

TOWNSHIP OF SOUTH ORANGE VILLAGE, ESSEX COUNTY, NEW JERSEY

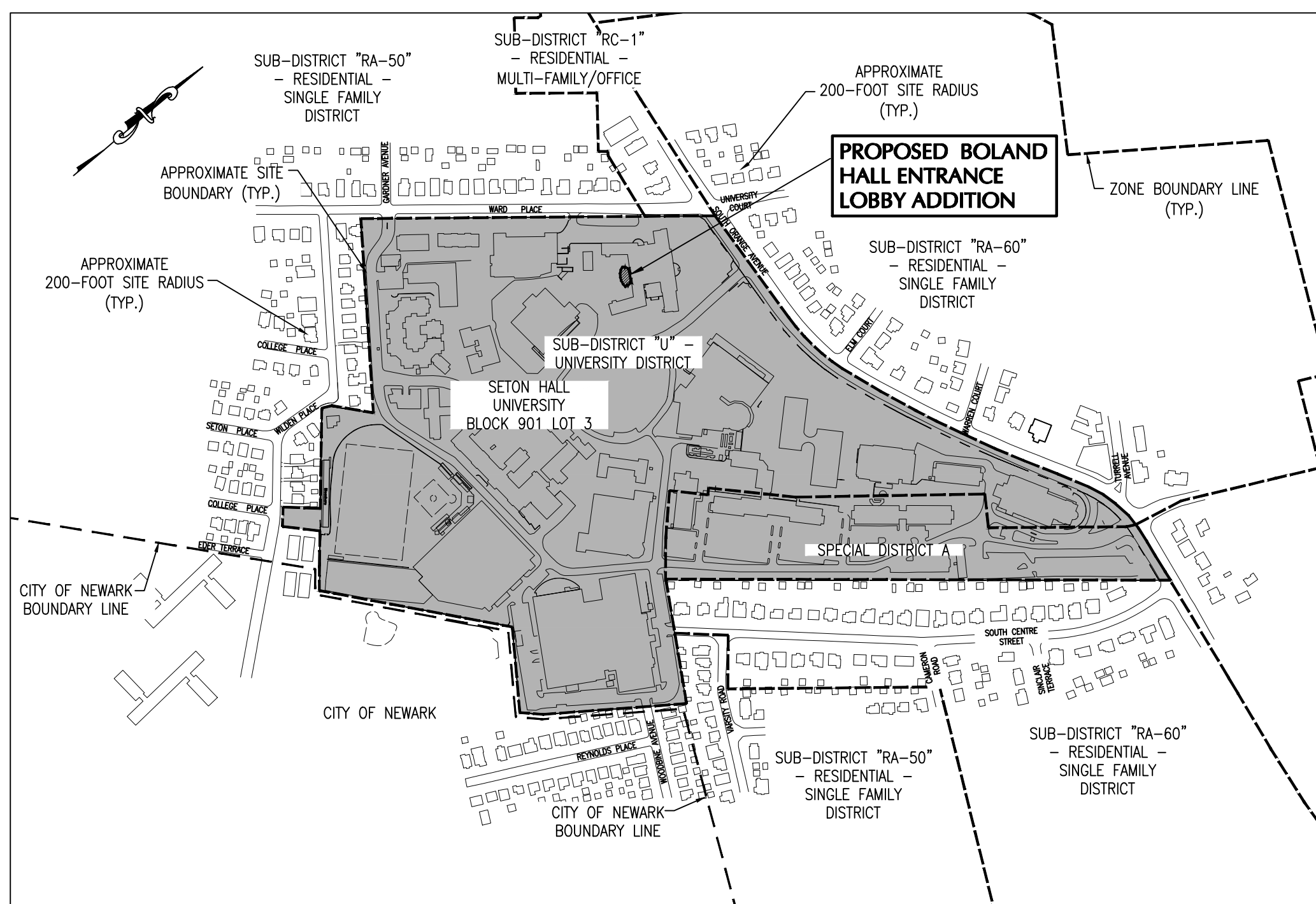
SETON HALL UNIVERSITY
400 SOUTH ORANGE AVENUE
TOWNSHIP OF SOUTH ORANGE, ESSEX COUNTY, NEW JERSEY 07079.
(973) 761-9615

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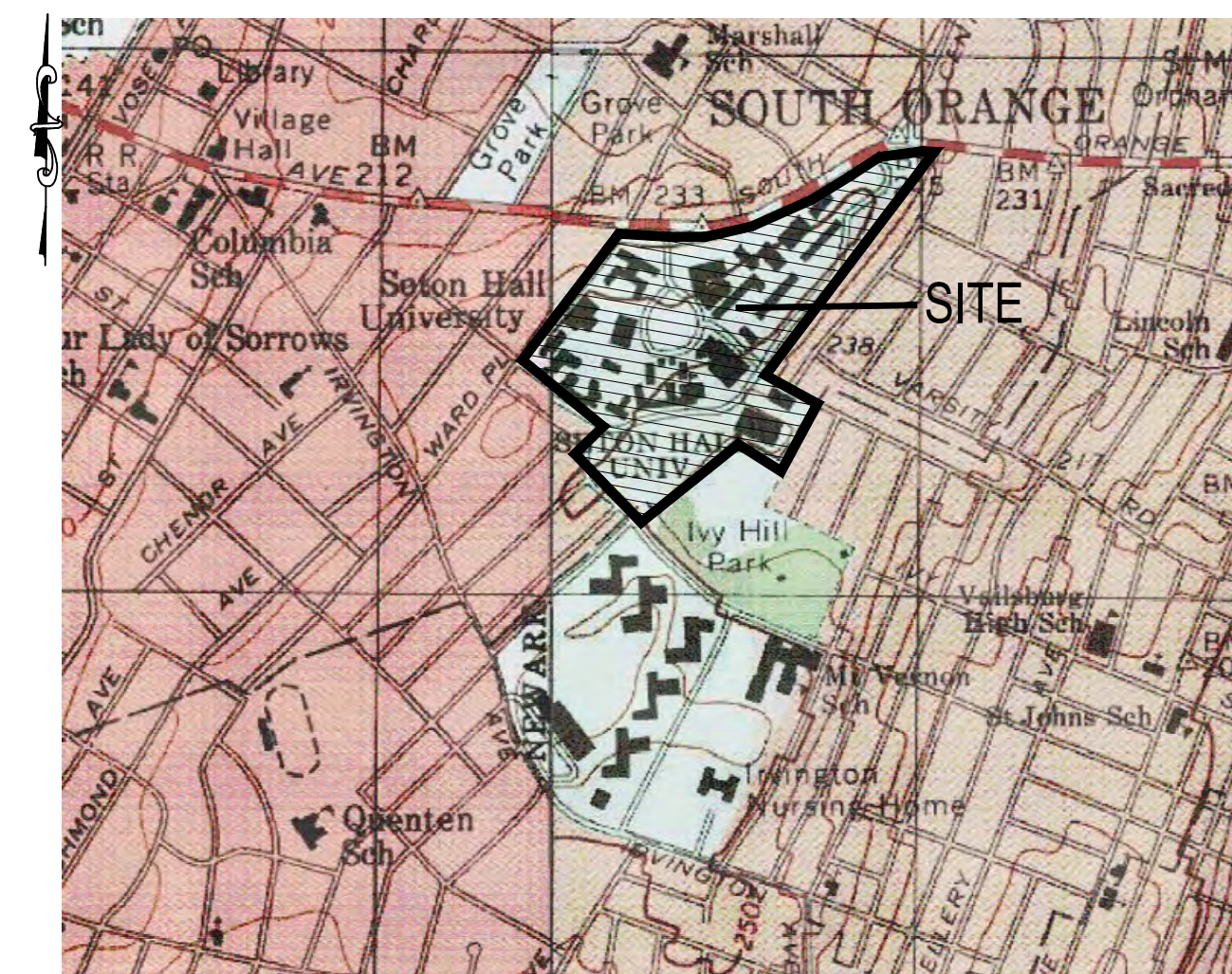
PROPERTY KNOWN AS PORTION OF TAX LOT 3, BLOCK 901 AS SHOWN ON THE CURRENT TAX MAP OF THE TOWNSHIP OF SOUTH ORANGE, ESSEX COUNTY, NEW JERSEY.

