 | | 1,670 | 1,670 |
| Bethany Hall (Welcome Center) | 26,365 | 26,365 | 26,201 | 26,201 |
| TOTAL (SF) | 707,621 | 710,633 | 1,319,858 | 1,320,705 |
| NET INCREASE (SF) | | 3,012 | | 847 |
| NOTES: Arts & Sciences building coverage included in Schwartz Hall. | | | | |
| ZONING COVERAGE | | | | |
| ITEM | REQUIREMENT | EXISTING | PROPOSED | REMAINING |
| Min. Lot Area | 50 AC | 56.96 AC | no change | N/A |
| | | 2,481,216 | | N/A |
| Max. Bldg. Coverage | 30.00% | 28.52% | 28.64% | 1.36% |
| | | (707621 SF / 2,481,216 SF) | (710633 SF / 2,481,216 SF) | 33,732 |
| Max. Floor Area Ratio | 0.65 | 0.532 | 0.532 | 0.118 |
| | | (1319858 SF / 2,481,216 SF) | (1320705 SF / 2,481,216 SF) | 292,085 |

TOWNSHIP OF SOUTH ORANGE

| PROPERTY ID | LOCATION | CLASS | OWNER NAME & ADDRESS | PROPERTY ID | LOCATION | CLASS | OWNER NAME & ADDRESS |
|-------------|-------------------------|-------|--|-------------|-------------------------------|-------|--|
| 602 25 | 311 CENTRE STREET | 2 | LIPSON, LISA & FRED, JANNA 211 CENTRE STREET SOUTH ORANGE, NJ 07079 | 901 25 | 127 CENTRE STREET SOUTH | 2 | PERAZZINI, JOY V 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 602 26 | 303 CENTRE STREET | 15B | SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 | 901 21 | 133 CENTRE STREET SOUTH | 2 | FELIX GEORJA JEAN COX 133 SOUTH CENTER STREET SOUTH ORANGE, NJ 07079 |
| 602 27 | 395 TURRELL AVENUE | 1 | SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 | 901 22 | 137 CENTRE ST S | 2 | CAPARE, VINCENT L 10 FOREST DRIVE FLORHAM PARK, NJ 07932 |
| 701 1 | 561 S ORANGE AVE | 2 | SETON HALL UNIVERSITY 144 SOUTH CENTRE STREET SOUTH ORANGE, NJ | 901 23 | 141 CENTRE STREET SOUTH | 2 | KEINOSTONE, REBECCA L & LUCA L 141 SOUTH CENTRE STREET SOUTH ORANGE, NJ 07079 |
| 701 2 | 314 CENTRE STREET | 2 | SETON HALL UNIVERSITY 314 CENTRE STREET SOUTH ORANGE, NJ 07079 | 901 24 | 143 CENTRE STREET SOUTH | 2 | KEINOSTONE, REBECCA L & LUCA L 143 SOUTH CENTRE STREET SOUTH ORANGE, NJ 07079 |
| 701 3 | 571 S ORANGE AVE | 2 | SETON HALL UNIVERSITY 571 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 | 901 25 | 145 CENTRE STREET SOUTH | 2 | LEE, RONALD & MARION FENNELL LEE 145 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 |
| 701 19 | 567 S ORANGE AVE | 2 | TANIGUCHI, FRANKOY C & KELLY A 567 SOUTH ORANGE AVE SOUTH ORANGE, NJ 07079 | 901 26 | 161 CENTRE STREET SOUTH | 15B | SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 701 20 | 567 SOUTH ORANGE AVENUE | 2 | JACOBSON, DANIELA & COLLINS, A 561 COLUMBIA STREET WOOD RIDGE, NJ 07095 | 901 27 | 163 CENTRE STREET SOUTH | 15B | SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 701 21 | 567 SOUTH ORANGE AVENUE | 2 | O'BRYEN, BRENDA D & SANDRA M 612 VARSITY ROAD SOUTH ORANGE, NJ 07079 | 901 28 | 446 WILDEN PLACE | 15C | ESSEX COUNTY PARK COMMISSION 115 CLIFTON AVENUE WOOD RIDGE, NJ 07095 |
| 801 16 | 612 VARSITY ROAD | 2 | RENNETT, WINSTON G & PATRICIA 612 VARSITY ROAD SOUTH ORANGE, NJ 07079 | 901 29 | 441 WILDEN PLACE | 15B | SETON HALL UNIVERSITY 400 NORTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 801 17 | 616 VARSITY ROAD | 2 | BENIS, NEELEAND A & WILHELMINE 576 VARSITY ROAD SOUTH ORANGE, NJ 07079 | 901 30 | 439 WILDEN PLACE | 2 | MADOFF, DEROLD 439 WILDEN PLACE LAKESWOOD, NJ 07031 |
| 801 18 | 616 VARSITY ROAD | 2 | FERRARO, STEVEN & KATIE 514 VARSITY ROAD SOUTH ORANGE, NJ 07079 | 901 31 | 439 WILDEN PLACE | 2 | BERGERMAN, DAVID I & KATHLEEN M 439 WILDEN PLACE SOUTH ORANGE, NJ 07079 |
| 801 19 | 612 VARSITY ROAD | 2 | SCHROEDER, M & REIDER, M 572 VARSITY ROAD LANCASTER, PA 17602 | 901 32 | 429 WILDEN PLACE | 2 | HORDON, RESIDENTIAL LOAN SERVICES 1817 OLIVE HOMESTEAD LAN A 101 LANCASTER, PA 17602 |
| 801 20 | 616 VARSITY ROAD | 2 | TOLEK, ALEXANDER & STENNETT, Y. 425 WILDEN PLACE SOUTH ORANGE, NJ 07079 | 901 33 | 425 WILDEN PLACE | 2 | DROBACH, WILLIAM R JR 425 WILDEN PLACE SOUTH ORANGE, NJ 07079 |
| 801 21 | 564 VARSITY RD | 2 | ANDERSON, PAUL & PATRICIA 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 | 901 34 | 421 WILDEN PLACE | 15B | SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 801 22 | 563 VARSITY RD | 2 | KANTER, LUCK & TESSLER, EDMA 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 | 901 35 | 417 WILDEN PLACE | 15B | SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 801 23 | 558 VARSITY ROAD | 2 | NEOKALYZ, ROBERT JR 400 VARSITY ROAD SOUTH ORANGE, NJ 07079 | 901 36 | 409 WILDEN PLACE | 2 | FOX, MIC C & TATIA K 409 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 801 24 | 554 VARSITY ROAD | 2 | WASSERMAN, ROBERT A & GISELA 175 SOUTH ORANGE AVE #18 SOUTH ORANGE, NJ 07079 | 901 37 | 407 WILDEN PLACE | 2 | WARDON, ROY WILDER LLC 400 SOUTH ORANGE AVE #18 SOUTH ORANGE, NJ 07079 |
| 802 1 | 148 CENTRE STREET SOUTH | 2 | TABERZONICK, J & WEBERHOLTZ, E 148 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 | 901 38 | 401 WILDEN PLACE | 2 | THAYER, LAURE 188 ELM AVENUE SHORT HILLS, NJ 07078 |
| 802 2 | 140 CENTRE STREET SOUTH | 2 | DAVIE, BENJAMIN M & GAIL 140 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 | 901 39 | 383 WILDEN PLACE | 2 | BULLOCK, SAVINRI E 383 WILDEN PLACE SOUTH ORANGE, NJ 07079 |
| 802 3 | 149 REYNOLDS PLACE | 2 | TAYLOR, DOROTHY M 229 VARSITY ROAD SOUTH ORANGE, NJ 07079 | 901 40 | 381 WILDEN PLACE | 2 | MORPHY, PAMELA & DETLOH 381 WILDEN PLACE SOUTH ORANGE, NJ 07079 |
| 805 1 | 34 CENTRE STREET SOUTH | 15F | 34 CENTRE, LLC 200 BLOOMFIELD AVE #205 BLOOMFIELD, NJ 07003 | 901 41 | 377 WILDEN PLACE | 2 | CHAPMAN, KALLI & MITCHELL, NICHOLAS 277 WILDEN PLACE SOUTH ORANGE, NJ 07079 |
| 805 2 | 28 CENTRE STREET SOUTH | 2 | WINTER, JAMES 28 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 | 901 42 | 373 WILDEN PLACE | 2 | WINTER, JAMES PO BOX 201 SULLY, NJ 08859 |
| 805 3 | 20 CENTRE ST SO | 2 | WALKER, MARTHA W & KIMMY HAYES 20 CENTRE ST, SOUTH SOUTH ORANGE, NJ 07079 | 901 43 | 371 WILDEN PL | 2 | WALKER, MARTHA W & JOHANNIE 371 WILDEN PL, SOUTH SOUTH ORANGE, NJ 07079 |
| 805 4 | 16 CENTRE STREET SOUTH | 2 | KOSIUK, JOSEPH ST & DEANND & TYNIA 16 SOUTH CENTER ST NEWARK, NJ 07102 | 901 44 | 365 WILDEN PLACE | 2 | DAVIE, JONIA & EILEA 365 WILDEN PLACE SOUTH ORANGE, NJ 07079 |
| 805 5 | 10 CENTRE STREET SOUTH | 2 | WILLARD, JR, WALTON N 10 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 | 901 45 | 359 WILDEN PLACE | 2 | CARTER, MICHELLE 359 WILDEN PLACE SOUTH ORANGE, NJ 07079 |
| 805 6 | 2 CENTRE STREET SOUTH | 2 | RAY, KAREN & TERRY 2 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 | 902 1 | 4 UNIVERSITY COURT | 2 | VALDINO, VINCENT UNIVERSITY COURT SOUTH ORANGE, NJ 07079 |
| 901 1 | 96 WARD PLACE | 2 | MUSEA, ROBERT B 7 LINCOLN AVENUE WEST ORANGE, NJ 07092 | 902 3 | 14 UNIVERSITY COURT | 2 | BUSCHKO, JOSEPH & MICHELLE 14 UNIVERSITY COURT SOUTH ORANGE, NJ 07079 |
| 901 2 | 90 WARD PLACE | 2 | SABOIN, ROBERT & MARGARET 9 EDER TERRACE SOUTH ORANGE, NJ 07079 | 902 13 | 11 ELM COURT | 2 | EASTERBROOK, JANEY 11 ELM COURT SOUTH ORANGE, NJ 07079 |
| 901 3 | 400 SOUTH ORANGE AVENUE | 15B | SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 | 902 14 | 5 ELM COURT | 2 | FREDERICK, LEROY & DEYANNA 5 ELM COURT SOUTH ORANGE, NJ 07079 |
| 901 4 | 1 CENTRE STREET SOUTH | 2 | WANDCO ONE SO LLC 75 SOUTH ORANGE AVE #218 SOUTH ORANGE, NJ 07079 | 902 15 | 435 SOUTH ORANGE AVENUE | 2 | FILKWEILER, JOHN G & PATRICIA 435 SOUTH ORANGE AVE SOUTH ORANGE, NJ 07079 |
| 901 5 | 21 CENTRE STREET SOUTH | 2 | WATZ, POL, ERNE & WILHELM M 21 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 | 902 16 | 431 SOUTH ORANGE AVENUE | 2 | HALL, RICHARD B & JERELYN M. MACLAREN 431 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 901 6 | 25 CENTRE STREET SOUTH | 2 | WELLS, JENNIFER E & DANIEL ANDRE E. 25 SOUTH CENTRE ST SOUTH ORANGE, NJ 07079 | 902 17 | 447 S ORANGE AVE | 2 | MACDONNELL, PATRICIA 447 S ORANGE AVE SOUTH ORANGE, NJ 07079 |
| 901 7 | 29 CENTRE STREET SOUTH | 2 | JEFFREY, ROBERT A 29 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 | 902 18 | 443 S ORANGE AVE | 2 | BRIFFE, JOHN G & THERAPATROCK, MAUREEN 443 S ORANGE AVE MAPLEWOOD, NJ 07040 |
| 901 8 | 33 CENTRE STREET SOUTH | 2 | KALANICK, R & CARSON, BROOKE & JOSEPH 29 SO. CENTRE ST SOUTH ORANGE, NJ 07079 | 902 19 | 439 SOUTH ORANGE AVENUE | 2 | BRIFFE, JOHN G & THERAPATROCK, MAUREEN 439 SOUTH ORANGE AVENUE MAPLEWOOD, NJ 07040 |
| 901 9 | 37 CENTRE STREET SOUTH | 2 | HALL, V. & J. BOO TRUSTEES 37 SO. CENTRE ST SOUTH ORANGE, NJ 07079 | 902 23 | 437 SOUTH ORANGE AVENUE | 2 | JOYCE, JAMES 437 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 901 10 | 69 CENTRE STREET SOUTH | 2 | BURDET, CELSO 69 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 | 902 14 | 11 WARREN COURT | 2 | CEJUP, ROBERT N 11 WARREN COURT SOUTH ORANGE, NJ 07079 |
| 901 11 | 66 CENTRE ST S | 2 | DEGANNE, DENNIS D & YVETTE, IRAM S 66 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 | 902 16 | 9 WARREN COURT | 2 | JOYCE, JAMES 9 WARREN COURT SOUTH ORANGE, NJ 07079 |
| 901 12 | 69 CENTRE STREET SOUTH | 2 | SANZONI, ROBERT & EABELLE J 69 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 | 902 16 | 497 SOUTH ORANGE AVENUE | 2 | WATSON, BRIAN 497 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 901 13 | 75 CENTRE STREET SOUTH | 2 | MEE, STEPHEN & KAPUR, LORA 75 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 | 902 17 | 491 SOUTH ORANGE AVENUE | 15C | JUDICIAL/CHRISTIAN STUDIES FOUNDATION 491 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 901 14 | 101 CENTRE STREET SOUTH | 2 | HARRIS, BRUNO MARGALIT, MEGAN 101 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 | 902 18 | 483 SOUTH ORANGE AVENUE | 2 | WANDCO HOLDING LLC 483 SOUTH ORANGE AVENUE WOODCLIFF PARK, NJ 07074 |
| 901 15 | 105 CENTRE ST S | 2 | FRATIERI, ROBERTA LLC 1 OLD MILL ROAD 50 HATFIELD RD GOSHEN, NJ 08841 | 902 19 | 2 ELM COURT OR OFFICE/FLAT | 2 | WANDCO HOLDING LLC 483 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 901 16 | 109 CENTRE STREET SOUTH | 2 | ANDERSON, JILL & MARCO, BRIAN W 109 S. CENTRE ST SOUTH ORANGE, NJ 07079 | 902 20 | 10 ELAT COURT | 2 | DAV, JOHN & BEATRICE CHRISTINE F. 10 ELAT COURT SOUTH ORANGE, NJ 07079 |
| 901 17 | 115 CENTRE STREET SOUTH | 2 | CEJUP, JR, JEFFREY & ROBERT F. 115 SOUTH CENTRE STREET SOUTH ORANGE, NJ 07079 | 904 14 | 384 TURRELL AVENUE | 15B | SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 901 18 | 119 CENTRE ST S | 2 | LEAHY, DOUG, DEBRA 119 S CENTRE ST SOUTH ORANGE, NJ 07079 | 904 15 | 525-535 SO ORANGE AVENUE | 15B | SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 901 19 | 125 CENTRE STREET SOUTH | 2 | JACOBSON, JILL & WALTER, GREGORY G 125 SOUTH CENTRE ST SOUTH ORANGE, NJ 07079 | 904 16 | 501 SOUTH ORANGE AVENUE | 15B | SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |

TOWNSHIP OF SOUTH ORANGE

| PROPERTY ID | LOCATION | CLASS | OWNER NAME & ADDRESS |
|-------------|-------------------------------|-------|--|
| 904 20 | 127 CENTRE STREET SOUTH | 2 | PERENZONI, JOY V 127 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 |
| 904 21 | 132 CENTRE STREET SOUTH | 2 | BEIK, GORDON ZARCO 132 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 |
| 904 22 | 137 CENTRE S T S | 2 | CAPARDI, VINCENT L 137 CENTRE ST KORHAN PARK, NJ 07922 |
| 904 23 | 141 CENTRE STREET SOUTH | 2 | BERNARD, ROSELLA & LUCIA L 141 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 |
| 904 24 | 143 CENTRE STREET SOUTH | 2 | BEITLER, JAMES & ANNETTE FRIEND 143 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 |
| 904 25 | 148 CENTRE STREET SOUTH | 2 | LEE, RONALD S & MARION FRIDER LEE 148 CENTRE STREET SOUTH SOUTH ORANGE, NJ 07079 |
| 904 26 | 151 CENTRE STREET SOUTH | 160 | BETHUNHALL UNIVERSITY 800 SOUTH ORANGE AVE SOUTH ORANGE, NJ 07079 |
| 904 27 | 160 CENTRE STREET SOUTH | 168 | BETHUNHALL UNIVERSITY 800 SOUTH ORANGE AVE SOUTH ORANGE, NJ 07079 |
| 904 28 | 446 WILDER PLACE | 10C | 1555 COUNTRY PARK COMMISSION 1555 COUNTRY PARK NEWARK, NJ 07102 |
| 904 29 | 441 WILDER PLACE | 108 | BETHUNHALL UNIVERSITY 800 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 904 30 | 438 WILDER PLACE | 2 | MOODY, GERALD 438 WILDER PLACE SOUTH ORANGE, NJ 07079 |
| 904 31 | 438 WILDER PLACE | 2 | LEBRUN, DAVID & KATHLEEN M 438 WILDER PLACE SOUTH ORANGE, NJ 07079 |
| 904 32 | 429 WILDER PLACE | 2 | HOBSON RESIDENTIAL TRUST S/PROV 1010 WADSWORTH LANE # 101 LANCASTER PA 17601 |
| 904 33 | 428 WILDER PLACE | 2 | ROSENBAK, WILLIAM JR 428 WILDER PLACE SOUTH ORANGE, NJ 07079 |
| 904 34 | 421 WILDER PLACE | 108 | BETHUNHALL UNIVERSITY 800 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 904 35 | 417 WILDER PLACE | 108 | BETHUNHALL UNIVERSITY 800 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 904 36 | 409 WILDER PLACE | 2 | FOX, CECIL & TATUM 409 WILDER PLACE SOUTH ORANGE, NJ 07079 |
| 904 37 | 407 WILDER PLACE | 2 | WALSH, DR WILFRED L 18 SOUTH ORANGE AVE #218 SOUTH ORANGE, NJ 07079 |
| 904 38 | 401 WILDER PLACE | 2 | BYRNE, CAROL 288 GLEN AVENUE EAST MANHASSET, NJ 07636 |
| 904 39 | 385 WILDER PLACE | 2 | WYCHERLEY, SCOTT 385 WILDER PLACE SOUTH ORANGE, NJ 07079 |
| 904 40 | 381 WILDER PLACE | 2 | WYCHERLEY, SCOTT & LYNN 381 WILDER PLACE SOUTH ORANGE, NJ 07079 |
| 904 41 | 377 WILDER PLACE | 2 | CHARNAK, KATH & MICHELL, NICHOLAS 377 WILDER PLACE SOUTH ORANGE, NJ 07079 |
| 904 42 | 375 WILDER PLACE | 2 | BRUCE, LEE PO BOX 29 DILLMAN, NJ 08658 |
| 904 43 | 371 WILDER PL | 2 | MONTGOMERY, JACOB W & JOHANNE 371 WILDER PLACE SOUTH ORANGE, NJ 07079 |
| 904 44 | 366 WILDER PLACE | 2 | OWENS, JOHN & TERESA 366 WILDER PLACE SOUTH ORANGE, NJ 07079 |
| 904 45 | 359 WILDER PLACE | 2 | CARTER, MICHELLE 359 WILDER PLACE SOUTH ORANGE, NJ 07079 |
| 904 1 | 1 UNIVERSITY COURT | 2 | WAGNER, VINCENT 1 UNIVERSITY COURT SOUTH ORANGE, NJ 07079 |
| 904 2 | 11 UNIVERSITY COURT | 2 | BERKOWITZ, JOSEPH & MICHELLE 11 UNIVERSITY COURT SOUTH ORANGE, NJ 07079 |
| 904 13 | 11 ELM COURT | 2 | FASTER, JANE 11 ELM COURT SOUTH ORANGE, NJ 07079 |
| 904 14 | 9 ELM COURT | 2 | PREWITT, TRICH & DOVANN 9 ELM COURT SOUTH ORANGE, NJ 07079 |
| 904 15 | 455 SOUTH ORANGE AVENUE | 2 | FLAVELL, JOHNIE & PATRICIA 455 SOUTH ORANGE AVE SOUTH ORANGE, NJ 07079 |
| 904 16 | 451 SOUTH ORANGE AVENUE | 2 | HALL, RICHARD B. & JERILYN, MACLEAREN 451 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 904 17 | 447 S ORANGE AVE | 2 | ACQUONELLI, PATRICIA 447 S ORANGE AVE SOUTH ORANGE, NJ 07079 |
| 904 18 | 443 S ORANGE AVE | 2 | BYRNE, JERRY & PATRICIA, MAUREEN 443 SOUTH CENTRE DARVID, NJ 07040 |
| 904 19 | 439 SOUTH ORANGE AVENUE | 2 | BYRNE, JERRY & PATRICIA, MAUREEN 439 SOUTH CENTRE DARVID, NJ 07040 |
| 904 20 | 437 SOUTH ORANGE AVENUE | 2 | BYRNE, JERRY 437 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 904 14 | 11 WARREN COURT | 2 | WAGNER, VINCENT 11 WARREN COURT SOUTH ORANGE, NJ 07079 |
| 904 15 | 9 WARREN COURT | 2 | OWENS, BARBARA 9 WARREN COURT SOUTH ORANGE, NJ 07079 |
| 904 16 | 491 SOUTH ORANGE AVENUE | 2 | HANSEN, BRIAN 491 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 904 17 | 491 SOUTH ORANGE AVENUE | 150 | LUDZAK-CHRISTIAN STUDIOS FOUNDATION 491 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 904 18 | 483 SOUTH ORANGE AVENUE | 2 | AMOND-REIDING LLC 102 WOODWARD COURT WOODLAND PARK, NJ 07424 |
| 904 19 | 2 ELM COURT DR OFFICE FLAT | 2 | ROSEBOMBER, HANDEL & O'DONAL, CHRI 211 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 904 20 | 10 ELM COURT | 2 | RAY, JOHN & BELINDA, CHRISTINE F. 10 ELM COURT SOUTH ORANGE, NJ 07079 |
| 904 14 | 381 TURRELL AVENUE 14 | 150 | BETHUNHALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 904 15 | 525 SOUTH ORANGE AVENUE 15 | 150 | BETHUNHALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |
| 904 16 | 521 SOUTH ORANGE AVENUE 16 | 150 | BETHUNHALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079 |



**ZONING COMPLIANCE TABLE
BUILDING COVERAGE & FLOOR AREA RATIO**

| Building Name | Existing Lot / Building Coverage SF | Proposed Lot/Building Coverage SF | Existing Floor Area SF | Proposed Floor Area SF |
|------------------------------------|-------------------------------------|-----------------------------------|------------------------|------------------------|
| Heating Plant | 5,350 | 5,350 | 1,322 | 1,322 |
| Art Center | 2,670 | 2,670 | 4,342 | 4,342 |
| Fahy Hall | 20,350 | 20,350 | 50,362 | 50,362 |
| Schwartz Hall (formerly Nursing) | 25,665 | 25,665 | 42,174 | 42,174 |
| Arts & Sciences* University Center | 62,070 | 63,454 | 80,767 | 79,986 |
| Metal Storage Building | 1,120 | 1,120 | 1,120 | 1,120 |
| Duffy Hall | 11,360 | 11,360 | 21,063 | 21,063 |
| Boland Hall | 33,080 | 34,708 | 122,232 | 123,860 |
| McNulty Hall | 25,640 | 25,640 | 73,453 | 73,453 |
| Jubilee Hall | 24,698 | 24,698 | 84,402 | 84,402 |
| Mooney Hall | 8,150 | 8,150 | 32,224 | 32,224 |
| Regan Rec. Center | 86,926 | 86,926 | 120,917 | 120,917 |
| Stafford Hall | 7,599 | 7,599 | 12,985 | 12,985 |
| Presidents Hall | 6,750 | 6,750 | 19,896 | 19,896 |
| Chapel | 4,541 | 4,541 | 4,366 | 4,366 |
| Lewis Hall | 21,028 | 21,028 | 57,295 | 57,295 |
| Alumni Hall | 3,183 | 3,183 | 6,051 | 6,051 |
| Alfieri Hall | 7,088 | 7,088 | 12,044 | 12,044 |
| McQuaid Hall | 7,636 | 7,636 | 19,261 | 19,261 |
| Bayley Hall | 10,779 | 10,779 | 20,377 | 20,377 |
| Corrigan Hall | 14,950 | 14,950 | 31,611 | 31,611 |
| Aquinas Hall | 27,238 | 27,238 | 84,901 | 84,901 |
| Xavier Hall | 26,150 | 26,150 | 93,430 | 93,430 |
| Public Safety | 1,672 | 1,672 | 2,836 | 2,836 |
| Gerey Hall | 4,546 | 4,546 | 12,561 | 12,561 |
| Walsh Gym | 34,120 | 34,120 | 72,372 | 72,372 |
| Marshall Hall | 3,315 | 3,315 | 4,530 | 4,530 |
| Serra Hall | 9,346 | 9,346 | 21,116 | 21,116 |
| Neumann Hall | 9,346 | 9,346 | 20,844 | 20,844 |
| Cabrini Hall | 9,265 | 9,265 | 31,680 | 31,680 |
| Facilities Engineer | 5,066 | 5,066 | 8,728 | 8,728 |
| Walsh Library | 38,375 | 38,375 | 120,725 | 120,725 |
| Parking Deck | 115,870 | 115,870 | | |
| Athletic Field | 6,314 | 6,314 | 1,670 | 1,670 |
| Bethany Hall (Welcome Center) | 26,365 | 26,365 | 26,201 | 26,201 |
| TOTAL (SF) | 707,621 | 710,633 | 1,319,858 | 1,320,705 |
| NET INCREASE (SF) | | 3,012 | | 847 |

| ZONING COVERAGE | | | | |
|-----------------------|-------------|--------------------------------------|--------------------------------------|------------------|
| ITEM | REQUIREMENT | EXISTING | PROPOSED | REMAINING |
| Min. Lot Area | 50 AC. | 56.96 AC. 2,481,216 | no change 2,481,216 | N/A |
| Max. Bldg. Coverage | 30.00% | 28.52% (707621 SF / 2,481,216 SF) | 28.64% (710633 SF / 2,481,216 SF) | 1.36% 33,732 |
| Max. Floor Area Ratio | 0.65 | 0.532 (1319858 SF / 2,481,216 SF) | 0.532 (1320705 SF / 2,481,216 SF) | 0.118 292,085 |

SETON HALL IS SUBMITTING THIS PROPOSED MASTER PLAN UPDATE TO ADDRESS UNIVERSITY NEEDS AS WELL AS THE COMPLETION OF PROJECTS.

PROJECTS COMPLETED:

- WELCOME CENTER (BETHANY HALL)
- UNIVERSITY CENTER EXPANSION (PHASE I)
- STADIUM RENOVATION

THE MASTER PLAN UPDATE WAS DEVELOPED TO MEET THE FOLLOWING OBJECTIVES:

- CONTINUE TO TRANSFORM THE UNIVERSITY CENTER TO BE AN EFFECTIVE HEART OF THE CAMPUS SUPPORTING STUDENT LIFE AND STRENGTHENING COMMUNITY
- PROVIDE ENHANCED SECURITY AND ADA ACCESSIBILITY TO BOLAND HALL
- PROVIDE STATE OF THE ART BASKETBALL PRACTICE FACILITY TO ENHANCE THE FACILITIES AVAILABLE TO THE UNIVERSITY ATHLETES

THESE GOALS WERE ACCOMPLISHED THROUGH THE FOLLOWING PROJECTS:

- TRANSFORM THE UNIVERSITY CENTER BY IMPROVEMENTS TO THE EXISTING FACADE, SITE, AND INTERIOR TO IMPROVE ADA CIRCULATION THROUGHOUT, MODERNIZE FACILITIES PROVIDED, AND CONNECT THE ARCHITECTURAL VOCABULARY TO THE BUILT HISTORY OF THE CAMPUS.
- PROVIDE A LOBBY ADDITION TO BOLAND HALL TO PROVIDE PROPER SECURITY ADA COMPLIANT ENTRY AND EXIT.
- CONSTRUCT AN ADDITION AND OVERBUILD INTEGRATED WITH THE RICHIE REGAN RECREATION AND ATHLETIC CENTER TO PROVIDE MEN'S BASKETBALL PRACTICE FACILITIES AS WELL AS TO RENOVATE EXISTING SPACE FOR WOMEN'S BASKETBALL.

- GENERAL NOTES:
- BASE MAP PROVIDED ELECTRONICALLY BY SETON HALL UNIVERSITY.
 - BOUNDARY INFORMATION PROVIDED BY EKA.

| Date | Description | No. |
|------|-------------|-----|
| | Revisions | |

Signature: *Leonard D. Savino* Date: 12/17/2020
LEONARD D. SAVINO
PROFESSIONAL ENGINEER - NJ LIC. No. 39238

LANGAN
Langan Engineering and Environmental Services, Inc.
300 Kimball Drive
Parsippany, NJ 07054
T: 973.560.4900 F: 973.560.4901 www.langan.com
NJ Certificate of Authorization No. 24GA27996400

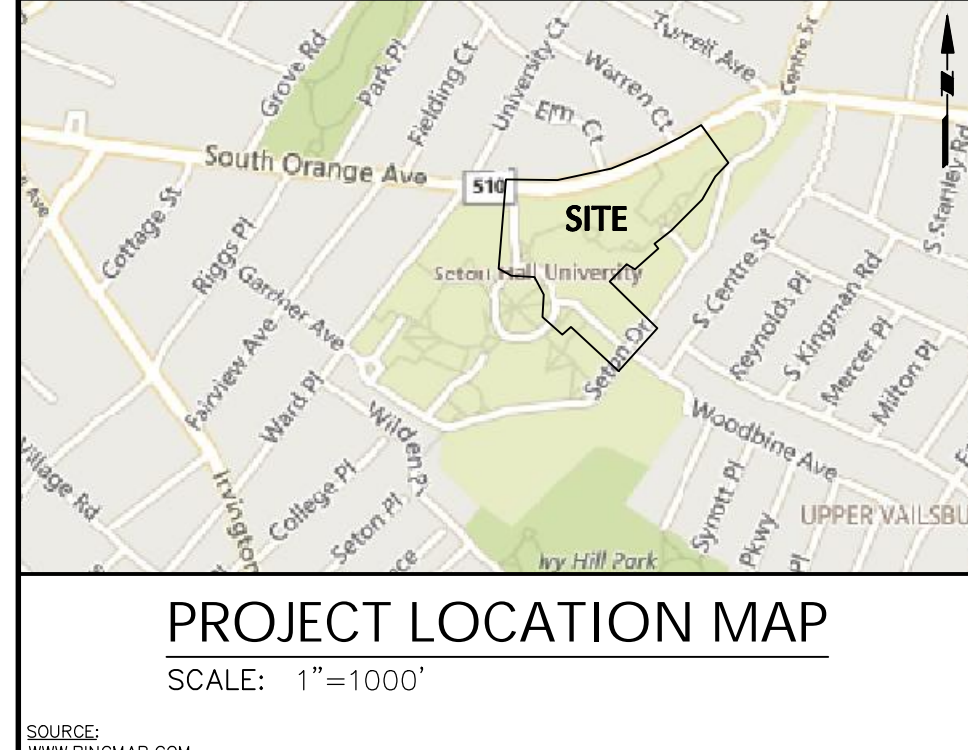
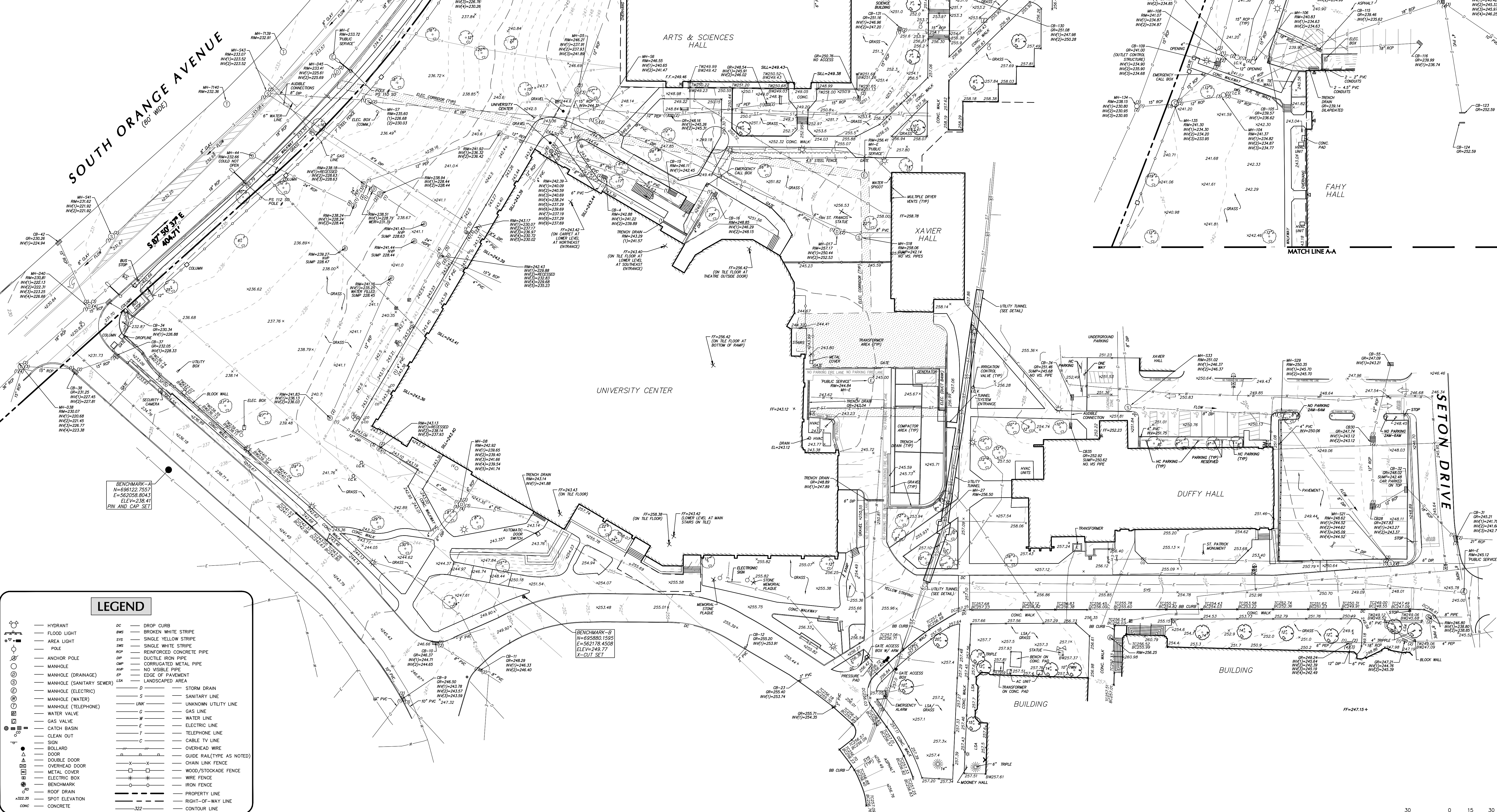
Project: **UNIVERSITY CENTER PHASE 2
RENOVATION & ADDITION
SETON HALL UNIVERSITY**
400 SOUTH ORANGE AVENUE
BLOCK No. 901, LOT No. 3
TOWNSHIP OF SOUTH ORANGE VILLAGE
ESSEX COUNTY NEW JERSEY

Drawing Title: **MASTER PLAN**

Project No. 100898001
Date: 12/17/2020
Drawn By: ET
Checked By: JED
Drawing No. CS100