TOPOGRAPHIC & BOUNDARY INFORMATION PERTAINING TO SAID SITE WAS OBTAINED FROM DRAWING
PREPARED BY DPK CONSULTING LLC., 220 OLD NEW BRUNSWICK RD-STE. 201, PISCATAWAY, NJ 08854,
TEL# 732-764-0100, FAX# 732-764-0990. SIGNED BY JAMES J. HEISER PLS, LIC. NO. 24GS04331100
(DATED 08/24/2020)

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INGLESINO, WEBSTER, WYCISKALA & TAYLOR, LLC
600 PARSIPPANY RD #204, PARSIPPANY, NJ 07054
TEL: 973-947-7111, FAX: 973-887-2700

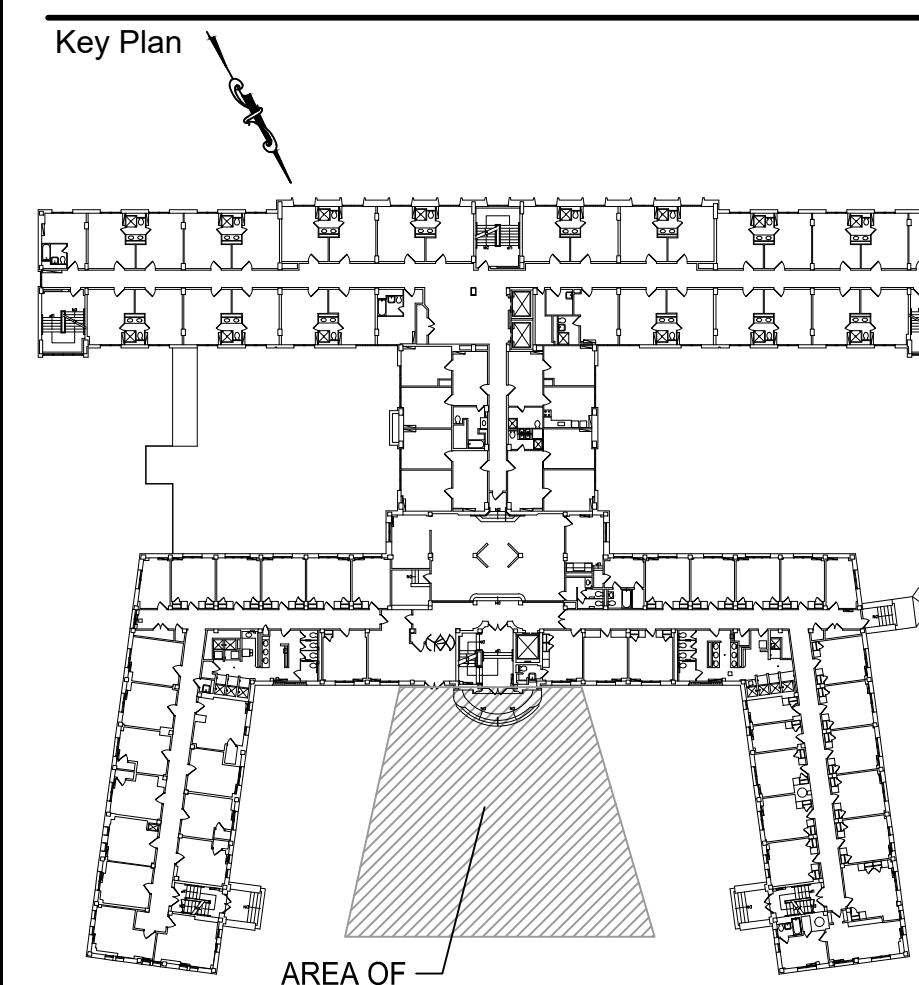


KEY MAP
SCALE: 1"=400'



SITE LOCATION

S C A L E : 1"=1000'



Consultants



PROPOSED BOLAND HALL ENTRANCE LOBBY ADDITION RENDERING



EXISTING BOLAND HALL BUILDING ENTRANCE

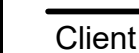


Revisions		
Date	Issue	Description
11-02-20	A	FOR CLIENT'S REVIEW
11-16-20	B	PROGRESS PRINTS ISSUED FOR SHU REVIEW
11-24-20	C	REVISED PER CLIENT'S COMMENTS
12-08-20	D	FOR PLANNING BOARD FILING AND APPROVAL

Project

SETON HALL UNIVERSITY
BOLAND HALL
ENTRANCE LOBBY ADDITION

400 SOUTH ORANGE AVENUE
BLOCK No. 901 LOT No. 3
SOUTH ORANGE, NEW JERSEY 07079
PHONE: (973) 761-9000



SETON HALL UNIVERSITY
400 SOUTH ORANGE AVENUE
SOUTH ORANGE, NEW JERSEY
PHONE: (973) 761-9000



Architects & Engineers, PC

1 PARAGON DRIVE • MONTVALE • NEW JERSEY, 07043
TEL: 201.573.1767 FAX: 201.573.0808 www.sms-arch-eng.com

John M. Lignos, AIA	☐
Lorin J. Sonenshine, AIA	☐
Steven Napolitano, PE	☒
Robert G. Nocella, AIA	☐

Stenica Napolitana

Cert./Lic. No. 41969

Date 10-12-

Drawn By AS

Dwg. Title

SITE PLAN
TITLE SHEET

Work Order No. _____

Dwg. No.

5361

$$Y = (C)$$

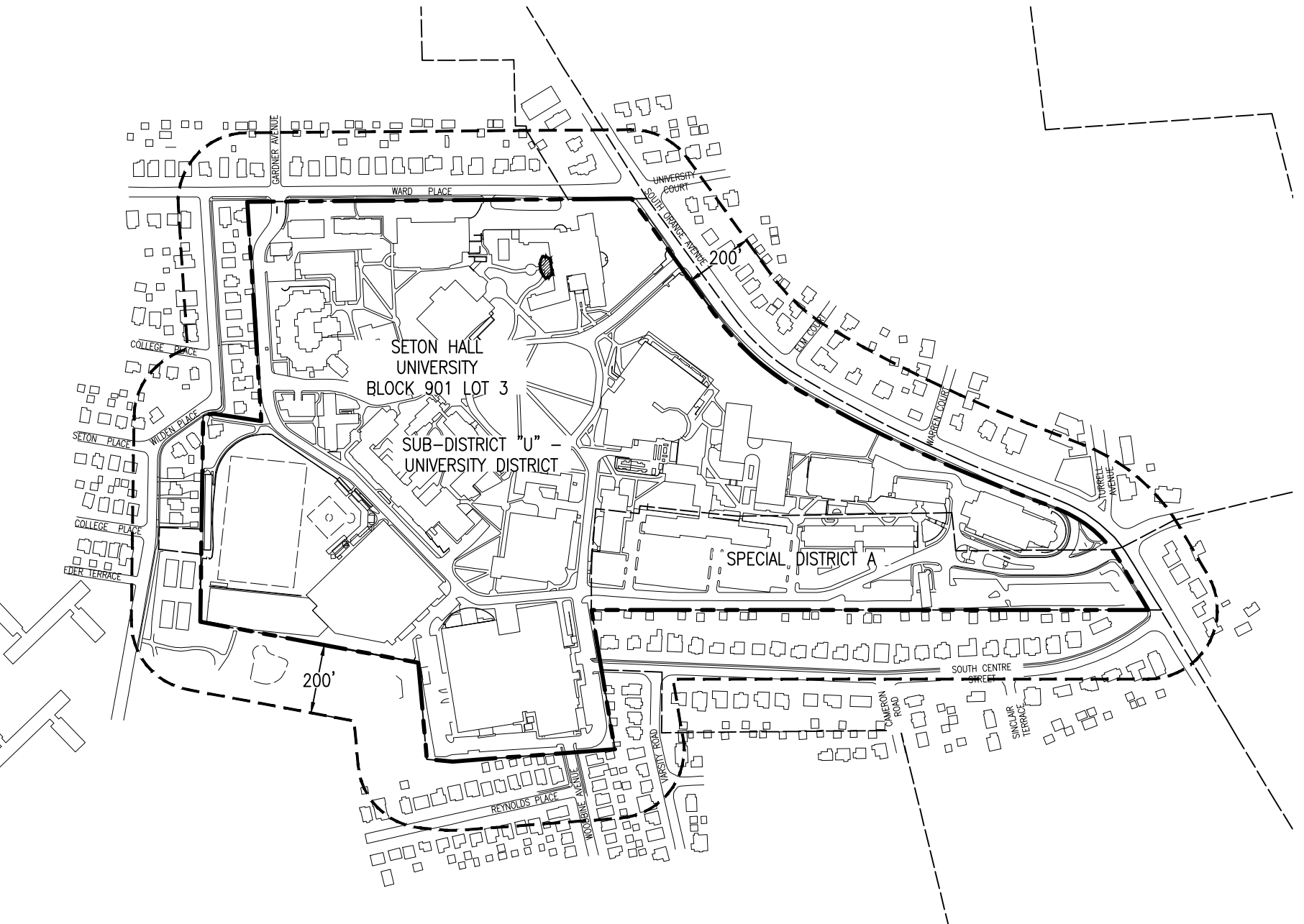
ZONING ANALYSIS

LIMITING SCHEDULE					
TOWNSHIP OF SOUTH ORANGE VILLAGE					
UNIVERSITY ZONING DISTRICT (U)					
REGULATION	SECTION	AS PER ZONING	EXISTING (BOLAND HALL)	PROPOSED (BOLAND HALL ADDITION)	VARIANCE OR WAIVER REQUIRED
MINIMUM LOT REQUIREMENTS					
LOT AREA	§ 185 ATTACHMENT 3 (SCHEDULE 2)	50 AC	2,481,216 SF (56.96 AC)	NO CHANGE	NO
LOT WIDTH	§ 185 ATTACHMENT 3 (SCHEDULE 2)	-	1,550 FT	N/A	NO
MINIMUM YARD REQUIREMENTS					
FRONT YARD	§ 185 ATTACHMENT 3 (SCHEDULE 2)	30 FT (FROM ALL PROPERTY BOUNDARIES)	40.4 FT (FROM WARD PLACE) 293 FT (FROM SOUTH ORANGE AVENUE)	NO CHANGE (164 FT ADDITION) NO CHANGE (293 FT ADDITION)	NO
SIDE YARD (EACH)	§ 185 ATTACHMENT 3 (SCHEDULE 2)	30 FT (FROM ALL PROPERTY BOUNDARIES)	777.4 FT & 875.8 FT	NO CHANGE (834 FT & 971 FT ADDITION)	NO
REAR YARD	§ 185 ATTACHMENT 3 (SCHEDULE 2)	30 FT (FROM ALL PROPERTY BOUNDARIES)	997.5 FT	NO CHANGE (1,065 FT ADDITION)	NO
MAXIMUM LOT COVERAGE	§ 185 ATTACHMENT 3 (SCHEDULE 2)	30% (MAXIMUM BUILDING COVERAGE)	28.52%	28.59%	NO
MINIMUM BUILDING HEIGHT - STORIES FEET	§ 185 ATTACHMENT 3 (SCHEDULE 2)	-	6 STORIES	1 STORY LOBBY ADDITION 12.58'	NO
		30 FT (PLUS 1.5 FEET OF HEIGHT FOR EVERY ADDITIONAL ONE-FOOT INCREASE IN BUILDING SETBACK. IN NO CASE SHALL THE MAXIMUM HEIGHT EXCEED 75 FEET) = 45 FT			
MINIMUM FLOOR AREA RATIO	§ 185 ATTACHMENT 3 (SCHEDULE 2)	0.65	0.533	0.533 (+1,628 SF)	NO
PARKING SPACES	§ 185-174 A. (SCHEDULE 3)	0.25 SPACE FOR EACH FULL- AND PART-TIME STUDENT AND FULL- AND PART-TIME EMPLOYEE (1) MIN. = 8,400/0.25 = 2,100 REQUIRED CURRENT = 7,996 x .25 = 1,999	2,935	2,919 (2)	NO
LOADING SPACES	§ 185-114 B.	SIZE OF LOADING SPACE, EACH SUCH LOADING SPACE SHALL NOT BE LESS THAN 12 FEET IN WIDTH AND 35 FEET IN LENGTH, DEPENDING UPON THE FUNCTIONS TO BE PERFORMED. 12 FEET (FLOOR-TO-CILING CLEAR HEIGHT DISTANCE)	COMPLIES	NO CHANGE	NO
	§ 185-114 C. (1)	EXCEPT FOR REQUIRED BUFFER AREAS, EACH SUCH LOADING SPACE MAY OCCUPY ANY REQUIRED SIDE OR REAR YARD BUT SHALL NOT BE LOCATED IN THE REQUIRED FRONT YARD, WHEN ADJOINING A RESIDENTIAL USE, INSTITUTIONAL USE OR PLACE OF GENERAL ASSEMBLY, A SUITABLY SCREENED OR LANDSCAPED BUFFER SHALL BE PROVIDED.	COMPLIES	NO CHANGE	NO

NOTES:

1. FOR PURPOSES OF THIS CALCULATION, A MINIMUM AGGREGATE TOTAL OF 8,400 SHALL BE USED AS THE CAMPUS POPULATION.
2. 2,919 SPACES - REDUCED BASED ON UNIVERSITY CENTER APPLICATION.