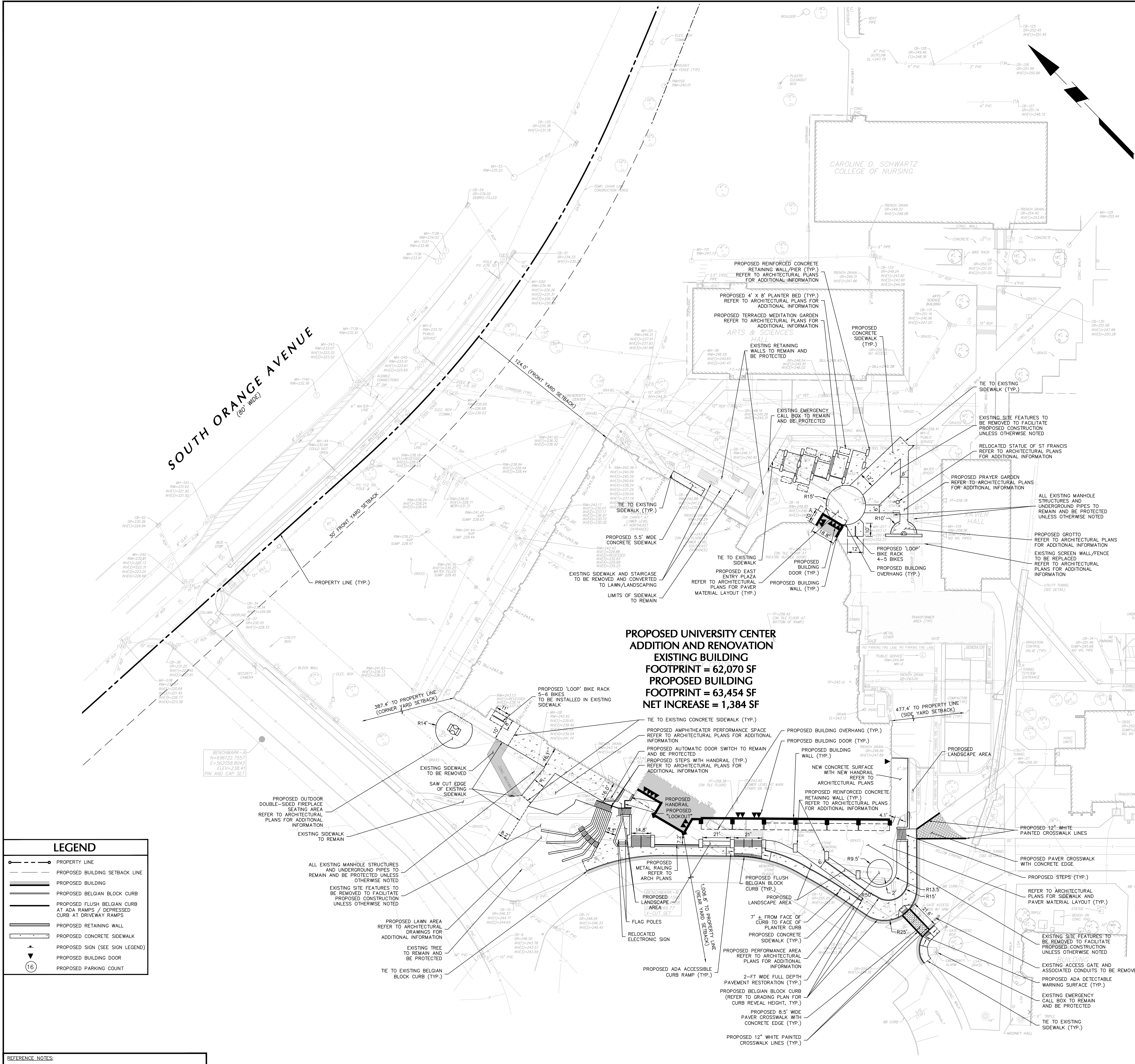
NOTES:

- THIS SURVEY IS BASED UPON PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, AND THE FOLLOWING REFERENCES:
 - UNDERGROUND UTILITY MAP PROVIDED BY SETON HALL UNIVERSITY, NOT DATED.
 - MAP ENTITLED "BOUNDARY SURVEY, SETON HALL UNIVERSITY, TAX LOT 3, BLOCK 901, TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY," PREPARED BY EKA ASSOCIATES, P.A., JOB NO. 942122, DATED 8-03-2012.
 - PLAN ENTITLED "UTILITY CLEARANCE SURVEY RESULTS, SETON HALL UNIVERSITY, SOUTH ORANGE, NJ," PREPARED BY ENVROSCAN, INC., DATED AUGUST 8, 2008.
 - THE MERIDIAN OF THIS SURVEY IS REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83 (2011) DERIVED USING SURVEY-GRADE GNSS EQUIPMENT.
 - ELEVATIONS SHOWN ARE REFERENCED TO THE PLAN NOTED IN 1C.
- SITE BENCHMARKS: LANGAN BENCHMARK-A N=696122.7557 E=562058.8043 ELEV=238.41 PIN AND CAP SET
 LANGAN BENCHMARK-B N=695880.1595 E=562178.4508 ELEV=245.77 X-OUT SET
- TO CONVERT FROM PROJECT VERTICAL DATUM TO NAVD 88 SUBTRACT 1.31.
 - STREET NAMES, BLOCK AND LOT NUMBERS ARE SHOWN IN ACCORDANCE WITH THE TOWNSHIP OF SOUTH ORANGE VILLAGE TAX MAPS.
 - PLANIMETRIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. DURING MARCH 2012, AUGUST 2012, NOVEMBER 2020 AND DECEMBER 2020.
 - BOUNDARY, WETLANDS, ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT COVERED UNDER THIS CONTRACT. BOUNDARY LINES SHOWN HEREON ARE BASED UPON REF. NO. 1-B.
 - UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND THE LOCATIONS WHERE DATA WAS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
 - ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
 - UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
 - PRIOR TO ANY DESIGN OR CONSTRUCTION THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
 - UNLESS NOTED BELOW SUPPLEMENTAL DOCUMENTS WERE NOT USED TO COMPILE THE SUBSURFACE UTILITY INFORMATION SHOWN HEREON.
 - THIS PLAN NOT VALID UNLESS EMBOSSED WITH THE SEAL OR ENCRYPTED WITH THE DIGITAL SIGNATURE AND SEAL OF THE PROFESSIONAL.



| Date | Description | No. |
|--|-------------------|---------------|
| REVISIONS | | |
| I hereby state that this plan is based on a field survey made by me or under my immediate supervision in accordance with NJAC 13:40-5.1 "Preparation of Land Surveys", and to the best of my professional knowledge, information and belief, and in my professional opinion, accurately represents the conditions found on the date of the field survey at the subject property. | | |
| SIGNATURE: DAVID R. AVERY DATE SIGNED PROFESSIONAL LAND SURVEYOR NJ Lic. No. 246503964600 | | |
| LANGAN Langan Engineering and Environmental Services, Inc. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION NO. 246247986400 | | |
| SETON HALL PHASE 2 BLOCK NO. 901, LOT NO. 3 TOWNSHIP OF SOUTH ORANGE VILLAGE ESSEX COUNTY NEW JERSEY | | |
| PARTIAL TOPOGRAPHIC SURVEY | | |
| Project No. | 100719501 | |
| Date | DECEMBER 15, 2020 | |
| Scale | 1"=30' | |
| Drawn By | HBV | Checked By CH |
| Submission Date | | |
| Drawing Title | VT102 | |
| Project No. | 100719501 | Drawing No. |
| Date | DECEMBER 15, 2020 | |
| Scale | 1"=30' | |
| Drawn By | HBV | Checked By CH |
| Submission Date | | |
| | Sheet 1 of 1 | |

| LEGEND | |
|--------------------------|-------------------------------|
| HYDRANT | DC DROP CURB |
| FLOOD LIGHT | BWS BROKEN WHITE STRIPE |
| AREA LIGHT | SWK SWIRLY YELLOW STRIPE |
| PDC | SWS SINGLE WHITE STRIPE |
| ANCHOR POLE | RCP REINFORCED CONCRETE PIPE |
| MANHOLE (DRAINAGE) | DIP DUCTILE IRON PIPE |
| MANHOLE (SANITARY SEWER) | CCP CORRUGATED METAL PIPE |
| MANHOLE (ELECTRIC) | NVP NO VISIBLE PIPE |
| MANHOLE (TELEPHONE) | EP EDGE OF PAVEMENT |
| WATER VALVE | LSA LANDSCAPED AREA |
| GAS VALVE | D STORM DRAIN |
| CATCH BASIN | S SANITARY LINE |
| CLEAN OUT | UNK UNKNOWN UTILITY LINE |
| SON | G GAS LINE |
| ROLLARD | W WATER LINE |
| DOOR | E ELECTRIC LINE |
| OVERHEAD DOOR | T TELEPHONE LINE |
| METAL COVER | C CABLE TV LINE |
| ELECTRIC BOX | OW OVERHEAD WIRE |
| BENCHMARK | GR GUIDE RAIL (TYPE AS NOTED) |
| ROOF DRAIN | CH CHAIN LINK FENCE |
| SPOT ELEVATION | WO WOOD/STOCKADE FENCE |
| CONC | WI WIRE FENCE |
| | IR IRON FENCE |
| | PL PROPERTY LINE |
| | RO RIGHT-OF-WAY LINE |
| | CO CONTOUR LINE |



- ### GENERAL NOTES
- THESE PLANS REPRESENT OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE WORK TO BE PERFORMED IS SHOWN ON THE DRAWINGS AND IS DESCRIBED IN THE CONTRACT SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT ALL SPECIFIC SITE DETAILS OF INSTALLATION REQUIRED FOR SITEWORK CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL IMPROVEMENTS REQUIRED TO ACHIEVE CONSTRUCTION DEPICTED ON THESE PLANS.
 - THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS AS DEEMED NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
 - THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFI) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFI SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
 - INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION ON THE DRAWINGS. CONTRACTOR SHALL SPECIFICALLY REVIEW ALL PLANS, PROFILES AND ANY INFORMATION/TABLES FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S ENGINEER IN WRITING PRIOR TO CONSTRUCTION.
 - THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED ON SHEETS THROUGHOUT THE PLAN SET AND AVAILABLE REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL APPLICABLE REQUIREMENTS.
 - CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL DRAINAGE AND UTILITY STRUCTURES AND MANUFACTURED PRODUCTS TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WITH CONSTRUCTION.
 - SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, BOLLARDS, ETC.
 - SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS.
 - CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
 - CONTRACTOR TO CONFIRM ALL ADA WORK IS PERFORMED IN ACCORDANCE WITH THE LATEST STANDARD AND REGULATIONS PER APPLICABLE TOWNSHIP OF SOUTH ORANGE, ESSEX COUNTY, STATE OF NEW JERSEY AND FEDERAL CODES.

NOTE:
NO CHANGES ARE PROPOSED TO THE UNIVERSITY'S EXISTING SOLID WASTE AND RECYCLING PLANS.

SIGN LEGEND

| | |
|-------------------|---------------|
| 10 MINUTE PARKING | DO NOT ENTER |
| CUSTOM 12"x18" | RS-1 30"x30" |
| R3-1 24"x24" | RS-11 30"x24" |
| STOP | R1-1 30"x30" |

LEGEND

| | |
|---|---------------------------------|
| PROPERTY LINE | PROPOSED BUILDING SETBACK LINE |
| PROPOSED BUILDING | PROPOSED BELGIAN BLOCK CURB |
| PROPOSED FLUSH BELGIAN CURB AT ADA RAMPS / DEPRESSED CURB AT DRIVEWAY RAMPS | PROPOSED RETAINING WALL |
| PROPOSED CONCRETE SIDEWALK | PROPOSED SIGN (SEE SIGN LEGEND) |
| PROPOSED BUILDING DOOR | PROPOSED PARKING COUNT |

- ### REFERENCE NOTES
- EXISTING SURVEY AND TOPOGRAPHIC INFORMATION OBTAINED FROM A PLAN TITLED "PARTIAL TOPOGRAPHIC SURVEY - SETON HALL, PHASE 2" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. ON 15 DECEMBER 2020.
 - PROPOSED BUILDING FOOTPRINT OBTAINED ELECTRONICALLY FROM CCH ARCHITECTS ON 15 DECEMBER 2020.
 - THE MERIDIAN OF THE SURVEY IS REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83 (2011).
 - ELEVATIONS SHOWN ARE REFERENCED TO THE PLAN TITLED "UTILITY CLEARANCE SURVEY RESULTS, SETON HALL UNIVERSITY, SOUTH ORANGE, NJ PREPARED BY MIROSKAN, INC., DATED AUGUST 8, 2008".



| Date | Description | No. |
|------|-------------|-----|
| | Revisions | |

LANGAN
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Leonard D. Savino 12/17/2020
Signature LEONARD D. SAVINO Date
PROFESSIONAL ENGINEER NJ LIC. No. 39238

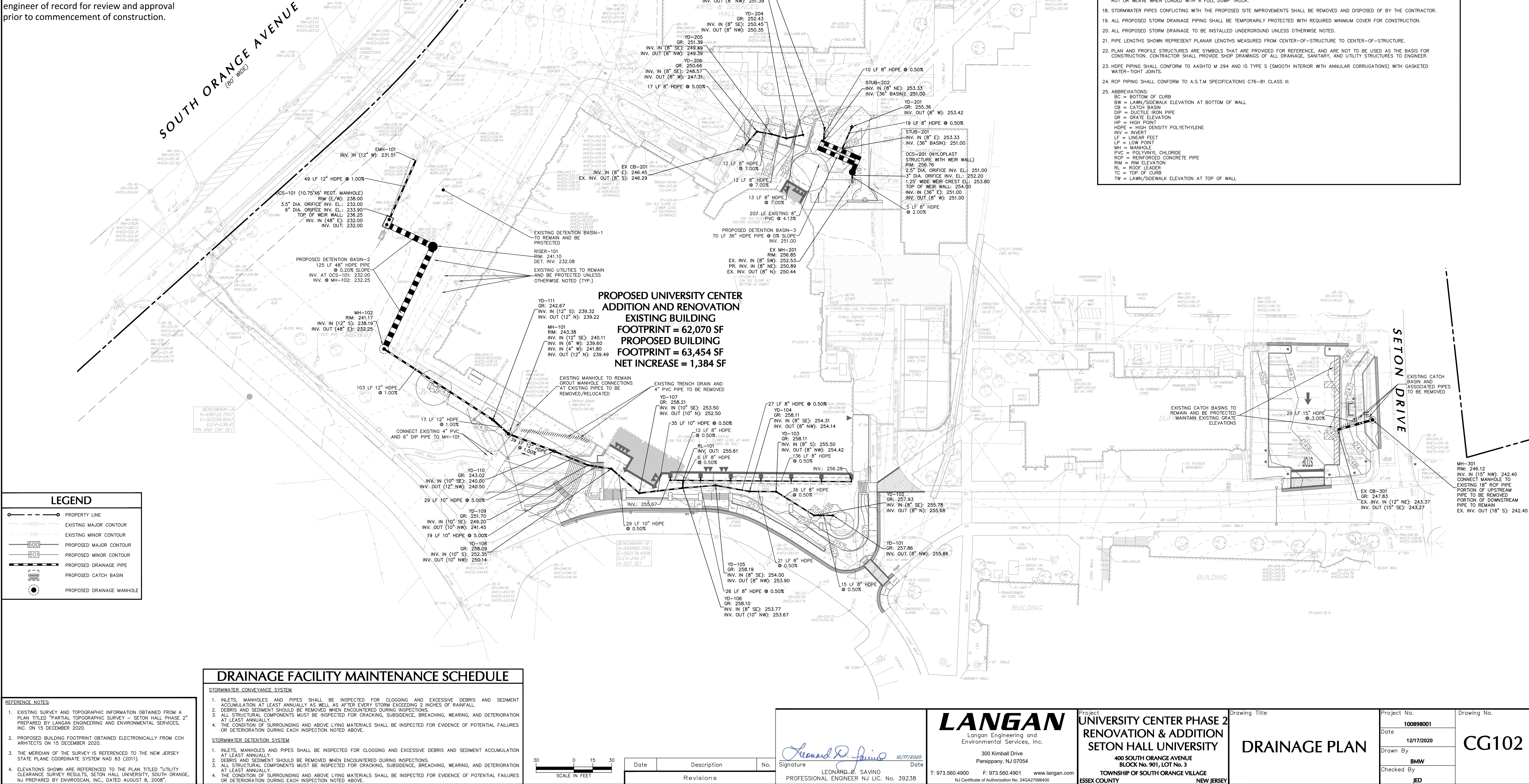
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|-------------|---|---------------|------------|
| Project | UNIVERSITY CENTER PHASE 2 RENOVATION & ADDITION SETON HALL UNIVERSITY | Drawing Title | SITE PLAN |
| Project No. | 100898001 | Project No. | 100898001 |
| Date | 12/17/2020 | Date | 12/17/2020 |
| Drawn By | BMW | Drawn By | BMW |
| Checked By | JED | Checked By | JED |

400 SOUTH ORANGE AVENUE
BLOCK NO. 901, LOT NO. 3
TOWNSHIP OF SOUTH ORANGE VILLAGE
ESSEX COUNTY NEW JERSEY

CS101

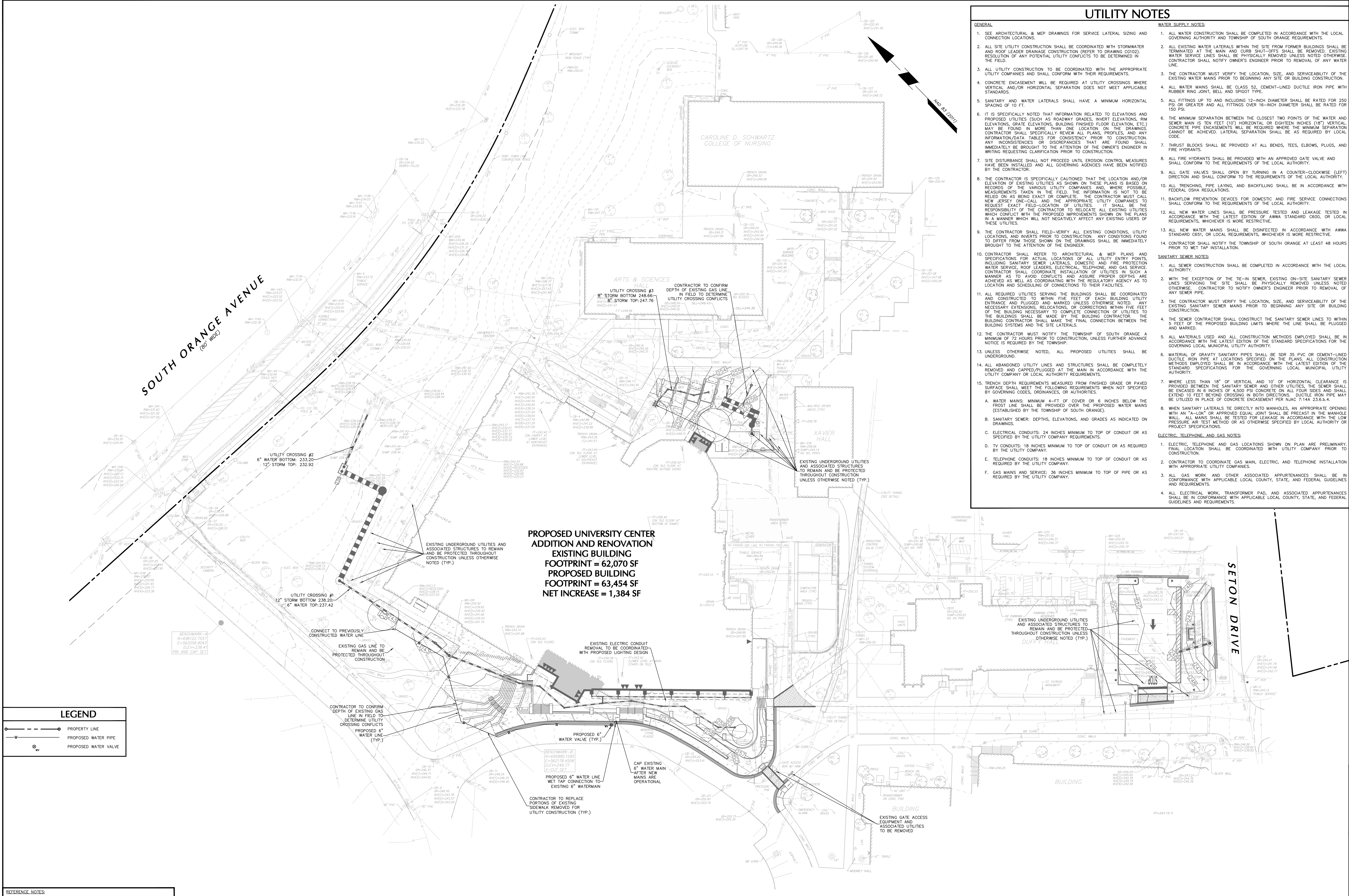
| DRAINAGE STRUCTURE SCHEDULE | |
|--------------------------------------|-----------------------------|
| Seton Hall University Center Phase 2 | |
| Renovation & Addition | |
| Structure ID | Structure Type |
| YD-101 | ZURN Z158 SQUARE DECK DRAIN |
| YD-102 | ZURN Z158 SQUARE DECK DRAIN |
| YD-103 | ZURN Z158 SQUARE DECK DRAIN |
| YD-104 | ZURN Z158 SQUARE DECK DRAIN |
| YD-105 | ZURN Z158 SQUARE DECK DRAIN |
| YD-106 | ZURN Z158 SQUARE DECK DRAIN |
| YD-107 | ZURN Z158 SQUARE DECK DRAIN |
| YD-108 | ZURN Z158 SQUARE DECK DRAIN |
| YD-109 | ZURN Z158 SQUARE DECK DRAIN |
| YD-110 | 15" NYLOPLAST DRAIN BASIN |
| YD-111 | 15" NYLOPLAST DRAIN BASIN |
| MH-101 | 4" I.D. CONCRETE MANHOLE |
| MH-102 | 6" I.D. CONCRETE MANHOLE |
| OCS-101 | SEE DETAIL |
| YD-201 | 15" NYLOPLAST DRAIN BASIN |
| YD-202 | ZURN Z158 SQUARE DECK DRAIN |
| YD-203 | ZURN Z158 SQUARE DECK DRAIN |
| YD-204 | ZURN Z158 SQUARE DECK DRAIN |
| YD-205 | ZURN Z158 SQUARE DECK DRAIN |
| YD-206 | ZURN Z158 SQUARE DECK DRAIN |
| STUB-201 | STUB CONNECTION |
| STUB-202 | STUB CONNECTION |
| OCS-201 | SEE DETAIL |
| MH-301 | 4" I.D. CONCRETE MANHOLE |