ZONING COMPLIANCE TABLE				
Building Name	Existing Lot/Building Coverage SF	Proposed Lot/Building Coverage SF	Existing Floor Area SF	Proposed Floor Area SF
Heating Plant	5,350	5,350	1,322	1,322
Art Center	2,670	2,670	4,342	4,342
Fahy Hall	20,350	20,350	50,362	50,362
Schwartz Hall (formerly Nursing)	25,665	25,665	42,174	42,174
Arts & Sciences* University Center	62,070	63,454	80,767	79,986
Metal Storage Building	1,120	1,120	1,120	1,120
Duffy Hall	11,360	11,360	21,063	21,063
Boland Hall	33,080	34,708	122,232	123,860
McNulty Hall	25,640	25,640	73,453	73,453
Jubilee Hall	24,698	24,698	84,402	84,402
Mooney Hall	8,150	8,150	32,224	32,224
Regan Rec. Center	86,926	86,926	120,917	120,917
Stafford Hall	7,599	7,599	12,985	12,985
Presidents Hall	6,750	6,750	19,896	19,896
Chapel	4,541	4,541	4,366	4,366
Lewis Hall	21,028	21,028	57,295	57,295
Alumni Hall	3,183	3,183	6,051	6,051
Alfieri Hall	7,088	7,088	12,044	12,044
McQuaid Hall	7,636	7,636	19,261	19,261
Bayley Hall	10,779	10,779	20,377	20,377
Corrigan Hall	14,950	14,950	31,611	31,611
Aquinas Hall	27,238	27,238	84,901	84,901
Xavier Hall	26,150	26,150	93,430	93,430
Public Safety	1,672	1,672	2,836	2,836
Gerety Hall	4,546	4,546	12,561	12,561
Walsh Gym	34,120	34,120	72,372	72,372
Marshall Hall	3,315	3,315	4,530	4,530
Serra Hall	9,346	9,346	21,116	21,116
Neumann Hall	9,346	9,346	20,844	20,844
Cabrini Hall	9,265	9,265	31,680	31,680
Facilities Engineer	5,066	5,066	8,728	8,728
Walsh Library	38,375	38,375	120,725	120,725
Parking Deck	115,870	115,870	6,314	6,314
Athletic Field	6,314	6,314	1,670	1,670
Bethany Hall (Welcome Center)	26,365	26,365	26,201	26,201
TOTAL (SF)	707,621	710,633	1,319,958	1,320,705
NET INCREASE (SF)		3,012		847
NOTES: Arts & Sciences building coverage included in Schwartz Hall.				
ZONING COVERAGE				
ITEM	REQUIREMENT	EXISTING	PROPOSED	REMAINING
Min. Lot Area	50 AC.	56.96 AC	no change	N/A
		2,481,216	2,481,216	N/A
Max. Bldg. Coverage	30.00%	28.52%	28.64%	1.36%
		(707,621 SF / 2,418,216 SF)	(710,633 SF / 2,418,216 SF)	33,732
Max. Floor Area Ratio	0.65	0.532	0.532	0.118
		(131,985 SF / 2,481,216 SF)	(132,075 SF / 2,481,216 SF)	292,085



200 FT PROPERTY OWNERS MAP

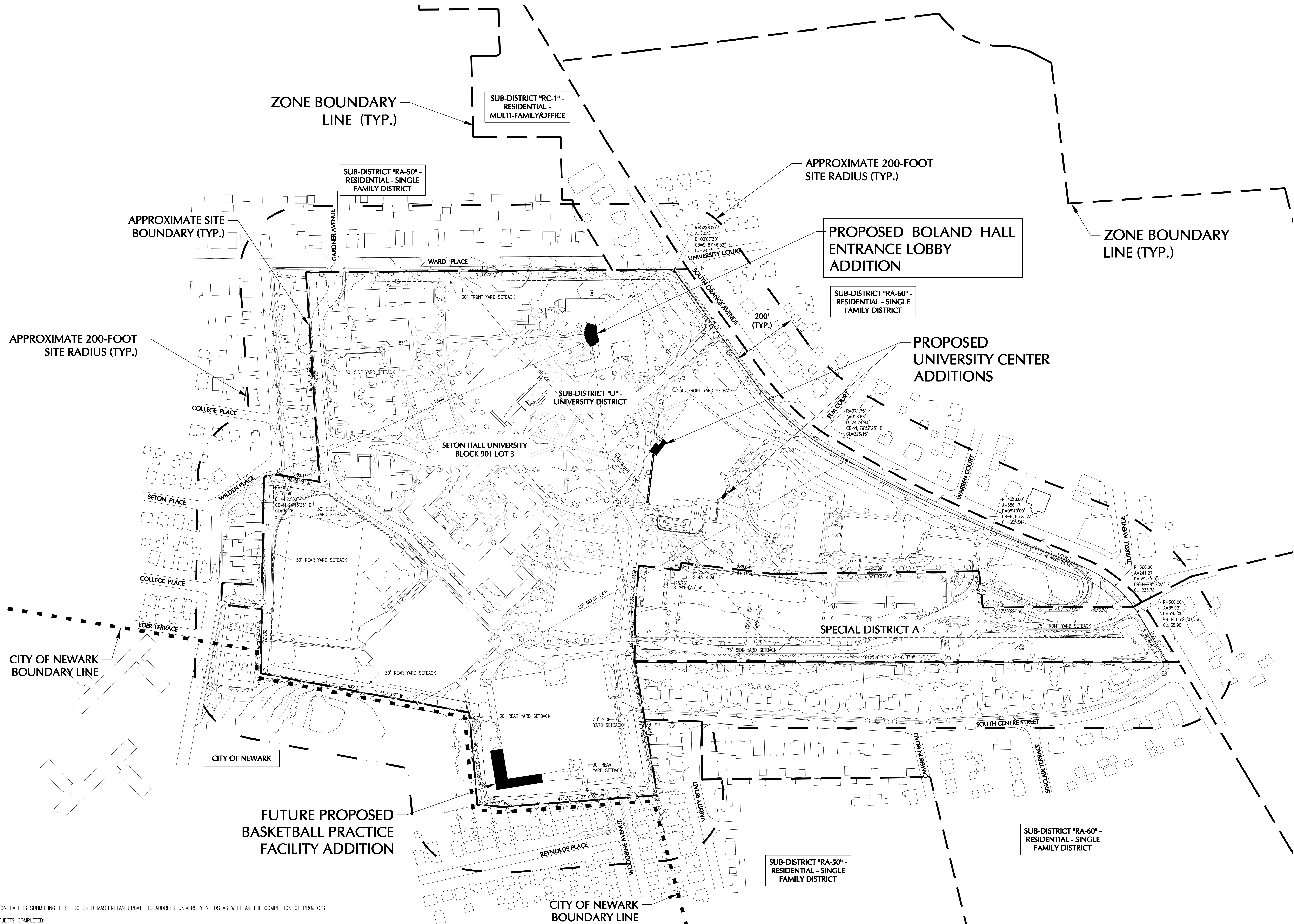
SCALE: 1"=400'

REQUIRED NOTIFIED AGENCIES

NEW JERSEY AMERICAN WATER 167 J F KENNEDY PKWY-BLDG A SHORT HILLS, NJ 07078	QUETTI E DAVIS, ACTING VILLAGE CLERK VILLAGE OF SOUTH ORANGE 76 SOUTH ORANGE AVE, SUITE 302 SOUTH ORANGE, NJ 07079
PUBLIC SERVICE ELECTRIC & GAS CO. MANAGER- CORPORATE PROPERTIES 80 PARK PLACE, TEBB NEWARK, NJ 07102	ESSEX COUNTY PLANNING BOARD 900 BLOOMFIELD AVE VERONA, NJ 07044
VERIZON 540 BROAD STREET NEWARK, NJ 07101	COMMISSIONER NEW JERSEY DEPARTMENT OF TRANSPORTATION 1035 PARKWAY AVE, P.O. BOX 600 TRENTON, NJ 08625-0600
CABLEVISION 186 WEST MARK STREET NEWARK, NJ 07103	NEW JERSEY DEPARTMENT OF STATE STATE PLANNING COMMISSION 225 WEST STATE STREET TRENTON, NJ 08625-0600
NEW JERSEY HIGHWAY AUTHORITY P.O. BOX 5042 WOODBURGE, NJ 07095	

200 FT PROPERTY OWNERS LIST

TAKING DISTRICT 19 SOUTH ORANGE TWP	ADJACENT PROPERTY LISTING	APPLICANT: SHU COUNTY 07 ESSEX	TAKING DISTRICT 19 SOUTH ORANGE TWP	ADJACENT PROPERTY LISTING	APPLICANT: SHU COUNTY 07 ESSEX	TAKING DISTRICT 19 SOUTH ORANGE TWP	ADJACENT PROPERTY LISTING	APPLICANT: SHU COUNTY 07 ESSEX
PROPERTY ID	PROPERTY LOCATION	CLASS OWNERS NAME & ADDRESS	PROPERTY ID	PROPERTY LOCATION	CLASS OWNERS NAME & ADDRESS	PROPERTY ID	PROPERTY LOCATION	CLASS OWNERS NAME & ADDRESS
602 25	311 CENTER STREET SOUTH ORANGE, NJ	LOPOMATI, LISA & FREED, JAMNA 311 CENTER STREET SOUTH ORANGE, NJ 07079	901 16	109 CENTER STREET SOUTH	MODRATTI, MEGAN 14 VACCARO, BRAYAN W. 109 SOUTH ORANGE AVE SOUTH ORANGE, NJ 07079	903 16	497 SOUTH ORANGE AVENUE	BAKSON, BRIAN 497 SOUTH ORANGE AVE SOUTH ORANGE, NJ 07079
602 26	303 CENTER STREET SOUTH ORANGE, NJ	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079	901 17	115 CENTER STREET SOUTH	SCILVO JR., JEFFREY & MORIN F. 115 SOUTH CENTER ST SOUTH ORANGE, N.J. 07079	903 17	491 SOUTH ORANGE AVENUE	JURADO-CHRISTIAN STUDIOS FOUNDATION 491 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079
602 27	395 TUNNELL AVENUE SOUTH ORANGE, N.J.	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079	901 18	119 CENTER ST S	LEATE YOUNG, VERA 119 S CENTER ST SOUTH ORANGE, NJ 07079	903 18	483 SOUTH ORANGE AVENUE	AMAD HOLDING LLC, 1008 OCEAN AVE BELMAR, N.J. 07719
701 1	561 S ORANGE AVE SOUTH ORANGE, NJ	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ 07079	901 19	126 CENTER STREET SOUTH	CORDON, WILL E & WATTE, OSBERT O 126 SOUTH CENTER ST SOUTH ORANGE, N.J. 07079	903 19	2 ELM COURT	ROSENBERG, DANIEL/S O BENTLEY, CRY 485 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079
701 2	314 CENTER STREET SOUTH ORANGE, N.J.	COOK, KIM & ALEXANDER 314 CENTER STREET SOUTH ORANGE, N.J. 07079	901 20	127 CENTER STREET SOUTH	FERNBERG, JOY V 127 CENTER STREET SOUTH SOUTH ORANGE, N.J. 07079	903 20	10 ELM COURT	ONY, JOHN & MELANIE, CHRISTINE F. 10 ELM COURT SOUTH ORANGE, NJ 07079
701 18	571 S ORANGE AVE SOUTH ORANGE, N.J.	CAMPBELL, GERALDINE 571 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079	901 21	133 CENTER STREET SOUTH	ELLIS, GLORIA DEAN COE 133 SOUTH CENTER STREET SOUTH ORANGE, N.J. 07079	904 14	384 TUNNELL AVENUE	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079
701 19	567 S ORANGE AVE SOUTH ORANGE, NJ	TOMASKO, FRANCIS X & KELLY A 567 S ORANGE AVE SOUTH ORANGE, NJ 07079	901 22	137 CENTER ST S	CANAV, VICTOR L 10 RIDGE DRIVE FLORENCE PARK, NJ 07032	904 15	503-535 90 ORANGE AVENUE	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079
701 20	561 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J.	JONES, DAVINA & COLLINGS, A 561 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079	901 23	141 CENTER STREET SOUTH	DEAN-STONY, REBECCA L & LUGA S 141 SOUTH CENTER STREET SOUTH ORANGE, N.J. 07079	904 16	521 SOUTH ORANGE AVENUE	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079
701 21	557 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ	O'NEILL, BERNARD G & SANDRA M 51 COLUMBIA STREET WOOD BRIDGE, NJ 07075	901 24	143 CENTER STREET SOUTH	SETOCK, JAMES & MARLETTE PRIMO 143 SOUTH CENTER STREET SOUTH ORANGE, N.J. 07079	904 17	519 SOUTH ORANGE AVENUE	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVE SOUTH ORANGE, NJ 07079
801 16	612 VANITY ROAD SOUTH ORANGE, N.J.	HENNING, KIRSTEN G & PATRICIA 612 VANITY ROAD SOUTH ORANGE, N.J. 07079	901 25	145 CENTER STREET SOUTH	LEE, RONALD & MARLIN PENNER LEE 145 CENTER STREET SOUTH SOUTH ORANGE, N.J. 07079	904 18	511 SOUTH ORANGE AVENUE	511 SO ORANGE AVE, LLC 511 SOUTH ORANGE AVE SOUTH ORANGE, N.J. 07079
801 17	576 VANITY ROAD SOUTH ORANGE, NJ	WATTS, MERLAND A + W ELIZABETH 576 VANITY ROAD SOUTH ORANGE, N.J. 07079	901 26	151 CENTER STREET SOUTH	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079	904 19	505 SOUTH ORANGE AVENUE	WALCO 505 SO. AVE. LLC RT 407 505 SOUTH ORANGE AVE SOUTH ORANGE, NJ 07079
801 18	574 VANITY ROAD SOUTH ORANGE, N.J.	PERRARD, STEVEN & KATIE 574 VANITY ROAD SOUTH ORANGE, N.J. 07079	901 27	163 CENTER STREET SOUTH	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079	904 20	10 WARREN COURT	SHARPLEY, ROBERTA S BROSCH, MARION L 10 WARREN COURT SOUTH ORANGE, NJ 07079
801 19	572 VANITY ROAD SOUTH ORANGE, N.J.	SCHWENK, M & BERGER, M 572 VANITY ROAD SOUTH ORANGE, N.J. 07079	901 28	445 WILSON PLACE SOUTH ORANGE, N.J.	ESSEX COUNTY PARK COMMISSION 115 CLIFTON AVENUE SOUTH ORANGE, N.J. 07102	1010 1	6 FIELDRIDGE COURT	JONES, JAMES & CRYL BRENCH 6 FIELDRIDGE COURT SOUTH ORANGE, NJ 07079
801 20	570 VANITY ROAD SOUTH ORANGE, N.J.	TOLLE, ALEXANDER & STEWART, Y. 570 VANITY ROAD SOUTH ORANGE, N.J. 07079	901 29	441 WILSON PLACE SOUTH ORANGE, N.J.	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079	1010 2	12 FIELDRIDGE COURT	DEANNEY, JOHN & ROYAL, ALLEN 12 FIELDRIDGE COURT SOUTH ORANGE, N.J. 07079
TAKING DISTRICT 19 SOUTH ORANGE TWP	ADJACENT PROPERTY LISTING	APPLICANT: SHU COUNTY 07 ESSEX	TAKING DISTRICT 19 SOUTH ORANGE TWP	ADJACENT PROPERTY LISTING	APPLICANT: SHU COUNTY 07 ESSEX	TAKING DISTRICT 19 SOUTH ORANGE TWP	ADJACENT PROPERTY LISTING	APPLICANT: SHU COUNTY 07 ESSEX
PROPERTY ID	PROPERTY LOCATION	CLASS OWNERS NAME & ADDRESS	PROPERTY ID	PROPERTY LOCATION	CLASS OWNERS NAME & ADDRESS	PROPERTY ID	PROPERTY LOCATION	CLASS OWNERS NAME & ADDRESS