Note:
Contractor shall submit shop drawings to the engineer of record for review and approval prior to commencement of construction.



Project No. 10099001

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UTILITY NOTES

- GENERAL**

 - SEE ARCHITECTURAL & MEP DRAWINGS FOR SERVICE LATERAL SIZING AND CONNECTION LOCATIONS.
 - ALL SITE UTILITY CONSTRUCTION SHALL BE COORDINATED WITH STORMWATER AND ROOF LEADER DRAINAGE CONSTRUCTION (REFER TO DRAWING C0202). THE MAIN AND CURB SHUT-OFFS SHALL BE REMOVED. EXISTING WATER SERVICE LINES SHALL BE PHYSICALLY REMOVED UNLESS NOTED OTHERWISE. CONTRACTOR SHALL NOTIFY OWNER'S ENGINEER PRIOR TO REMOVAL OF ANY WATER LINE.
 - ALL UTILITY CONSTRUCTION TO BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES AND SHALL CONFORM WITH THEIR REQUIREMENTS.
 - CONCRETE ENCASUREMENT WILL BE REQUIRED AT UTILITY CROSSINGS WHERE VERTICAL AND/OR HORIZONTAL SEPARATION DOES NOT MEET APPLICABLE STANDARDS.
 - SANITARY AND WATER LATERALS SHALL HAVE A MINIMUM HORIZONTAL SPACING OF 10 FT.
 - IT IS SPECIFICALLY NOTED THAT INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RM ELEVATIONS, GRADE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATION, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION ON THE DRAWINGS. CONTRACTOR SHALL SPECIFICALLY REVIEW ALL PLANS, PROFILES, AND ANY INFORMATION/DATA TABLES FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S ENGINEER IN WRITING REQUESTING CLARIFICATION PRIOR TO CONSTRUCTION.
 - SITE DISTURBANCE SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ALL GOVERNING AGENCIES HAVE BEEN NOTIFIED BY THE CONTRACTOR.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW JERSEY ONE-CALL AND THE APPROPRIATE UTILITY COMPANIES TO REQUEST EXACT FIELD-LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
 - THE CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL & MEP PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRY POINTS, INCLUDING SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ROOF LEADERS, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
 - ALL REQUIRED UTILITIES SERVING THE BUILDINGS SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN FIVE FEET OF EACH BUILDING UTILITY ENTRANCE AND PLUGGED AND MARKED UNLESS OTHERWISE NOTED. ANY NECESSARY EXTENSIONS, RELOCATIONS, OR CORRECTIONS WITHIN FIVE FEET OF THE BUILDING NECESSARY TO COMPLETE CONNECTION OF UTILITIES TO THE BUILDINGS SHALL BE MADE BY THE BUILDING CONTRACTOR. THE BUILDING CONTRACTOR SHALL MAKE THE FINAL CONNECTION BETWEEN THE BUILDING SYSTEMS AND THE SITE LATERALS.
 - THE CONTRACTOR MUST NOTIFY THE TOWNSHIP OF SOUTH ORANGE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, UNLESS FURTHER ADVANCE NOTICE IS REQUIRED BY THE TOWNSHIP.
 - UNLESS OTHERWISE NOTED, ALL PROPOSED UTILITIES SHALL BE UNDERGROUND.
 - ALL ABANDONED UTILITY LINES AND STRUCTURES SHALL BE COMPLETELY REMOVED AND CAPPED/PLUGGED AT THE MAIN IN ACCORDANCE WITH THE UTILITY COMPANY OR LOCAL AUTHORITY REQUIREMENTS.
 - TRENCH DEPTH REQUIREMENTS MEASURED FROM FINISHED GRADE OR PAVED SURFACE SHALL MEET THE FOLLOWING REQUIREMENTS WHEN NOT SPECIFIED BY GOVERNING CODES, ORDINANCES, OR AUTHORITIES.
 - WATER MAINS: MINIMUM 4-FT OF COVER OR 6 INCHES BELOW THE FROST LINE. LINE SHALL BE PROVIDED OVER THE PROPOSED WATER MAINS (ESTABLISHED BY THE TOWNSHIP OF SOUTH ORANGE).
 - SANITARY SEWER: DEPTHS, ELEVATIONS, AND GRADES AS INDICATED ON DRAWINGS.
 - ELECTRICAL CONDUITS: 24 INCHES MINIMUM TO TOP OF CONDUIT OR AS SPECIFIED BY THE UTILITY COMPANY REQUIREMENTS.
 - D.V. CONDUITS: 18 INCHES MINIMUM TO TOP OF CONDUIT OR AS REQUIRED BY THE UTILITY COMPANY.
 - TELEPHONE CONDUITS: 18 INCHES MINIMUM TO TOP OF CONDUIT OR AS REQUIRED BY THE UTILITY COMPANY.
 - GAS MAINS AND SERVICE: 36 INCHES MINIMUM TO TOP OF PIPE OR AS REQUIRED BY THE UTILITY COMPANY.
- WATER SUPPLY NOTES:**

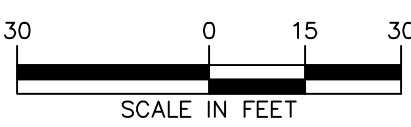
 - ALL WATER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL GOVERNING AUTHORITY AND TOWNSHIP OF SOUTH ORANGE REQUIREMENTS.
 - ALL EXISTING WATER LATERALS WITHIN THE SITE FROM FORMER BUILDINGS SHALL BE TERMINATED AT THE MAIN AND CURB SHUT-OFFS SHALL BE REMOVED. EXISTING WATER SERVICE LINES SHALL BE PHYSICALLY REMOVED UNLESS NOTED OTHERWISE. CONTRACTOR SHALL NOTIFY OWNER'S ENGINEER PRIOR TO REMOVAL OF ANY WATER LINE.
 - THE CONTRACTOR MUST VERIFY THE LOCATION, SIZE, AND SERVICEABILITY OF THE EXISTING WATER MAINS PRIOR TO BEGINNING ANY SITE OR BUILDING CONSTRUCTION.
 - ALL WATER MAINS SHALL BE CLASS 52, CEMENT-LINED DUCTILE IRON PIPE WITH RUBBER RING JOINT, BELL AND SPIGOT TYPE.
 - ALL FITTINGS UP TO AND INCLUDING 12-INCH DIAMETER SHALL BE RATED FOR 250 PSI OR GREATER AND ALL FITTINGS OVER 16-INCH DIAMETER SHALL BE RATED FOR 150 PSI.
 - THE MINIMUM SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER MAIN IS TEN FEET (10') HORIZONTAL OR EIGHTEEN INCHES (18") VERTICAL. CONCRETE PIPE ENCASUREMENTS WILL BE REQUIRED WHERE THE MINIMUM SEPARATION CANNOT BE ACHIEVED. LATERAL SEPARATION SHALL BE AS REQUIRED BY LOCAL CODE.
 - THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, ELBOWS, PLUGS, AND FIRE HYDRANTS.
 - ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED GATE VALVE AND SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL AUTHORITY.
 - ALL GATE VALVES SHALL OPEN BY TURNING IN A COUNTER-CLOCKWISE (LEFT) DIRECTION AND SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL AUTHORITY.
 - ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
 - BACKFLOW PREVENTION DEVICES FOR DOMESTIC AND FIRE SERVICE CONNECTIONS SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL AUTHORITY.
 - ALL NEW WATER LINES SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C600, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE.
 - ALL NEW WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE.
 - CONTRACTOR SHALL NOTIFY THE TOWNSHIP OF SOUTH ORANGE AT LEAST 48 HOURS PRIOR TO WET TAP INSTALLATION.
- SANITARY SEWER NOTES:**

 - ALL SEWER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL AUTHORITY.
 - WITH THE EXCEPTION OF THE TIE-IN SEWER, EXISTING ON-SITE SANITARY SEWER LINES SERVICING THE SITE SHALL BE PHYSICALLY REMOVED UNLESS NOTED OTHERWISE. CONTRACTOR TO NOTIFY OWNER'S ENGINEER PRIOR TO REMOVAL OF ANY SEWER PIPE.
 - THE CONTRACTOR MUST VERIFY THE LOCATION, SIZE, AND SERVICEABILITY OF THE EXISTING SANITARY SEWER MAINS PRIOR TO BEGINNING ANY SITE OR BUILDING CONSTRUCTION.
 - THE SEWER CONTRACTOR SHALL CONSTRUCT THE SANITARY SEWER LINES TO WITHIN 5 FEET OF THE PROPOSED BUILDING LIMITS WHERE THE LINE SHALL BE PLUGGED AND MARKED.
 - ALL MATERIALS USED AND ALL CONSTRUCTION METHODS EMPLOYED SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR THE GOVERNING LOCAL MUNICIPAL UTILITY AUTHORITY.
 - MATERIAL OF GRANTY SANITARY PIPES SHALL BE SDR 35 PVC OR CEMENT-LINED DUCTILE IRON PIPE AT LOCATIONS SPECIFIED ON THE PLANS. ALL CONSTRUCTION METHODS EMPLOYED SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR THE GOVERNING LOCAL MUNICIPAL UTILITY AUTHORITY.
 - WHERE LESS THAN 18" OF VERTICAL AND 10' OF HORIZONTAL CLEARANCE IS PROVIDED BETWEEN THE SANITARY SEWER AND OTHER UTILITIES, THE SEWER SHALL BE ENCASED IN 6 INCHES OF 4,500 PSI CONCRETE ON ALL FOUR SIDES AND SHALL EXTEND 10 FEET BEYOND CROSSING IN BOTH DIRECTIONS. DUCTILE IRON PIPE MAY BE UTILIZED IN PLACE OF CONCRETE ENCASUREMENT PER NJAC 7:14A 23.6.4.
 - WHEN SANITARY LATERALS TIE DIRECTLY INTO MANHOLES, AN APPROPRIATE OPENING WITH AN "A" LOCK OR APPROVED EQUAL JOINT SHALL BE PRECAST IN THE MANHOLE WALL. ALL MAINS SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LOW PRESSURE AIR TEST METHOD OR AS OTHERWISE SPECIFIED BY LOCAL AUTHORITY OR PROJECT SPECIFICATIONS.
- ELECTRIC, TELEPHONE, AND GAS NOTES:**

 - ELECTRIC, TELEPHONE AND GAS LOCATIONS SHOWN ON PLAN ARE PRELIMINARY. FINAL LOCATION SHALL BE COORDINATED WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO COORDINATE GAS MAIN, ELECTRIC, AND TELEPHONE INSTALLATION WITH APPROPRIATE UTILITY COMPANIES.
 - ALL GAS WORK AND OTHER ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE, AND FEDERAL GUIDELINES AND REQUIREMENTS.
 - ALL ELECTRICAL WORK, TRANSFORMER PAD, AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE, AND FEDERAL GUIDELINES AND REQUIREMENTS.

| LEGEND | |
|--------|----------------------|
| | PROPERTY LINE |
| | PROPOSED WATER PIPE |
| | PROPOSED WATER VALVE |

- REFERENCE NOTES:
- EXISTING SURVEY AND TOPOGRAPHIC INFORMATION OBTAINED FROM A PLAN TITLED "PARTIAL TOPOGRAPHIC SURVEY - SETON HALL, PHASE 2" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. ON 15 DECEMBER 2020.
 - PROPOSED BUILDING FOOTPRINT OBTAINED ELECTRONICALLY FROM CCH ARCHITECTS ON 15 DECEMBER 2020.
 - THE MERIDIAN OF THE SURVEY IS REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83 (2011).
 - ELEVATIONS SHOWN ARE REFERENCED TO THE PLAN TITLED "UTILITY CLEARANCE SURVEY RESULTS, SETON HALL UNIVERSITY, SOUTH ORANGE, NJ PREPARED BY ENVIROSCAN, INC., DATED AUGUST 8, 2008".



| Date | Description | No. |
|-----------|-------------|-----|
| Revisions | | |

LANGAN

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NJ Certificate of Authorization No. 24GA27996400

Project
**UNIVERSITY CENTER PHASE 2
RENOVATION & ADDITION
SETON HALL UNIVERSITY**

400 SOUTH ORANGE AVENUE
BLOCK No. 901, LOT No. 3
TOWNSHIP OF SOUTH ORANGE VILLAGE
NEW JERSEY

Drawing Title
UTILITY PLAN

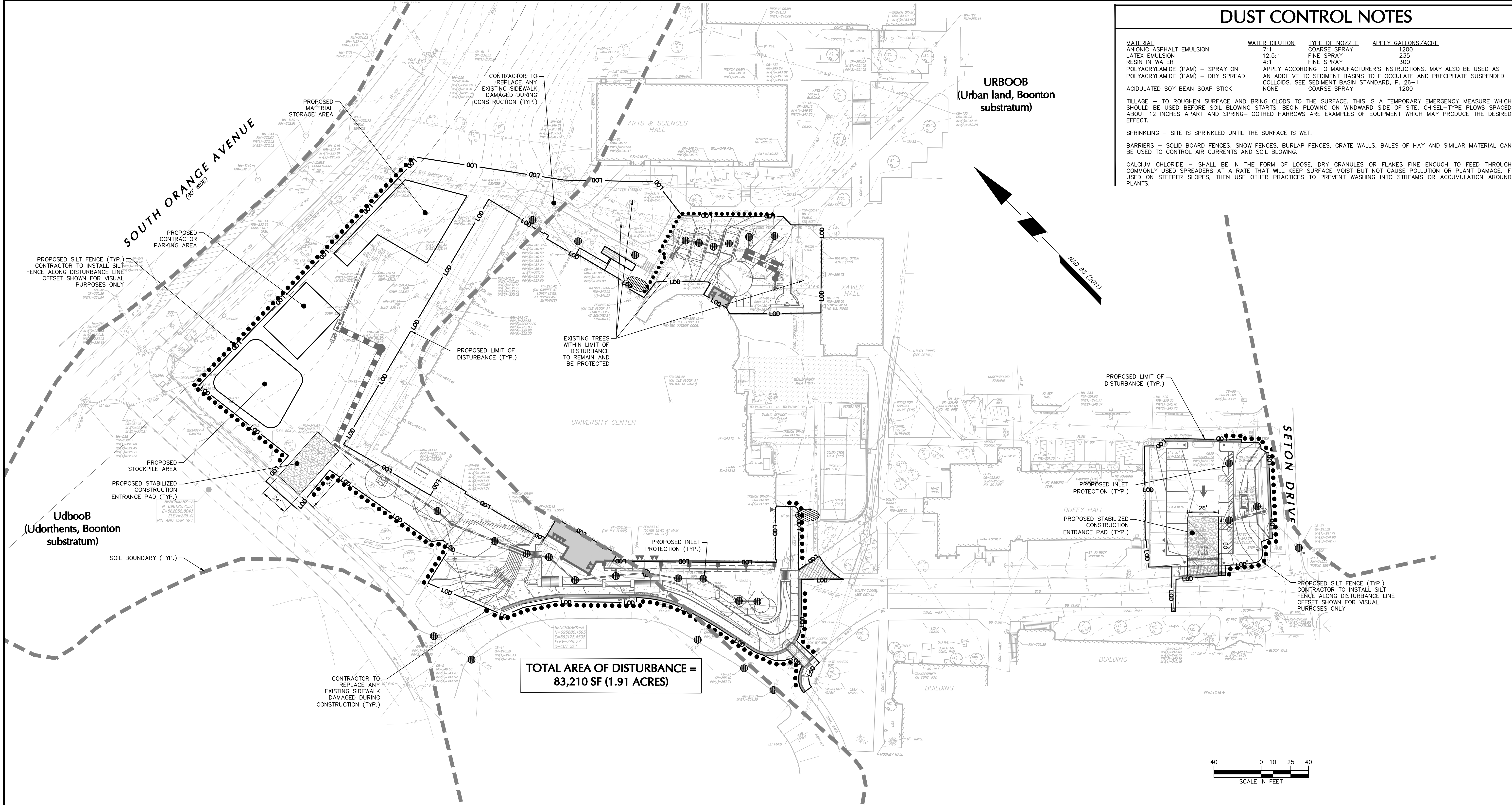
Project No.
100898001

Date
12/17/2020

Drawn By
BMW

Checked By
JED

Drawing No.
CU101



SOIL LEGEND

UdbooB UDORTHERTS, BOONTON SUBSTRATUM

URBOOB URBAN LAND, BOONTON SUBSTRATUM

LEGEND

--- PROPERTY LINE

--- EXISTING MAJOR CONTOUR

--- EXISTING MINOR CONTOUR

--- PROPOSED MAJOR CONTOUR

--- PROPOSED MINOR CONTOUR

● PROPOSED SILT FENCE

● PROPOSED INLET PROTECTION

● PROPOSED CONSTRUCTION ENTRANCE

--- LIMIT OF DISTURBANCE

STABILIZED CONSTRUCTION ACCESS PAD

NOTE: FOR CONSTRUCTION PAD LOCATION, SEE SOIL EROSION AND SEDIMENT CONTROL PLAN.