901 21	564 VANITY RD SOUTH ORANGE, N.J.	ANDERSON, PHIL & VANESSA 564 VANITY ROAD SOUTH ORANGE, N.J. 07079	901 30	439 WILSON PLACE SOUTH ORANGE, NJ	NECOY, ORSOLA 439 WILSON PLACE SOUTH ORANGE, NJ 07079	1010 3	14 FIELDRIDGE COURT	WILSON, JOSEPH & JOHNNY 14 FIELDRIDGE COURT SOUTH ORANGE, N.J. 07079
901 22	568 VANITY ROAD SOUTH ORANGE, NJ	KAWYER, LAM & TESSIER, DANA 568 VANITY ROAD SOUTH ORANGE, NJ 07079	901 31	433 WILSON PLACE SOUTH ORANGE, NJ	LEISMAN, DAVID I & KATHLEEN M 433 WILSON PLACE SOUTH ORANGE, NJ 07079	1010 22	11 UNIVERSITY COURT	WILSON, MORA 11 UNIVERSITY COURT SOUTH ORANGE, NJ 07079
901 23	558 VANITY ROAD SOUTH ORANGE, N.J.	MC DONALD, ROBERT JR. 558 VANITY ROAD SOUTH ORANGE, N.J. 07079	901 32	429 WILSON PLACE SOUTH ORANGE, NJ	HOLLON RESIDENTIAL LEASE SERVING 187000 UNIVERSITY DRIVE LANCASTER, PA 17601	1010 23	5 UNIVERSITY COURT	MARSHALL, ROBERTA S UNIVERSITY COURT SOUTH ORANGE, NJ 07079
901 24	554 VANITY ROAD SOUTH ORANGE, N.J.	WALSHMAN, RICHARD A & BRIGIDA 554 VANITY ROAD SOUTH ORANGE, N.J. 07079	901 33	425 WILSON PLACE SOUTH ORANGE, N.J.	CHRONACH, WILLIAM M, JR 425 WILSON PLACE SOUTH ORANGE, N.J. 07079	1010 24	1 UNIVERSITY COURT	ONE BEAUTY LLC 28 FIELDRIDGE AVENUE EAST HANOVER, NJ 07936
902 1	146 CENTER STREET SOUTH SOUTH ORANGE, NJ	TAKACHICK, J. & WEISBOLDS, B. 146 CENTER STREET SOUTH SOUTH ORANGE, NJ 07079	901 34	421 WILSON PLACE SOUTH ORANGE, NJ	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVE SOUTH ORANGE, NJ 07079	2107 14	101 WARD PLACE SOUTH ORANGE, NJ	HANSEN, CYNTHIA 28 FIELDRIDGE AVE EAST HANOVER, NJ 07936
902 2	140 CENTER STREET SOUTH SOUTH ORANGE, NJ	DAVIS, HELEN M. & GAIL 140 CENTER STREET SOUTH SOUTH ORANGE, NJ 07079	901 35	417 WILSON PL SOUTH ORANGE, N.J.	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079	2107 15	105 WARD PL SOUTH ORANGE, NJ	OSWALD, THOMAS 105 WARD PLACE SOUTH ORANGE, N.J. 07079
902 21	149 BRYNOLDF PLACE SOUTH ORANGE, N.J.	TAYLOR, GORDON M 149 BRYNOLDF PLACE SOUTH ORANGE, N.J. 07079	901 36	409 WILSON PLACE SOUTH ORANGE, NJ	FOX, MIC C & PATIA K 409 WILSON PLACE SOUTH ORANGE, NJ 07079	2107 16	109 WARD PLACE SOUTH ORANGE, N.J.	PERKINS, ROSELY 109 WARD PLACE SOUTH ORANGE, NJ 07079
903 1	34 CENTER STREET SOUTH SOUTH ORANGE, N.J.	34 S CENTRE, LLC 340 BLOOMFIELD AVE, #255 HIGHTSTOWN, NJ 07053	901 37	407 WILSON PLACE SOUTH ORANGE, NJ	WALCO 407 WILSON LAC 340 SOUTH ORANGE AVE #218 SOUTH ORANGE, NJ 07079	2107 17	117 WARD PLACE SOUTH ORANGE, NJ	HOCKEY, ROGER SR. & MARCIA JANE L. 117 WARD PLACE SOUTH ORANGE, N.J. 07079
903 2	28 CENTER STREET SOUTH SOUTH ORANGE, N.J.	DAVIS, JR., HENRIETTA M 28 CENTER STREET SOUTH ORANGE, N.J. 07079	901 38	401 WILSON PLACE SOUTH ORANGE, NJ	DAVIS, JR., HENRIETTA M 28 CENTER STREET SOUTH ORANGE, NJ 07079	2108 14	358 SOUTH ORANGE AVENUE 1 OFFICE/APT SOUTH ORANGE, NJ	HART, MITCHELL C 358 SO ORANGE AVENUE SOUTH ORANGE, NJ 07079
903 3	30 CENTER ST SO SOUTH ORANGE, NJ	SLASH, MATTHEW & EMILY WATERS 30 SO CENTER ST SOUTH ORANGE, NJ 07079	901 39	393 WILSON PLACE SOUTH ORANGE, N.J.	GRILLEY, ANETTE 393 WILSON PLACE SOUTH ORANGE, N.J. 07079	2108 15	362 SOUTH ORANGE AVENUE 2 FAMILY SOUTH ORANGE, NJ	ELVEDY, MYLENE 362 SO ORANGE AVE SOUTH ORANGE, NJ 07079
903 4	16 CENTER STREET SOUTH SOUTH ORANGE, NJ	JONES, JOHANN ET CHABO & THAIR 16 SO. CENTER STREET SOUTH ORANGE, NJ 07079	901 40	381 WILSON PLACE SOUTH ORANGE, N.J.	MCNULTY, PAMELA & STEVEN 381 WILSON PLACE SOUTH ORANGE, N.J. 07079	2108 17	366 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J.	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079
903 5	10 CENTER STREET SOUTH SOUTH ORANGE, NJ	VILLANOVA JR., RALPH M 10 CENTER STREET SOUTH SOUTH ORANGE, NJ 07079	901 41	377 WILSON PLACE SOUTH ORANGE, NJ	CHAPMAN, KALAI & MITCHELL, NICHOLAS 377 WILSON PLACE SOUTH ORANGE, NJ 07079	2108 18	25 WARD PLACE SOUTH ORANGE, N.J.	JANE, RONALD 25 WARD PLACE SOUTH ORANGE, N.J. 07079
903 6	2 CENTER STREET SOUTH SOUTH ORANGE, NJ	RAY, MARK & TERRY 2 CENTER STREET SOUTH SOUTH ORANGE, NJ 07079	901 42	373 WILSON PLACE SOUTH ORANGE, NJ	SHO-OC, LLC, PO BOX 501 BELLEVILLE, NJ 08558	2108 19	27 WARD PLACE SOUTH ORANGE, N.J.	MCNAMP, TERRY 27 WARD PLACE SOUTH ORANGE, N.J. 07079
903 1	96 WARD PLACE SOUTH ORANGE, NJ	O'NEAL, ROBERT B 7 LINCOLN AVENUE WEST ORANGE, NJ 07052	901 43	371 WILSON PL SOUTH ORANGE, NJ	MCINTOSH, JASON R. & JOHANN 371 WILSON PLACE SOUTH ORANGE, NJ 07079			
TAKING DISTRICT 19 SOUTH ORANGE TWP	ADJACENT PROPERTY LISTING	APPLICANT: SHU COUNTY 07 ESSEX	TAKING DISTRICT 19 SOUTH ORANGE TWP	ADJACENT PROPERTY LISTING	APPLICANT: SHU COUNTY 07 ESSEX	TAKING DISTRICT 19 SOUTH ORANGE TWP	ADJACENT PROPERTY LISTING	APPLICANT: SHU COUNTY 07 ESSEX
PROPERTY ID	PROPERTY LOCATION	CLASS OWNERS NAME & ADDRESS	PROPERTY ID	PROPERTY LOCATION	CLASS OWNERS NAME & ADDRESS	PROPERTY ID	PROPERTY LOCATION	CLASS OWNERS NAME & ADDRESS
901 2	90 WARD PLACE SOUTH ORANGE, N.J.	SMULLEN, ROBERT & MARGARET 90 WARD PLACE SOUTH ORANGE, N.J. 07079	901 44	365 WILSON PLACE SOUTH ORANGE, NJ	RYAN, JOHN & ERICA 365 WILSON PLACE SOUTH ORANGE, NJ 07079	2108 20	29 WARD PL SOUTH ORANGE, N.J.	TUCKER, RALPH C & DORIS A 29 WARD PLACE SOUTH ORANGE, N.J. 07079
901 3	400 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J.	SETON HALL UNIVERSITY 400 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079	901 45	359 WILSON PLACE SOUTH ORANGE, NJ	CARTER, MICHAEL 359 WILSON PLACE SOUTH ORANGE, NJ 07079	2108 21	31 WARD PLACE SOUTH ORANGE, N.J.	GRASSO, GIOVANNI 31 WARD PL. SOUTH ORANGE, N.J. 07079
901 4	1 CENTER STREET SOUTH SOUTH ORANGE, NJ	WALCO ONE SO LLC 75 SOUTH ORANGE AVE #218 SOUTH ORANGE, NJ 07079	901 46	4 UNIVERSITY COURT SOUTH ORANGE, N.J.	VANHORN, VINCENT 4 UNIVERSITY COURT SOUTH ORANGE, N.J. 07079	2108 22	35 WARD PLACE SOUTH ORANGE, NJ	DEPENO, DONATO & LUCIANO 35 WARD PL. SOUTH ORANGE, NJ 07079
901 5	21 CENTER STREET SOUTH SOUTH ORANGE, NJ	VAN DE POE, BEIK & WILSON M 21 CENTER STREET SOUTH SOUTH ORANGE, NJ 07079	901 47	14 UNIVERSITY COURT SOUTH ORANGE, N.J.	MURCHIO, JOSEPH & MICHELLE 14 UNIVERSITY COURT SOUTH ORANGE, N.J. 07079	2108 23	37 WARD PLACE SOUTH ORANGE, NJ	WILLIAMS, MICHAEL & MERIAN D 49 WARD PLACE SOUTH ORANGE, NJ 07079
901 6	25 CENTER STREET SOUTH SOUTH ORANGE, NJ	WELLS, CHRISTOPHER B & DAVIS, JACQUE B. 25 SOUTH CENTER ST. SOUTH ORANGE, NJ 07079	901 48	11 ELM COURT SOUTH ORANGE, N.J.	BASTERFIELD, JAMES 11 ELM COURT SOUTH ORANGE, N.J. 07079	2108 24	49 WARD PLACE SOUTH ORANGE, NJ	MCQUEEN-MEINER, KELLY A. 1175 DELAWARE VALLEY HWY WEST ORANGE, NJ 07052
901 7	33 CENTER STREET SOUTH SOUTH ORANGE, NJ	VALANCIA, RA LARSON, JACQUES & JOSEPH 33 SO. CENTER ST. SOUTH ORANGE, NJ 07079	901 49	455 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ	FOURIELLE, JOHN R. & PATRICIA 455 SOUTH ORANGE AVE. SOUTH ORANGE, NJ 07079	2108 25	61 WARD PLACE SOUTH ORANGE, N.J.	LI, SHE YUAN 61 WARD PLACE SOUTH ORANGE, N.J. 07079
901 9	37 CENTER STREET SOUTH SOUTH ORANGE, NJ	HALL, K. & J. (JO THOMPSON) 37 SOUTH CENTER STREET SOUTH ORANGE, NJ 07079	901 50	451 SOUTH ORANGE AVENUE SOUTH ORANGE, NJ	HALL, RICHARD S. & TERILYN M. MACLEAREN 451 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 08801	2108 26	63 WARD PLACE SOUTH ORANGE, NJ	EPKRE PROPERTIES LLC, 1300 DELAWARE VALLEY HWY BRANCMONROE, NJ 08876
901 10	39 CENTER STREET SOUTH SOUTH ORANGE, NJ	BORNETT, CLEO 159 CENTER STREET SOUTH SOUTH ORANGE, NJ 07079	902 16	447 SO ORANGE AVE SOUTH ORANGE, NJ	MC DONNELL, PATRICIA 447 SO ORANGE AVE SOUTH ORANGE, N. J. 07079	2108 29	69 WARD PLACE SOUTH ORANGE, NJ	CHISHOLM, CONSTANCE 69 WARD PLACE SOUTH ORANGE, NJ 07079
901 12	69 CENTER STREET SOUTH SOUTH ORANGE, N.J.	SANDON, ROBERT & LINDA L J 69 CENTER STREET SOUTH SOUTH ORANGE, N.J. 07079	902 18	443 S ORANGE AVE SOUTH ORANGE, NJ	GRIFFIN,JOHN GRIFFETZTIEPAC,MAURKIN 30 SOUTH ORANGENT HANNAWCOD, NJ 07040	2108 30	75 WARD PLACE SOUTH ORANGE, NJ	NOHR, MICHAEL & MELISSA 75 WARD PLACE SOUTH ORANGE, NJ 07079
901 13	75 CENTER STREET SOUTH SOUTH ORANGE, NJ	LAY, STEVEN & WATERS, LONA 75 CENTER STREET SOUTH SOUTH ORANGE, NJ 07079	902 19	439 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J.	GRIFFIN,JOHN GRIFFETZTIEPAC,MAURKIN 30 SOUTH ORANGENT HANNAWCOD, NJ 07040	2108 31	79 WARD PLACE SOUTH ORANGE, NJ	MILLER, WESLEY & KATHLEEN B 79 WARD PLACE SOUTH ORANGE, N.J. 07079
901 14	101 CENTER STREET SOUTH SOUTH ORANGE, N.J.	HANNEY, BRIAN & MICHIGAN,MEGAN 101 CENTER STREET SOUTH SOUTH ORANGE, N.J. 07079	902 20	437 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J.	JOYCE, JAMES 437 SOUTH ORANGE AVENUE SOUTH ORANGE, N.J. 07079	2110 13	116 WARD PLACE SOUTH ORANGE, NJ	SANCHEZ, PAMELA & VIZA L 116 WARD PLACE SOUTH ORANGE, NJ 07079
901 15	105 CENTER ST S SOUTH ORANGE, NJ	FOSTER HANNAWCOD LLC, 52 CENTRAL LANE GIBBS, NY 10924	902 14	11 WARREN COURT SOUTH ORANGE, NJ	CUTLER, ROBIN N 11 WARREN COURT SOUTH ORANGE, NJ 07079	2110 14	366 WILSON PLACE SOUTH ORANGE, NJ	WALCO 366 WILSON LAC 75 SOUTH ORANGE AVE #218 SOUTH ORANGE, NJ 07079
			902 15	5 WARREN COURT SOUTH ORANGE, N. J.	JONES, BARBARA 5 WARREN COURT SOUTH ORANGE, N. J. 07079			
TAKING DISTRICT 19 SOUTH ORANGE TWP	ADJACENT PROPERTY LISTING	APPLICANT: SHU COUNTY 07 ESSEX	TAKING DISTRICT 19 SOUTH ORANGE TWP	ADJACENT PROPERTY LISTING	APPLICANT: SHU COUNTY 07 ESSEX	TAKING DISTRICT 19 SOUTH ORANGE TWP	ADJACENT PROPERTY LISTING	APPLICANT: SHU COUNTY 07 ESSEX
PROPERTY ID	PROPERTY LOCATION	CLASS OWNERS NAME & ADDRESS	PROPERTY ID	PROPERTY LOCATION	CLASS OWNERS NAME & ADDRESS	PROPERTY ID	PROPERTY LOCATION	CLASS OWNERS NAME & ADDRESS
2110 13	374 WILSON PLACE 2 FAMILY	CULCH, SANTINI BT AL 374 WILSON PLACE SOUTH ORANGE, N.J. 07079	2110 16	376 WILSON PLACE SOUTH ORANGE, N.J.	WOOD, OTIS M + TYANNA 376 WILSON PLACE SOUTH ORANGE, N.J. 07079	2110 37	380 WILSON PLACE SOUTH ORANGE, N.J.	HEILLY, SHERON 380 WILSON PLACE SOUTH ORANGE, NJ 07079
2112 13	132 COLLEGE PL SOUTH ORANGE, NJ	CUTLER, MICHAEL D & MORGAN D 132 COLLEGE PL SOUTH ORANGE, NJ 07079	2112 14	124 COLLEGE PLACE SOUTH ORANGE, N.J.	O'LEARY, BRADENHILBERT MC CUNTY 124 COLLEGE PLACE SOUTH ORANGE, N.J. 07079	2112 15	120 COLLEGE PLACE SOUTH ORANGE, NJ	GRAND, LACI 288 GLAN AVENUE SHIRT HILLS, N.J. 07079
2112 16	410 WILSON PLACE SOUTH ORANGE, NJ	WANDMAN, BRITA G 420 WILSON PLACE SOUTH ORANGE, NJ 07079	2112 19	420 WILSON PLACE SOUTH ORANGE, NJ	BRADY, VICTOR & BRIN ROSE 107 STON PLACE SOUTH ORANGE, NJ 07079	2114 18	108 SETON PLACE SOUTH ORANGE, NJ	108 SETON PLACE LLC, 21 ALCOFF DRIVE LYNNINGTON, NJ 07033
2114 19	49 KIRK TERRACE SOUTH ORANGE, NJ	OLIVER, LITA 49 KIRK TERRACE SOUTH ORANGE, NJ 07079	2115 23	50 KIRK TERRACE SOUTH ORANGE, NJ	TANDEM, KENNY & WATERS, ROBERT M 50 KIRK TERRACE SOUTH ORANGE, NJ 07079			