12" THICK STONE PAD: ASTM C-33 NO. 2 OR 3 CRUSHED STONE

FILTER FABRIC MIRAFI 600, U.S. FABRICS #825, AMERICAN ENGINEERING FABRICS #834 OR APPROVED EQUIVALENT

WELL COMPACTED SUB-GRADE

INLET SEDIMENT PROTECTION (OPTION 1)

NOTE: FOR CONSTRUCTION PAD LOCATION, SEE SOIL EROSION AND SEDIMENT CONTROL PLAN.

12" THICK STONE PAD: ASTM C-33 NO. 2 OR 3 CRUSHED STONE

FILTER FABRIC MIRAFI 600, U.S. FABRICS #825, AMERICAN ENGINEERING FABRICS #834 OR APPROVED EQUIVALENT

WELL COMPACTED SUB-GRADE

INLET SEDIMENT PROTECTION (OPTION 2)

NOTE: FOR CONSTRUCTION PAD LOCATION, SEE SOIL EROSION AND SEDIMENT CONTROL PLAN.

12" THICK STONE PAD: ASTM C-33 NO. 2 OR 3 CRUSHED STONE

FILTER FABRIC MIRAFI 600, U.S. FABRICS #825, AMERICAN ENGINEERING FABRICS #834 OR APPROVED EQUIVALENT

WELL COMPACTED SUB-GRADE

SILT SOCK IN PAVEMENT AREAS (FILTRREX COMPOST SILT SOCK)

NOTE: 1. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED DESIGN GUIDELINES.

2. FOR PERVIOUS AREA INSTALLATIONS, STAKES SHALL BE INSTALLED THROUGH THE MIDDLE OF THE SEDIMENT CONTROL ON 10 FT CENTERS. IN THE EVENT STAKING IS NOT POSSIBLE, SUCH AS WHEN SEDIMENT CONTROL IS USED ON PAVEMENT, HEAVY CONCRETE BLOCKS SHALL BE USED BEHIND THE SEDIMENT CONTROL TO HELP STABILIZE DURING RAINFALL/RUNOFF EVENTS.

3. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE-GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

5. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

6. IN IMPERVIOUS AREAS, SILT SOCK TO BE PLACED AGAINST FENCE AND SECURED WITH CONCRETE BLOCKS OR SAND BAGS PLACED 10 FEET ON CENTER.

7. DETAIL PROVIDED BY FILTRREX.

TEMPORARY SOIL / CONSTRUCTION DEBRIS STOCKPILE

NOTE: 1. DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR HAY IF THE FALL SEEDING PERIOD CANNOT BE SUCCESSFULLY MET.

2. MULCH TO BE APPLIED AT A RATE OF 1.5 TO 2 TONS PER ACRE. TACK MATERIAL, TO BE CUTBACK ASPHALT-RAPID CURING (RC-70, PC-250 AND RC-800) OR MEDIUM CURING (MC-250 OR MC-800). APPLY 0.4 GAL/S.Y. OR 194 GAL/ACRE ON FLAT AREAS AND ON SLOPES LESS THAN 6 FEET HIGH. ON SLOPES 6 FEET OR MORE HIGH USE .075 GAL/S.Y. OR 363 GAL/ACRE.

| DUST CONTROL NOTES | | | |
|-----------------------------------|---|----------------|--------------------|
| MATERIAL | WATER DILUTION | TYPE OF NOZZLE | APPLY GALLONS/ACRE |
| ANIONIC ASPHALT EMULSION | 7:1 | COARSE SPRAY | 1200 |
| LATEX EMULSION | 12.5:1 | FINE SPRAY | 235 |
| RESIN IN WATER | 4:1 | FINE SPRAY | 500 |
| POLYACRYLAMIDE (PAM) - SPRAY ON | APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD, P. 28-1 | | |
| POLYACRYLAMIDE (PAM) - DRY SPREAD | NONE | | |
| ACCUMULATED SOY BEAN SOAP STICK | NONE | | 1200 |

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

- ### SOIL EROSION AND SEDIMENT CONTROL NOTES
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7TH EDITION LAST REVISED DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
 - ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED AND HAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
 - SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPSCD: SPRING - 3/1-5/15 AND FALL - 8/15 - 10/1.
 - SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
 - ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
 - MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDER, OR NETTING. THE DOWN OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
 - THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 72 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862) 333-4502 OR EMAIL - INFORMATION@HEPSCD.ORG.
 - THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ - ORA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION. GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
 - PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
 - ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING. SOODING OR PLANTING A DEPTH OF 5.0 INCHES, FIRMED IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, LAST REVISED DECEMBER 2017.
 - ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
 - A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2" - 1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
 - STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS' INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.

- ### SEQUENCE OF CONSTRUCTION
- NOTIFY THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT (H.E.P.S.C.D.) AT LEAST 72 HOURS PRIOR TO ANY SITE DISTURBANCES.
 - EQUIP ALL EXISTING CATCH BASINS WITH INLET SEDIMENT PROTECTION IMMEDIATELY UPON START OF CONSTRUCTION.
 - CLEAR AND GRUB AREAS CONTAINING VEGETATION AS REQUIRED TO COMMENCE CONSTRUCTION.
 - CONSTRUCT BUILDING ADDITION.
 - COMPLETE CONSTRUCTION OF ROUGH GRADING, STORM DRAINAGE AND UTILITY IMPROVEMENTS.
 - AFTER STORM DRAINAGE SYSTEM AND CATCH BASINS ARE CONSTRUCTED, PLACE INLET SEDIMENT PROTECTION ON EACH CATCH BASIN WHICH SHALL REMAIN UNTIL THE SITE IS PAVED. REPLACE AS NECESSARY.
 - COMPLETE FINAL SITE GRADING, CURBING AND PAVING.
 - ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL PERMANENT IMPROVEMENTS TO THE SITE ARE COMPLETE AND THE DRIVEWAYS AND PARKING AREAS ARE PAVED.
 - LANDSCAPE ALL APPROPRIATE AREAS AS INDICATED ON THE LANDSCAPE PLAN AND REMOVE ALL TEMPORARY SEDIMENT CONTROL STRUCTURES.
 - CLEAN ALL SITE DRAINAGE STRUCTURES AND PIPES OF SILT AND DEBRIS. DOWNSTREAM/OFF-SITE DRAINAGE FACILITIES SHALL BE INSPECTED AND CLEANED OF SILT AND DEBRIS RESULTING FROM SITE CONSTRUCTION PRIOR TO FINAL TURNOVER.
 - NOTIFY THE H.E.P.S.C.D. AT COMPLETION OF CONSTRUCTION.

- ### CONSTRUCTION NOTES
- CONTRACTOR TO COORDINATE STAGING AREAS, TRAILER LOCATION AND TEMPORARY STOCKPILE LOCATIONS WITH OWNER.
 - INLET SEDIMENT PROTECTION REQUIREMENTS SHALL NOT BE LIMITED TO STRUCTURES LOCATED WITHIN THE PHASE LIMITS OF WORK. ANY AND ALL INLETS WHICH COULD BE AFFECTED BY RUNOFF BY PROTECTED.
 - CONTRACTOR MAY ELECT TO PROVIDE HAY BALES OR ALTERNATIVE MEANS OF INLET SEDIMENT PROTECTION TO EXISTING INLETS. ALL ALTERNATIVES MUST BE APPROVED BY THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT AND SHALL CONFORM TO THE REQUIREMENTS OF THE NJ STANDARDS FOR S.E.S.C., LATEST REVISION. COPIES OF DETAIL AND APPROVAL TO BE PROVIDED TO THE OWNER AND OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES SUCH AS A WATER TRUCK OR AN ALTERNATIVE MEASURE COMPLYING WITH THE STANDARDS FOR DUST CONTROL LOCATED IN THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY".

SOIL COMPACTION REMEDIATION EXEMPTION

THE SITE IS PREVIOUSLY DEVELOPED AND IS LOCATED WITHIN THE METROPOLITAN PLANNING AREA (PA 1) PER THE STATE PLAN POLICY MAP AND IS CATEGORIZED AS "URBAN REDEVELOPMENT AREA". THE AREA WITHIN THE PROJECT LIMITS ALSO DOES NOT CONTAIN AREAS OF WOODY VEGETATION. PER SECTION 19-2 ITEM 6 OF THE STANDARDS FOR LAND GRADING, LAST REVISED JULY 2017, THE PROJECT IS EXEMPT FROM SOIL DE-COMPACTION REQUIREMENTS.

- ### STABILIZATION NOTES
- PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION:
- PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY" THE FOLLOWING SEEDING SCHEDULE SHOULD BE USED FOR PERMANENT SEEDING (UNLESS OTHERWISE NOTED):
- A. APPLY TOPSOIL TO A DEPTH OF 5".
- B. UNIFORMLY APPLY GROUND LESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT NUTRIENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
- C. WORK LINE AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
- SEED - LAWN AREAS - NEW JERSEY STANDARD SEED MIX 15:
HARD FESCUE - 3 LBS/1,000 SF
CHEWING FESCUE - 1 LB/1,000 SF
STRONG CREEPING RED FESCUE - 1 LBS/1,000 SF
PERENNIAL RYEGRASS - 0.25 LBS/1,000 SF
- OPTIMAL SEEDING DATES FOR THIS MIXTURE ARE BETWEEN AUGUST 15TH AND OCTOBER 15TH. ACCEPTABLE SEEDING DATES FOR THIS MIXTURE ARE MARCH 1ST TO APRIL 30TH OR MAY 1ST TO AUGUST 14TH. SUMMER SEEDINGS FOR THIS MIX SHOULD ONLY BE CONDUCTED WHEN THE SITE IS IRRIGATED.
- D. MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 lbs/1,000 sf; TO BE APPLIED ACCORDING TO NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (i.e. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDING).
- TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION:
- DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND HAY MULCHED (OR HYDROSEEDED) UNTIL PROPER WEATHER EXISTS FOR THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. THE FOLLOWING SEEDING SCHEDULE SHALL BE USED FOR TEMPORARILY SEEDING:
- A. APPLY GROUND LESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT NUTRIENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. APPLY LESTONE AT THE RATE OF 2 TONS/ACRE UNLESS SOIL TEST INDICATES OTHERWISE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
- B. WORK LINE AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
- C. SEED - PERENNIAL RYEGRASS - 100 lbs/acre;
PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
- D. MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 lbs/1,000 sf; TO BE APPLIED ACCORDING TO NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (i.e. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDING).
- STABILIZATION WITH MULCH ONLY:
- NON-GROWING STABILIZATION MEASURES SHALL BE USED WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION RESISTANT COVER OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED.
- SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 90 TO 115 lbs/1,000 sf; TO BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (i.e. PEG AND TWINE, LIQUID MULCH BINDER, OR MULCH NETTING).

- ### REFERENCE NOTES:
- EXISTING SURVEY AND TOPOGRAPHIC INFORMATION OBTAINED FROM A PLAN TITLED "PARTIAL TOPOGRAPHIC SURVEY SETON HALL, PHASE 2" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. ON 15 DECEMBER 2020.
 - PROPOSED BUILDING FOOTPRINT OBTAINED ELECTRONICALLY FROM CCH ARCHITECTS ON 15 DECEMBER 2020.
 - THE MERIDIAN OF THE SURVEY REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83 (2011).
 - ELEVATIONS SHOWN ARE REFERENCED TO THE PLAN TITLED "UTILITY CLEARANCE SURVEY RESULTS, SETON HALL UNIVERSITY, SOUTH ORANGE, NJ PREPARED BY ENVIROSCAN, INC., DATED AUGUST 8, 2008".

LANGAN

Langan Engineering and Environmental Services, Inc.

300 Kimball Drive
Parsippany, NJ 07054

T: 973.560.4900 F: 973.560.4901 www.langan.com
NJ Certificate of Authorization No. 24G427996400

Signature: *Leonard D. Savino* Date: 12/17/2020

LEONARD D. SAVINO
PROFESSIONAL ENGINEER NJ LIC. No. 39238

| Date | Description | No. |
|------|-------------|-----|
| | Revisions | |

Project: UNIVERSITY CENTER PHASE 2 RENOVATION & ADDITION SETON HALL UNIVERSITY

400 SOUTH ORANGE AVENUE
BLOCK NO. 901, LOT NO. 3
TOWNSHIP OF SOUTH ORANGE VILLAGE
ESSEX COUNTY NEW JERSEY

Drawing Title: SOIL EROSION AND SEDIMENT CONTROL PLAN

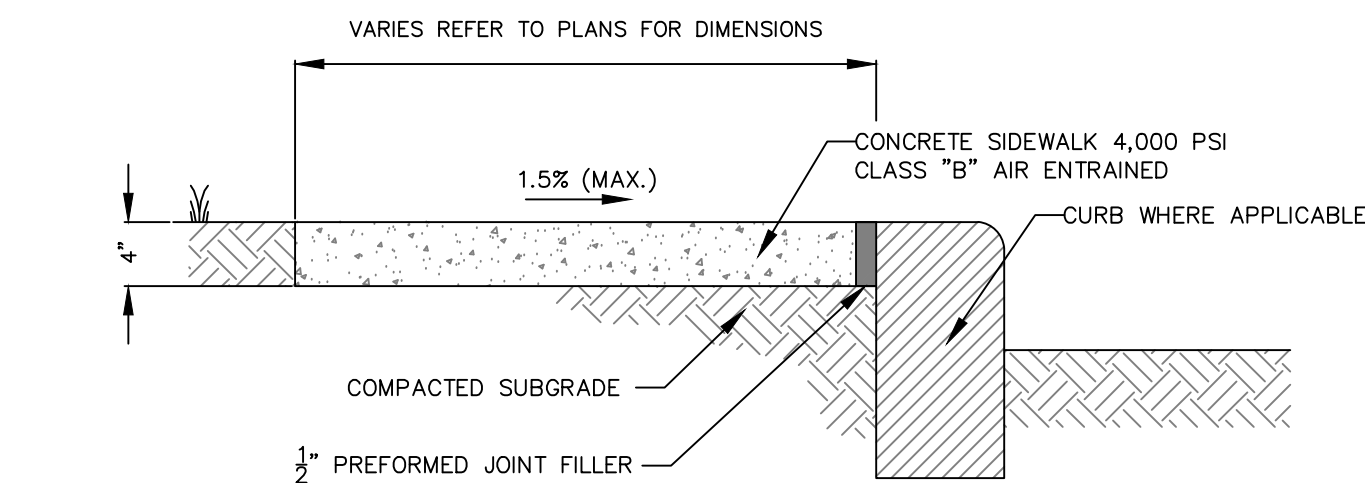
Date: 12/17/2020

Drawn By: BMW

Checked By: JED

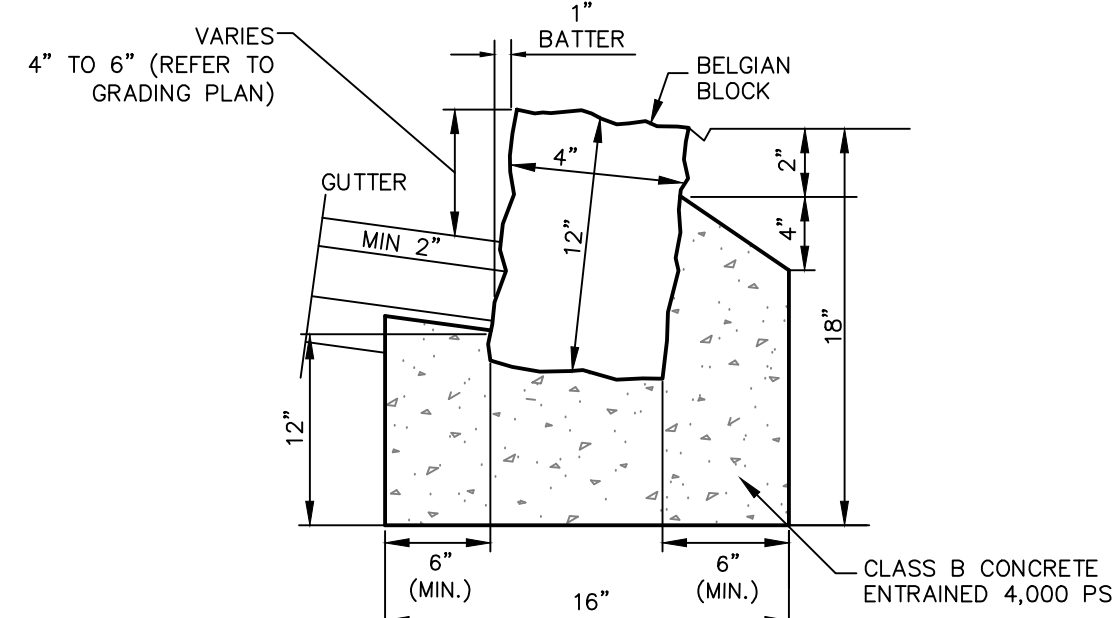
Project No. 100898001

Drawing No. CE101



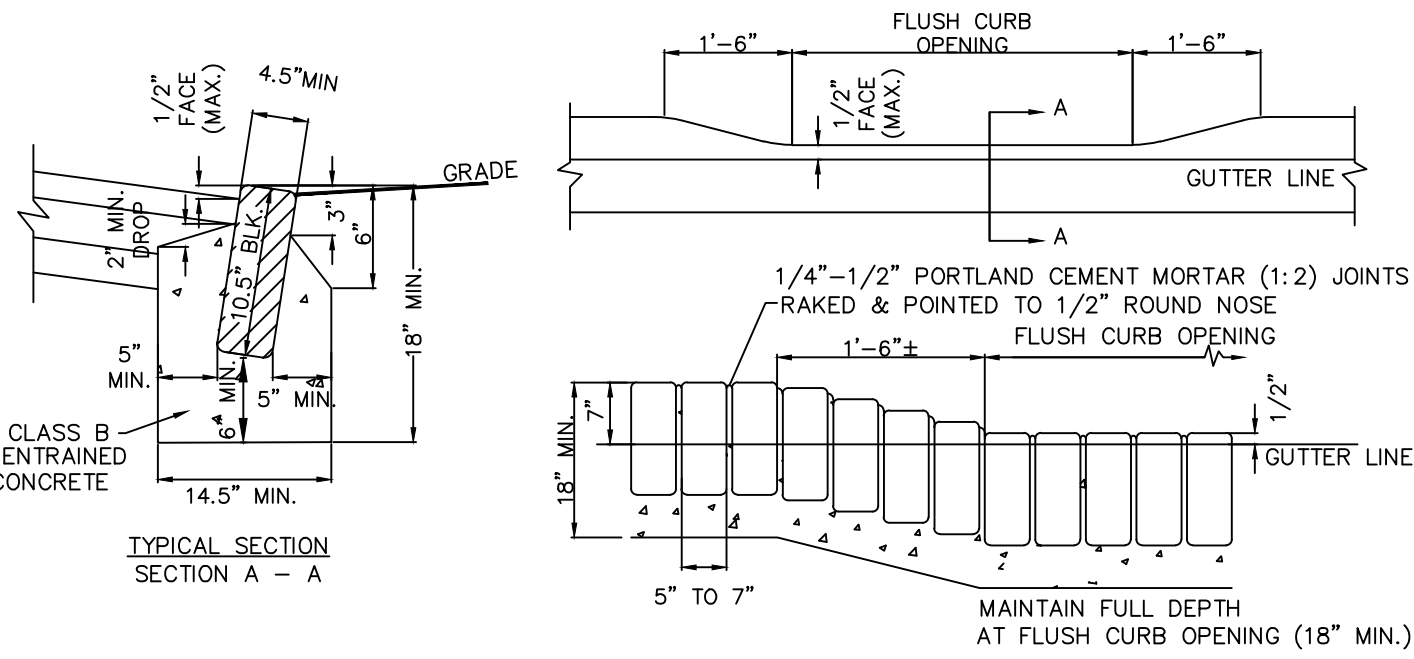
- NOTES:

1. ALL SIDEWALK CONCRETE SHALL BE COLOR SCHOONER BEIGE.
2. THE FORMS AND DIMENSIONS SHALL BE OF STEEL OR WOOD AND OF SUFFICIENT STRENGTH TO RESIST SPRINGING OUT OF SHAPE; DEPTH OF FORMS SHALL BE AT LEAST THE THICKNESS OF CONCRETE AS SPECIFIED ON THIS DRAWING.
3. WALK SHALL BE MONOLITHIC CONSTRUCTION FOUR (4) INCHES THICK. TRANSVERSE SURFACE GROOVES MUST BE PROVIDED FOR AT RIGHT ANGLES TO THE SIDEWALK AND AT INTERVALS EQUAL TO WIDTH OF THE SIDEWALK.
4. AFTER THE CONCRETE IS PLACED, IT SHALL BE TAMPED, SCREEDED AND FINISHED TO TRUE GRADE AND FINISHED WITH A BRUSH SHALL BE FINISHED WITH A WOOD FLOAT, FOLLOWED BY A BRUSHING WITH A WET SOFT HAIR BRUSH TO A NEAT WORKMANLIKE SURFACE.
5. TRANSVERSE EXPANSION JOINTS 1/2" WIDE SHALL BE PROVIDED AT INTERVALS OF NOT LESS THAN 20 FEET AND FILLED WITH PREFORMED BITUMINOUS CELLULAR JOINT FILLER. SCORE LINES SHALL BE EVERY FIVE (5) FEET OR TO MATCH EXISTING ADJACENT SIDEWALK.
6. LONGITUDINAL JOINTS 1/2" WIDE SHALL BE PROVIDED BETWEEN CURBS AND ABUTTING SIDEWALKS AND SHALL BE FILLED WITH PREFORMED BITUMINOUS JOINT FILLER.
7. DRIVEWAY APRON AND SIDEWALK AT DRIVEWAY SHALL BE 4,500 PSI AIR ENTRAINED CONCRETE SIX (6) INCHES THICK.



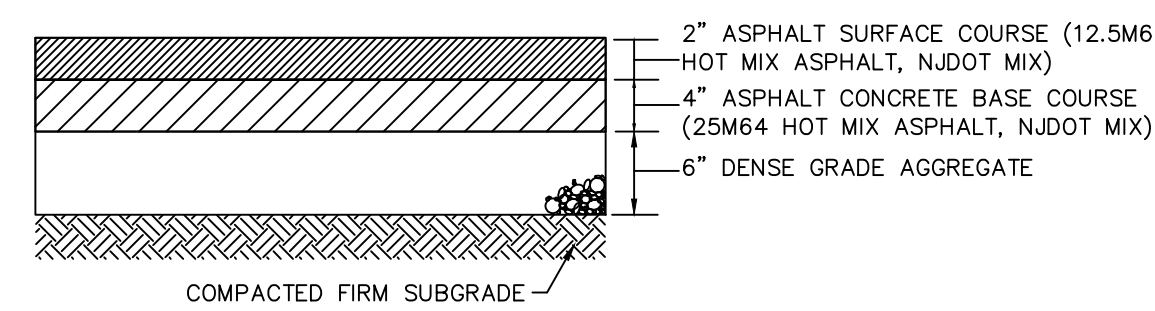
- NOTES:

- NOTES:**
1. ON TRANSITIONS FROM AND TO PROPOSED CURB, USE ONE LARGE BLOCK SLOPED AND CUT TO FIT.
 2. CURB IMMEDIATELY ADJACENT TO INLET CASTING MUST HAVE PREFORMED EXPANSION MATERIAL.
 3. JOINTS MUST BE APPROXIMATELY $\frac{1}{2}$ " TO $\frac{3}{4}$ " WIDE (MAXIMUM) AND POINTED WITH 1:2 CEMENT AND MORTAR.



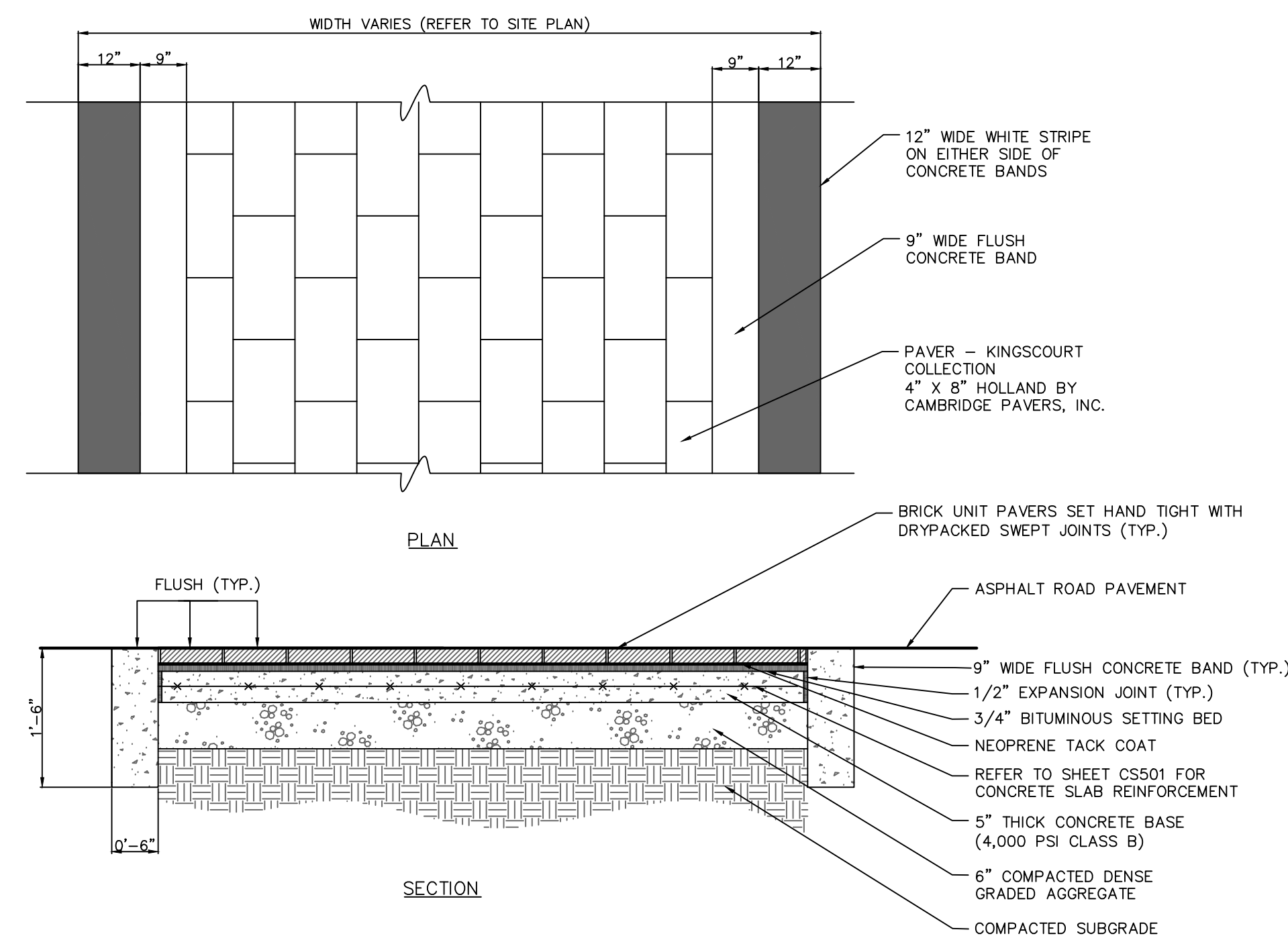
- NOTES:

- NOTES:
1. PROVIDE 1/2" PREFORMED BITUMINOUS FIBER EXPANSION JOINTS, TRIMMED TO CURB SECTION, AT "PC" AND "PI" OF CURB RETURNS AND 20' INTERVALS ELSEWHERE.
 2. ALL BLOCKS SHALL BE CLEAN AND FREE FROM MORTAR, BITUMINOUS MATERIALS OR OTHER SUBSTANCES.
 3. BITUMINOUS MATERIAL, CEMENT OR OTHER SUBSTANCE, DEPOSITED ON BLOCKS DURING OR AFTER CONSTRUCTION SHALL BE REMOVED BY THE DEVELOPER BY SANDBLASTING OR OTHER APPROVED MEANS



- NOTES:

- NOTES:
1. PRIOR TO ANY PAVING ACTIVITIES, THE SUBGRADE OR SUBBASE SHALL BE PROOF ROLLED.
 2. THE SUBCOURSE SHALL BE CONSTRUCTED IN LAYERS NOT LESS THAN 2 INCHES AND NOT MORE THAN 5 INCHES THICK PER LIFT.
 3. ALL AREAS TO BE PAVED SHALL BE PROOFROLLED WITH AT LEAST 4 PASSES OF EITHER A SMOOTH ROLLER HAVING A MINIMUM STATIC DRUM WEIGHT OF 5-TONS OR A FULLY LOADED TANDEM DRUM TRUCK. ANY SOFT AREAS SHALL BE REMOVED AND REPLACED WITH CLEAN, GRANULAR, FREE-DRAINING SOIL. FILL SHALL BE CURED IN LOOSE LIFTS NOT TO EXCEED 12-INCHES AND SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.



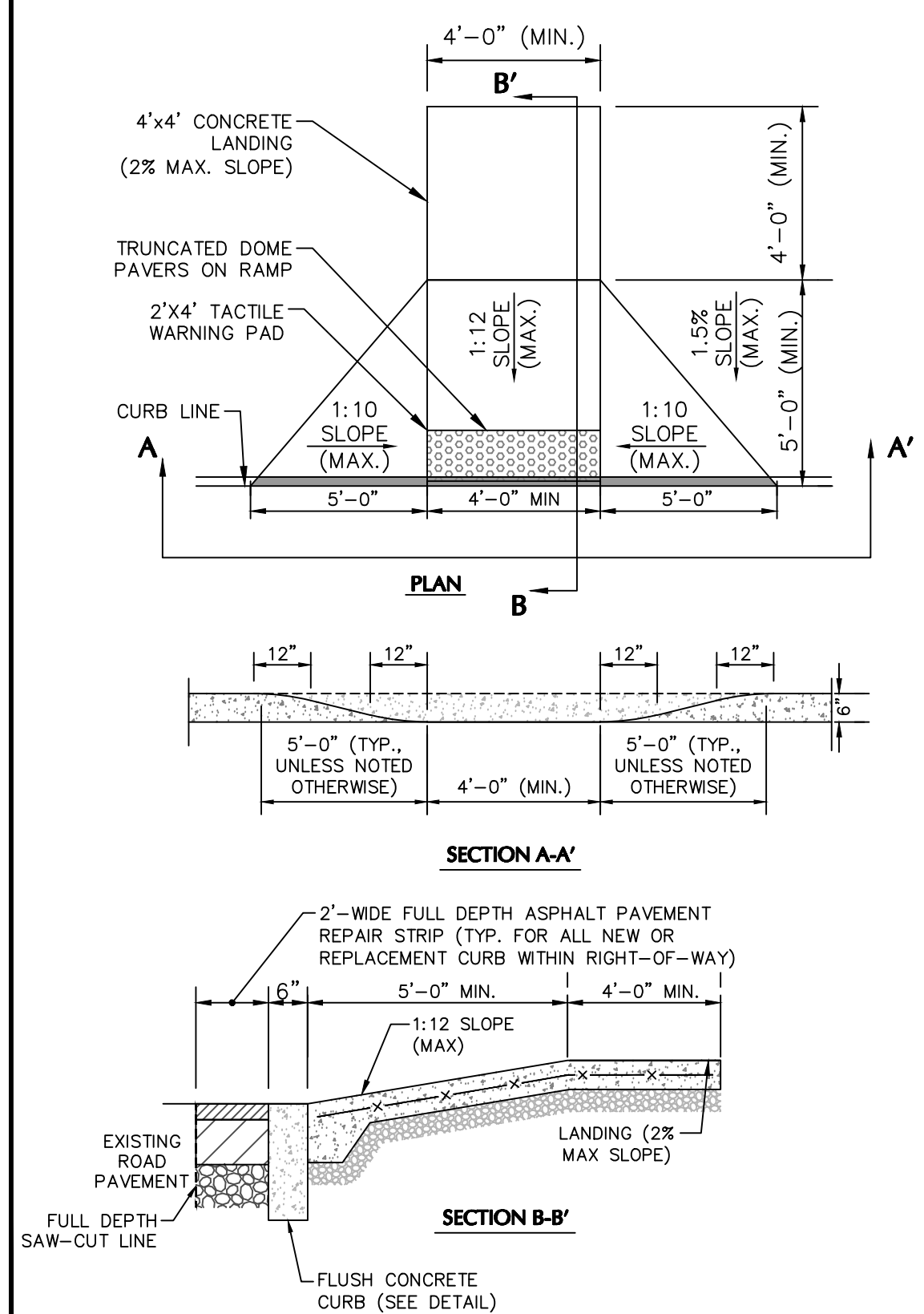
CONCRETE SIDEWALK



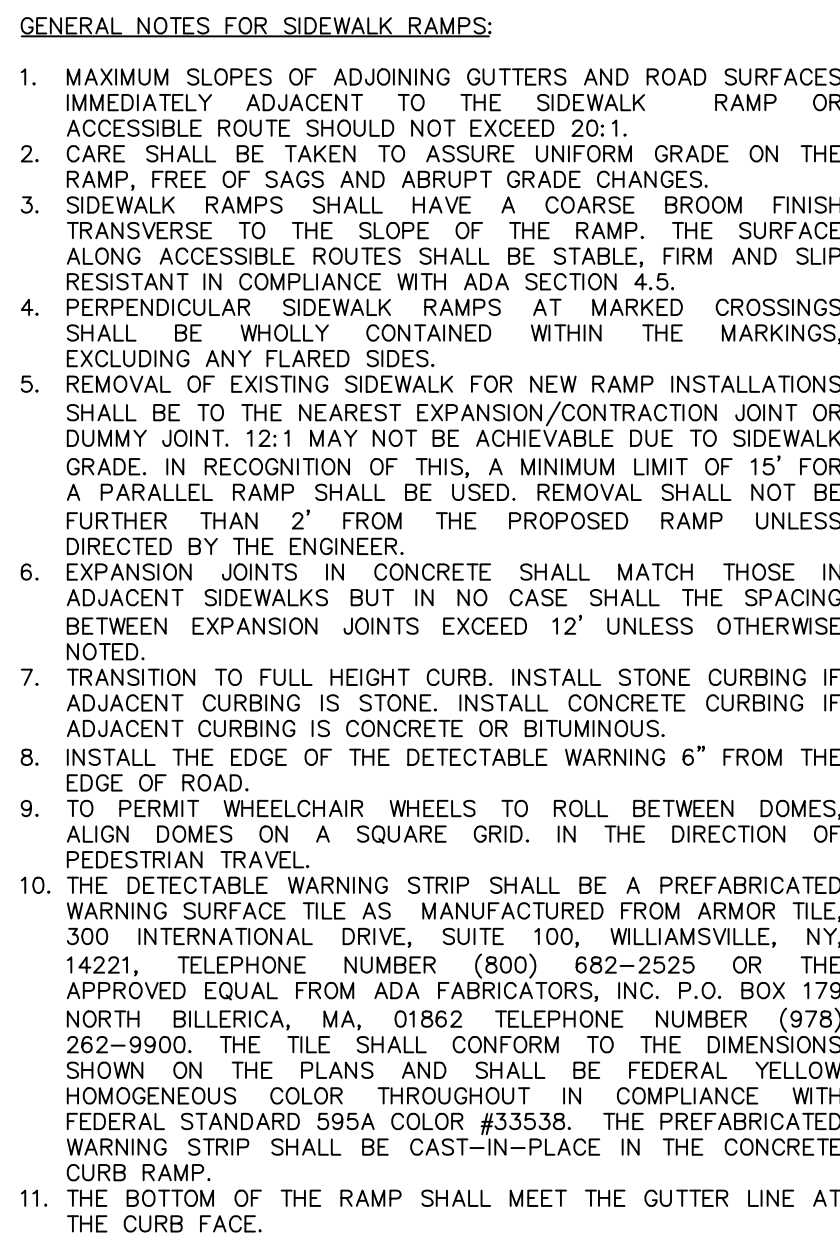
FLUSH BELGIAN BLOCK CURB

ASPHALT PAVEMENT

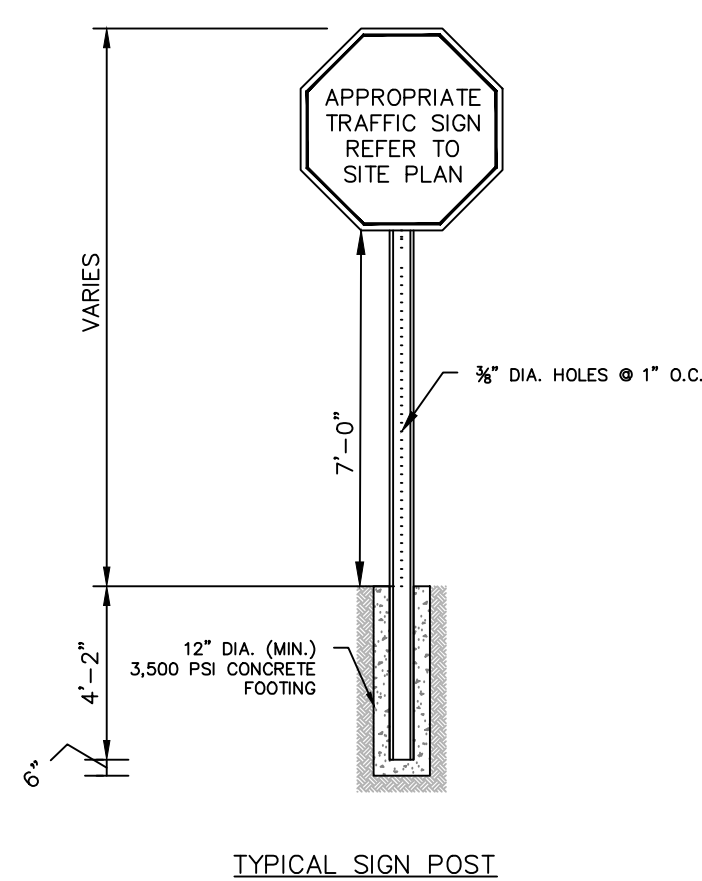
BRICK UNIT PAVER CROSSWALK



FLUSH ACCESSIBLE CONCRETE CURB RAMP

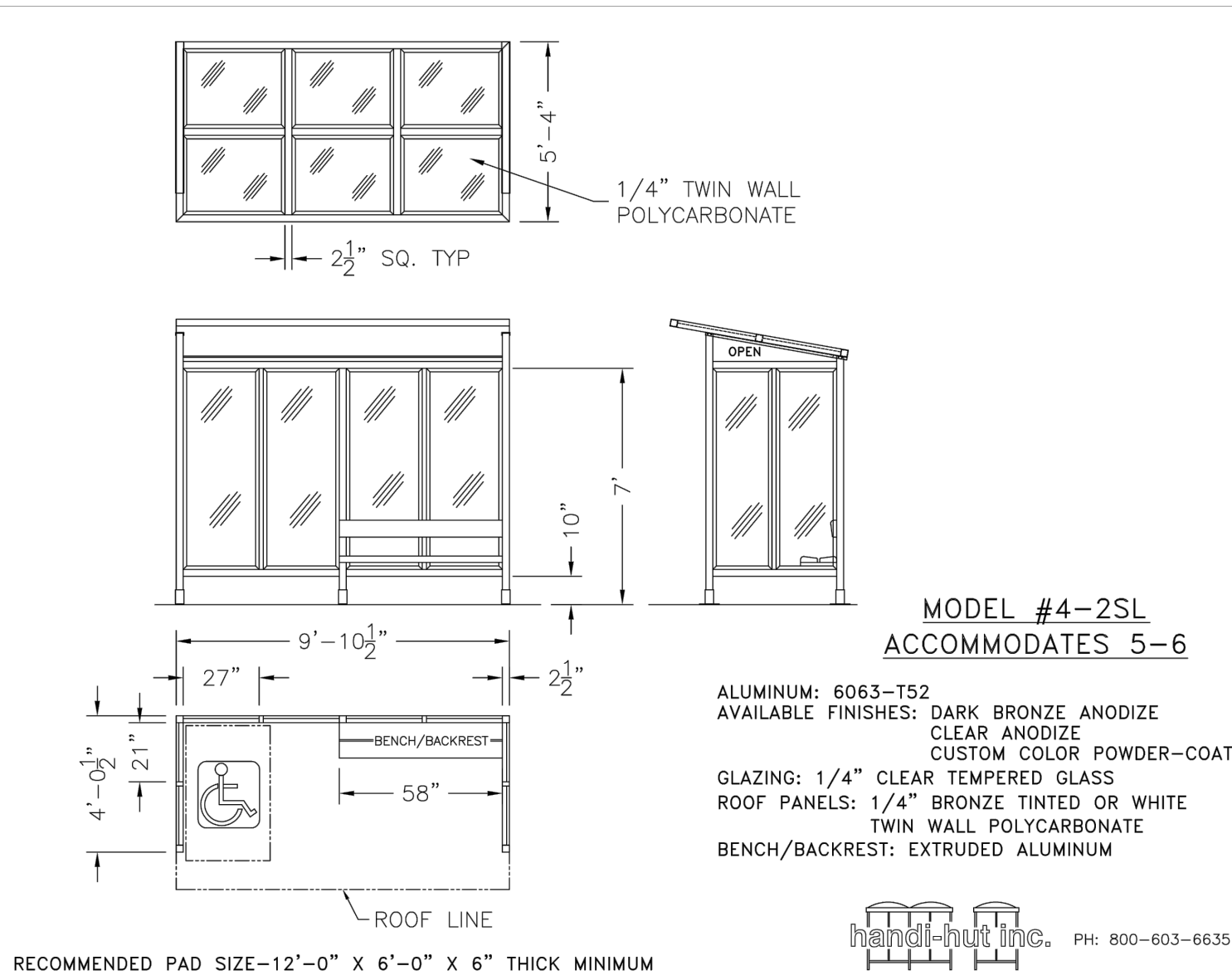


TRAFFIC SIGN POST

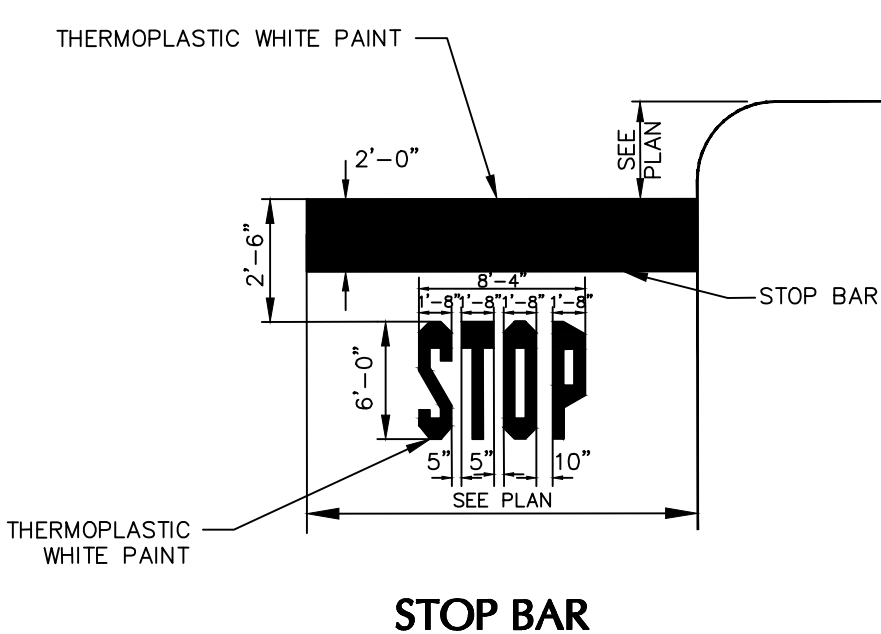


- NOTES:

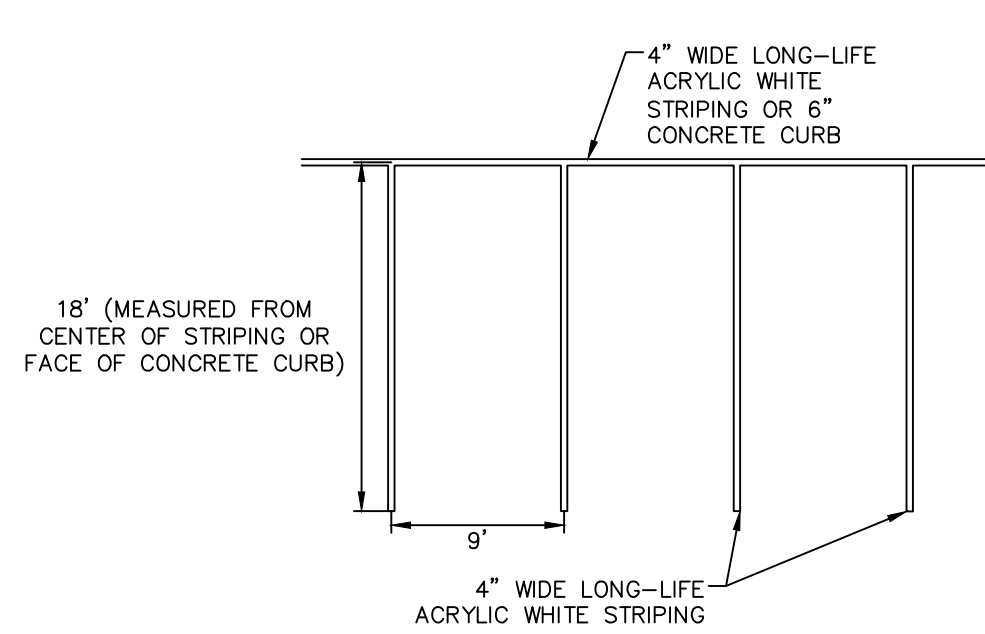
- NOTES:**
- TYPICAL SIGN POST**
1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
2. ALL POSTS SHALL BE ERECTED 4'-2" MINIMUM BELOW THE TOP OF THE SIGN.
3. ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE INSTALLATION. ALL STEEL SHALL BE CONFORMANT WITH CURRENT A.S.T.M. SPECIFICATION A153-78 (OR LATEST REVISION).
4. POSTS SHALL BE STEEL, ALUMINUM, OR TWO-PIECE U-POST.
5. ALL POSTS SHALL BE IDENTIFIED BY THE FOLLOWING POST TYPE AND NUMBERS AS SHOWN ON THIS DETAIL AND SITE PLAN.
6. SIGN SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.
7. ALL PEDESTRIAN SIGNAGE AND LOCATION SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND ALL CURRENT AMENDMENTS.
8. EDGE OF SIGNS SHALL BE PLACED A MINIMUM OF 2 FEET FROM EDGE OF SIGN PANEL TO CURB OR SIDEWALK.



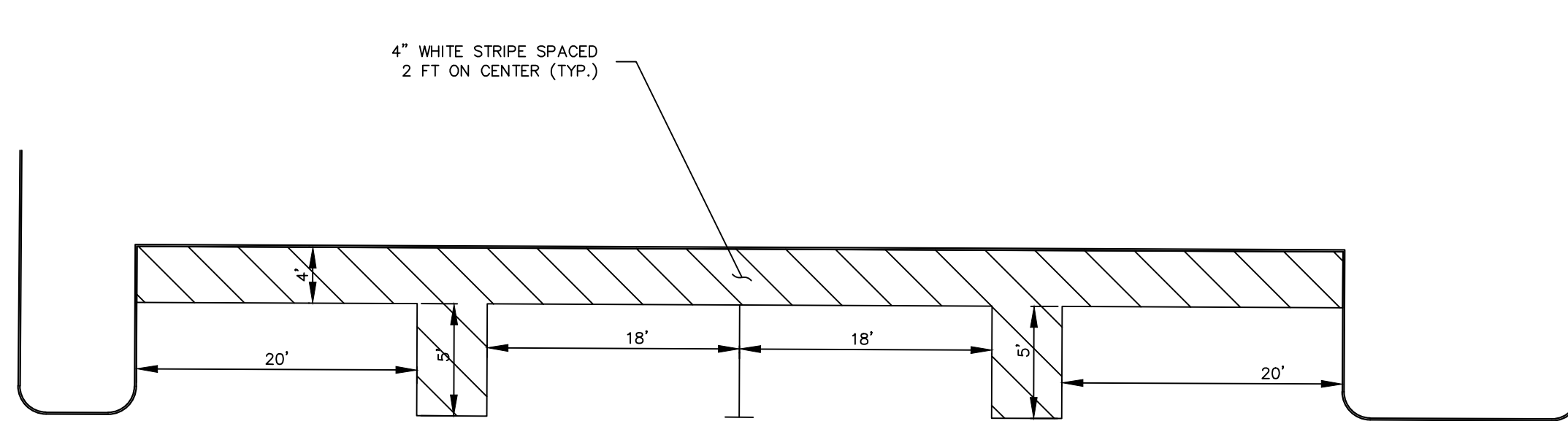
SHUTTLE BUS SHELTER



STOP BAR STRIPING



STANDARD CAR PARKING STRIPING



PARALLEL PARKING STRIPING

| Date | Description | No. |
|-----------|-------------|-----|
| Revisions | | |

Signature Leonard D. Savino Date 12/17/2020

LEONARD D. SAVINO
PROFESSIONAL ENGINEER NJ LIC. No. 39238

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NJ Certificate of Authorization No. 24GA27996400

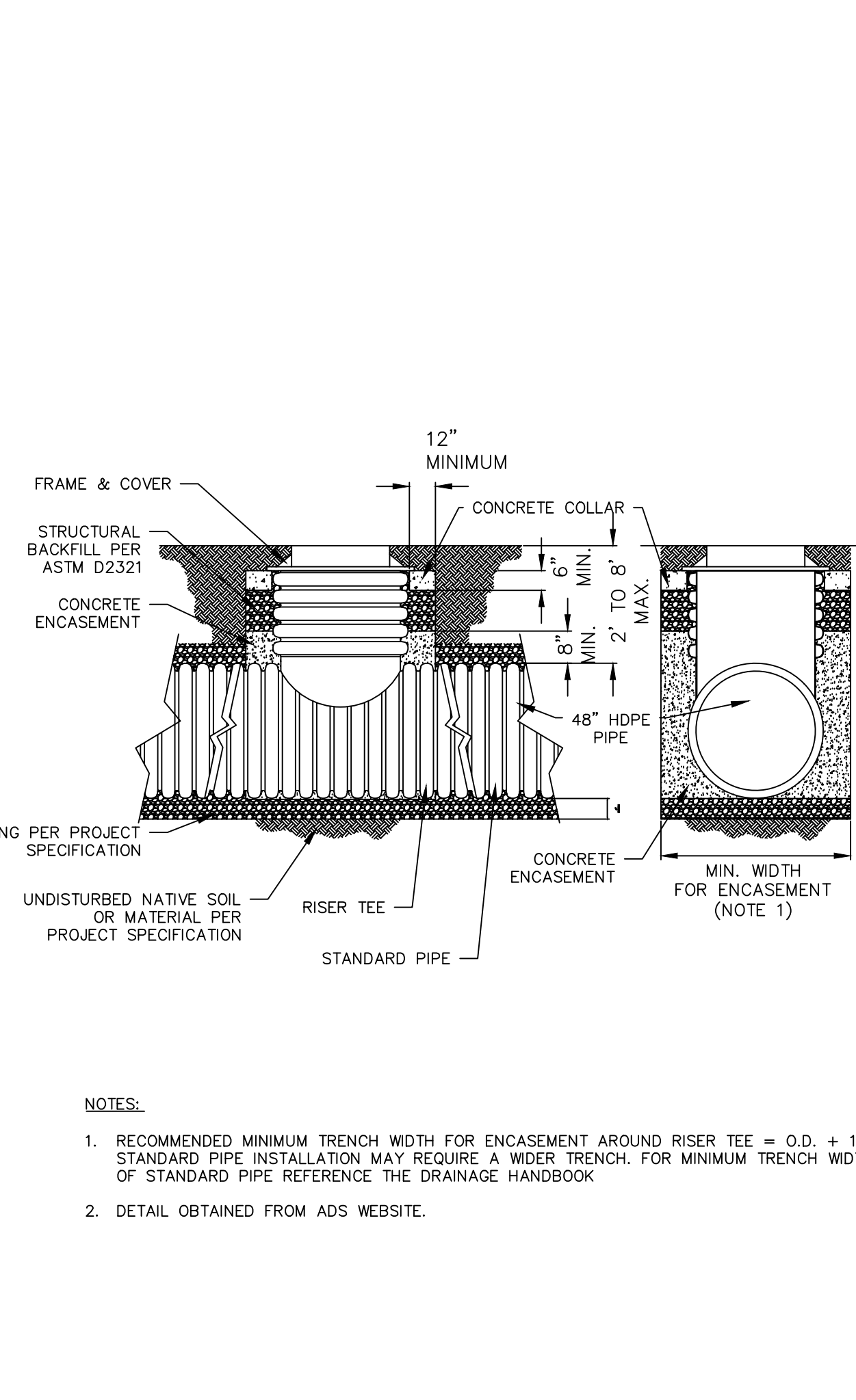
Project
**UNIVERSITY CENTER PHASE 2
RENOVATION & ADDITION
SETON HALL UNIVERSITY**
400 SOUTH ORANGE AVENUE
BLOCK NO. 901, LOT No. 3
TOWNSHIP OF SOUTH ORANGE VILLAGE
ESSEX COUNTY NEW JERSEY

2 Drawing Title

CONSTRUCTION DETAILS I

| | |
|-------------|------------|
| Project No. | 100898001 |
| Date | 12/17/2020 |
| Drawn By | BMW |
| Checked By | IFD |

CS501



Z158

**10" [254] SQUARE TOP PROM-DECK DRAIN
W/ HEEL-PROTE GRATE & ROTATABLE FRAME**

SPECIFICATION SHEET

TAG _____

Dimensional Data (inches and [mm]) are Subject to Manufacturing Tolerances and Change Without Notice

| A | Approx. Wt. Lbs. | Grate Open Area Sq. In. [cm ²] |
|-----------------------|---------------------|--|
| Size Inlet In. [mm] | | |
| 2, 3, 4 [51, 76, 102] | 20 [9] | 21 [156] |

ENGINEERING SPECIFICATION: ZURN Z158

10" [254mm] Square Top Prom-Deck Drain, Dura-Coated cast iron body with rotatable square promenade frame with weepage openings, frame clamps and light duty heel-prot-grate.

OPTIONS (Check/specify appropriate options)

PIPE SIZE

| |
|-----------------------|
| 3, 4 [76, 102] |
| 4 [102] |
| 3 [76] |
| 2 [51] |
| 2, 3, 4 [51, 76, 102] |
| 2, 3, 4 [51, 76, 102] |

(Specify size/type) OUTLET

| | | |
|-----|----|--------------|
| ___ | IC | Inside Caulk |
| ___ | IP | Threaded |
| ___ | IP | Threaded |
| ___ | IP | Threaded |
| ___ | NH | No-Hub |
| ___ | NL | Neo-Loc |

E' BODY HT. DIM.

| |
|--------------|
| 3-7/8 [98] |
| 3 [76] |
| 2-3/4 [70] |
| 2-7/16 [62] |
| 4 [102] |
| 3-13/16 [97] |

PREFIXES

| | |
|--------|--|
| ___ Z | D.C.C.I. Body with Top* |
| ___ ZB | D.C.C.I. Body with Polished Bronze Top (Add 3/16 [5] to 2-1/4 [57] Dim & 5/8 [16] to 10 [254] Dim.) |
| ___ ZC | D.C.C.I. Body with Polished Nickel Bronze Top (Add 3/16 [5] to 2-1/4 [57] Dim & 5/8 [16] to 10 [254] Dim.) |

SUFFIXES

| | | | |
|---------|--|---|--------------------------------------|
| ___ -AR | Acid Resistant Epoxy Coated Finish | ___ -TC | Neo-Loc Test Cap Gasket |
| ___ -C | Underdrat Clamp | ___ (2, 3, 4 [51, 76, 102] NL Bottom Outlet only) | |
| ___ -DG | Durestalt Grate | ___ -TS | Top Secured with Slotted Screws |
| ___ -DP | Top-Set® Roof Deck Plate | ___ -VP | Vandal-Proof Secured Top |
| ___ -E | 2 1/2" High Static Extension | ___ -Y | Sediment Bucket |
| ___ -EB | Top-Set® Adjustable Extension Assembly | ___ -85 | Stainless Steel Perforated Extension |
| ___ -G | Galvanized Cast Iron | ___ -90 | 90° Threaded Side Outlet Body |
| ___ -SC | Secondary Clamp Collar | ___ (2, 3, 4 [51, 76, 102]) | |

* Regularly furnished unless otherwise specified.

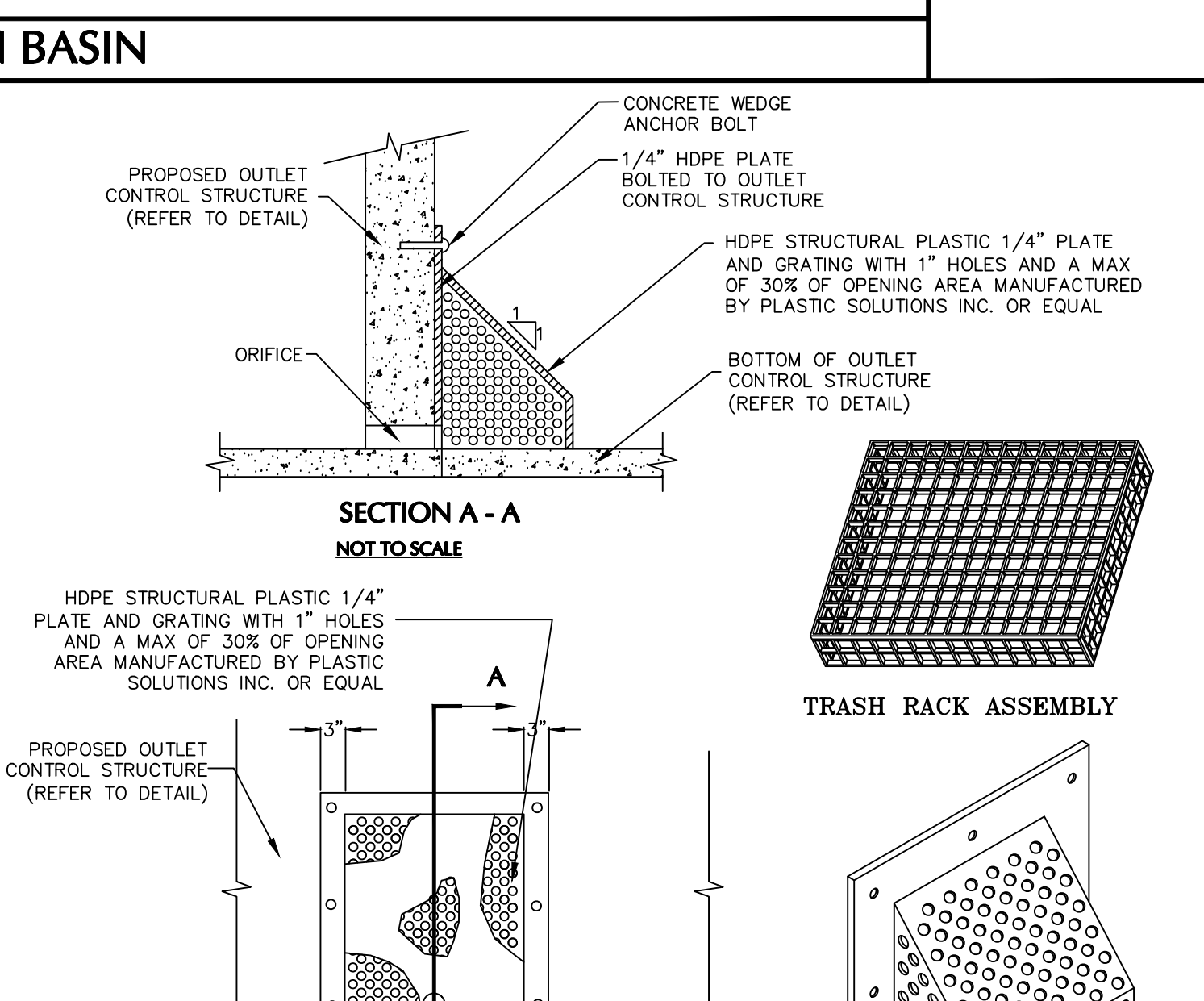
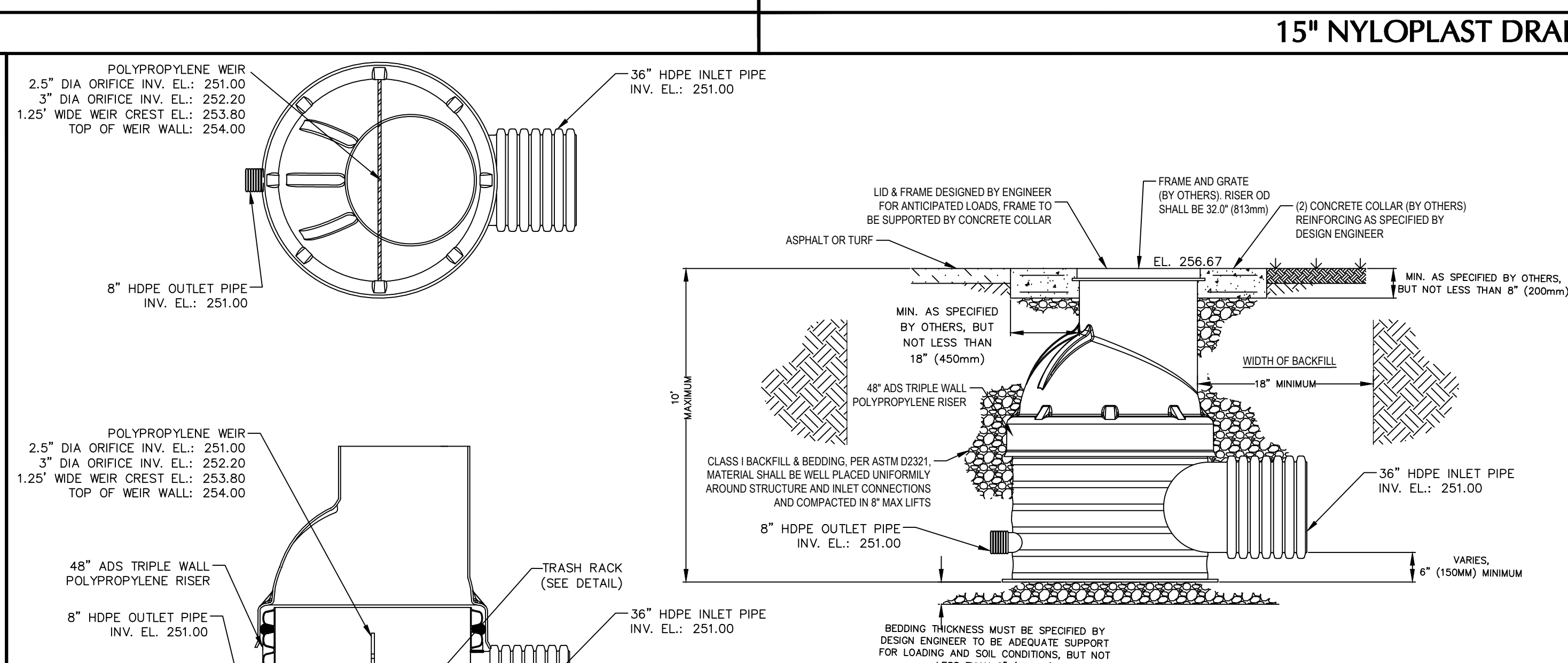
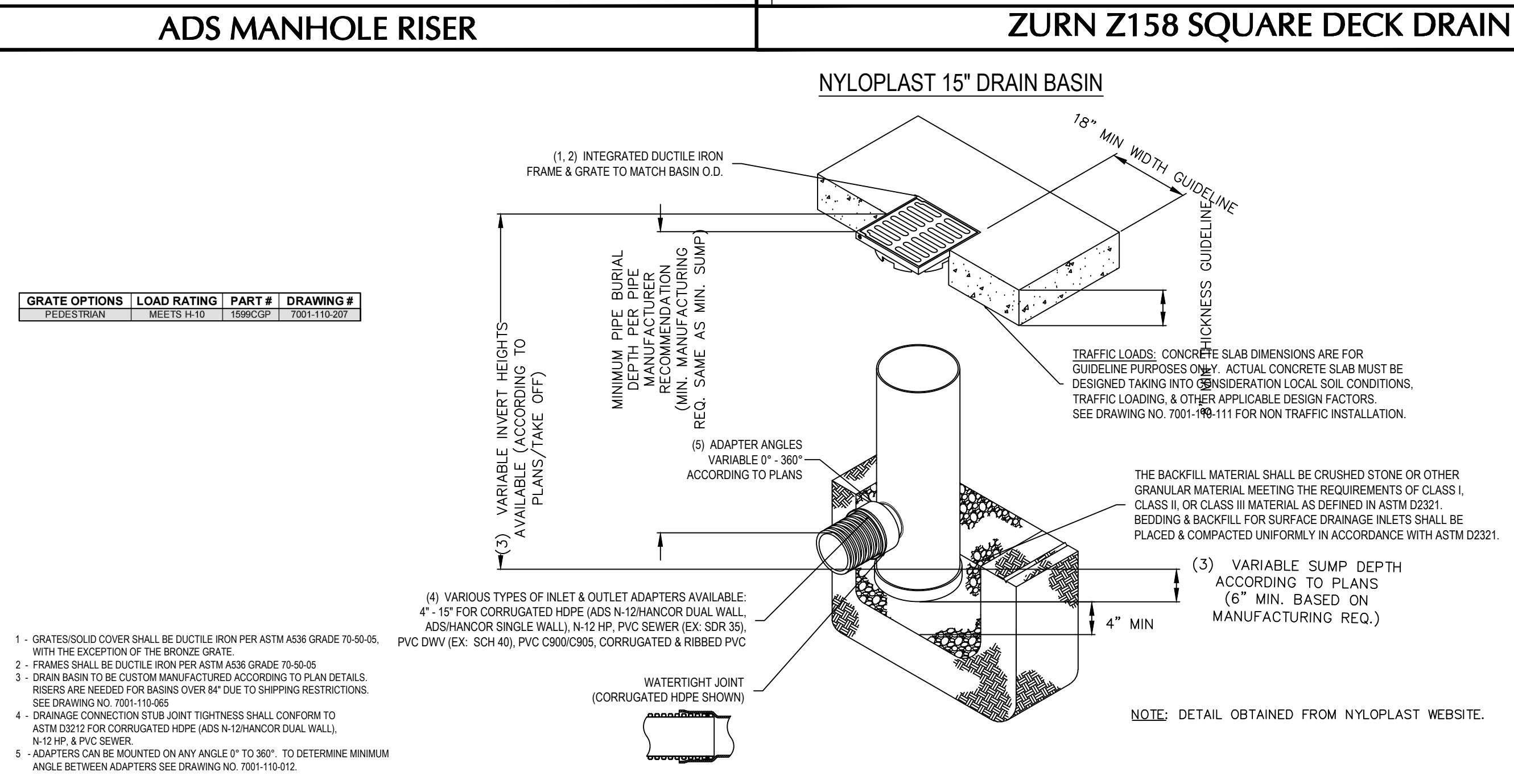
Note: DP and 90 option can not be specified together.

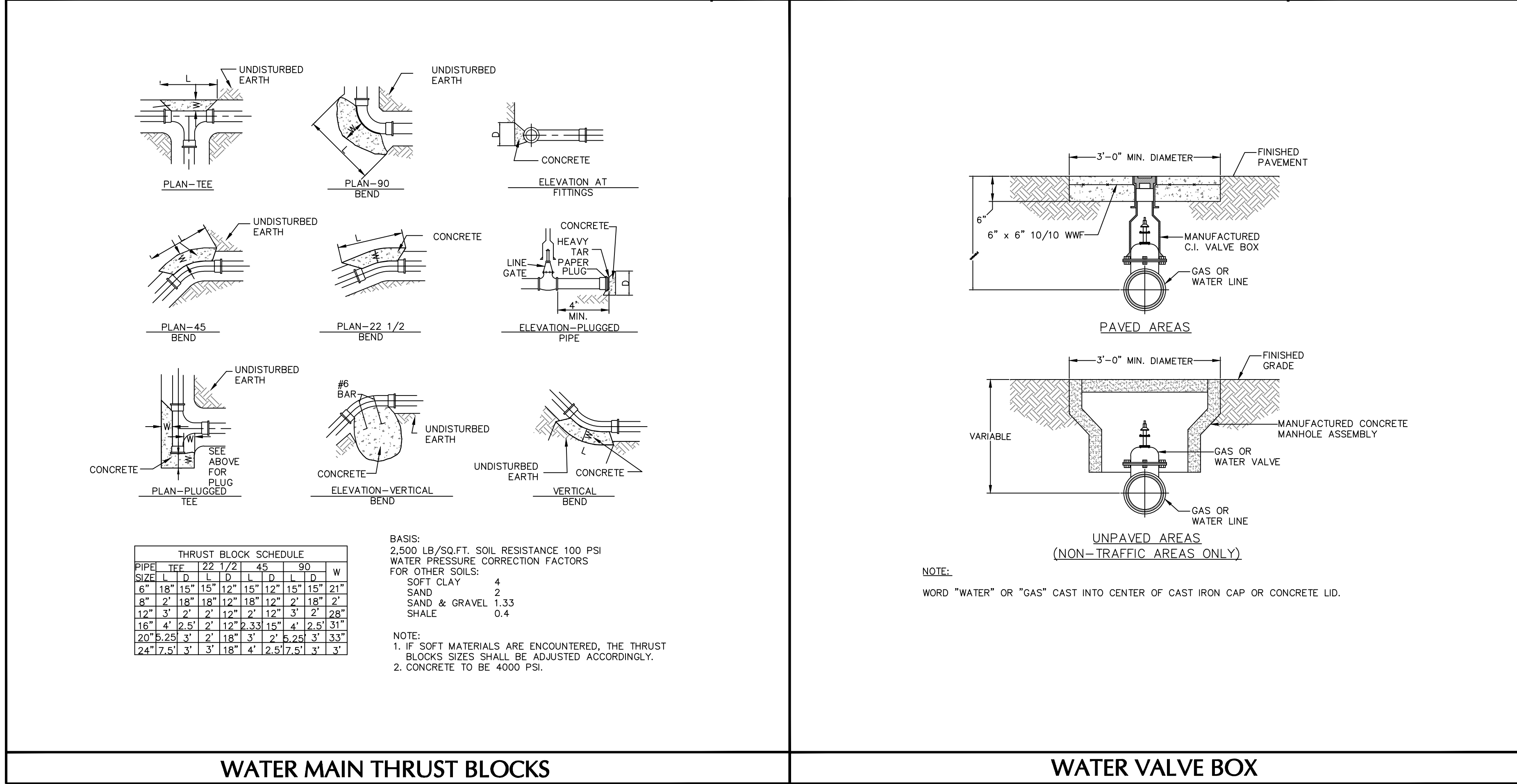
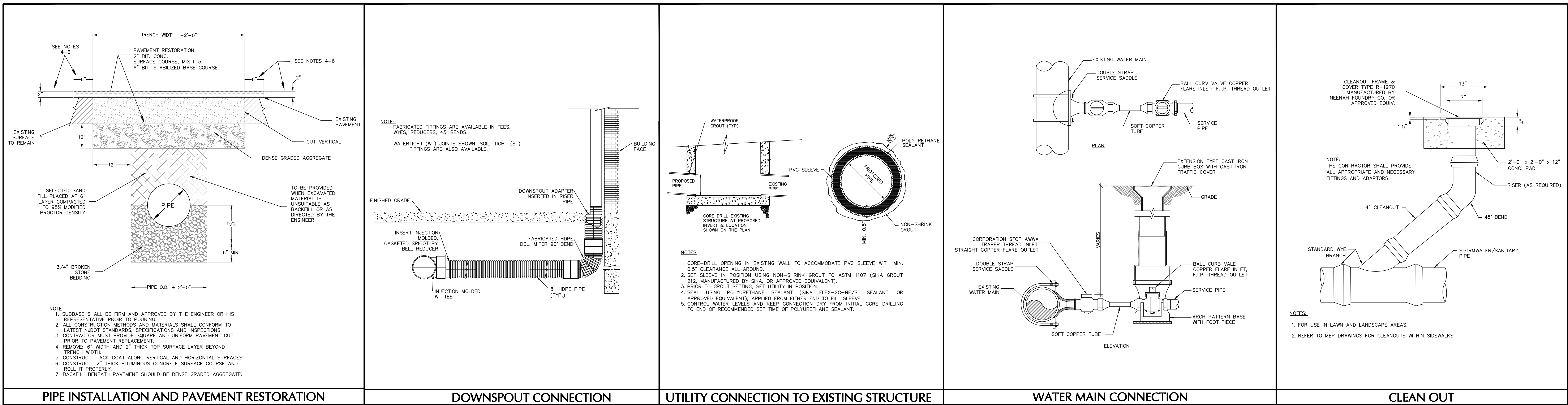
Zurn Industries, LLC | Specification Drainage Operation
1801 Plymouth Avenue, Erie, PA U.S.A. 16502 | Pn. 855-663-9876, Fax 814-554-7929

In Canada | Zurn Industries Limited
3544 Nesham Drive, Mississauga, Ontario L4V 1L2 | Pn. 905-405-8272, Fax 905-405-1292

Rev. L
Date: 09/25/2017
C.N. No. 137806
Prod. | Dwg. No. Z158

www.zurn.com





WATER MAIN THRUST BLOCKS

WATER VALVE BOX