SETON HALL IS SUBMITTING THIS PROPOSED MASTERPLAN UPDATE TO ADDRESS UNIVERSITY NEEDS AS WELL AS THE COMPLETION OF PROJECTS.

PROJECTS COMPLETED:

1. WELCOME CENTER (BETHANY HALL)
2. UNIVERSITY CENTER EXPANSION (PHASE 1)
3. STADIUM RENOVATION

THIS MASTERPLAN UPDATE WAS DEVELOPED TO MEET THE FOLLOWING OBJECTIVES:

1. CONTINUE TO TRANSFORM THE UNIVERSITY CENTER TO BE AN EFFECTIVE HEART OF THE CAMPUS SUPPORTING STUDENT LIFE AND STRENGTHENING COMMUNITY
2. PROVIDE ENHANCED SECURITY AND ADA ACCESSIBILITY TO BOLAND HALL
3. PROVIDE STATE OF THE ART BASKETBALL PRACTICE FACILITY TO ENHANCE THE FACILITIES AVAILABLE TO THE UNIVERSITY ATHLETES

THESE GOALS WERE ACCOMPLISHED THROUGH THE FOLLOWING PROJECTS:

1. TRANSFORM THE UNIVERSITY CENTER BY IMPROVEMENTS TO THE EXISTING FAÇADE, SITE, AND INTERIOR TO IMPROVE ADA CIRCULATION THROUGHOUT, MODERNIZE FACILITIES PROVIDED, AND CONNECT THE ARCHITECTURAL VOCABULARY TO THE BUILT HISTORY OF THE CAMPUS.
2. PROVIDE A LOBBY ADDITION TO BOLAND HALL TO PROVIDE PROPER SECURITY ADA COMPLIANT ENTRY AND EXIT.
3. CONSTRUCT AN ADDITION AND OVERBUILD INTEGRATED WITH THE RICHIE REGAN RECREATION AND ATHLETIC CENTER TO PROVIDE MEN'S BASKETBALL PRACTICE FACILITIES AS WELL AS TO RENOVATE EXISTING SPACE FOR WOMEN'S BASKETBALL.

GENERAL NOTES:

1. BASE MAP PROVIDED ELECTRONICALLY BY SETON HALL UNIVERSITY
2. BOUNDARY INFORMATION PROVIDED BY E.K.A

SETON HALL CAMPUS MASTER PLAN

SCALE: 1"=120'

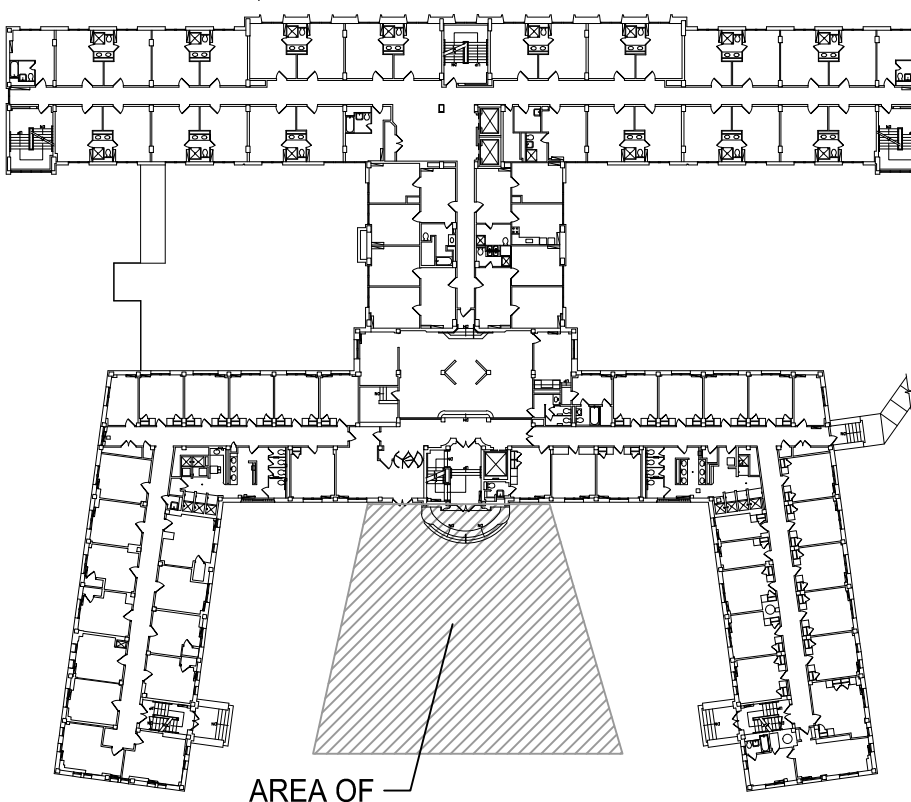
120 0 120 240

GRAPHIC SCALE

SCALE: 1" = 120'

Revisions		
Date	Issue	Description
11-02-20	A	FOR CLIENT'S REVIEW
11-16-20	B	PROGRESS PRINTS ISSUED FOR SHU REVIEW
11-24-20	C	REVISED PER CLIENT'S COMMENTS
12-08-20	D	FOR PLANNING BOARD FILING AND APPROVAL

Key Plan



Consultants

Project

SETON HALL UNIVERSITY
BOLAND HALL
ENTRANCE LOBBY ADDITION

400 SOUTH ORANGE AVENUE
BLOCK No. 901 LOT No. 3
SOUTH ORANGE, NEW JERSEY 07079
PHONE: (973) 761-9000

Client



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Steven Napolitano, PE
Robert G. Nocella, AIA

Steven Napolitano

Cert./Lic. No. 41989

Date 10-12-20 Scale AS NOTED

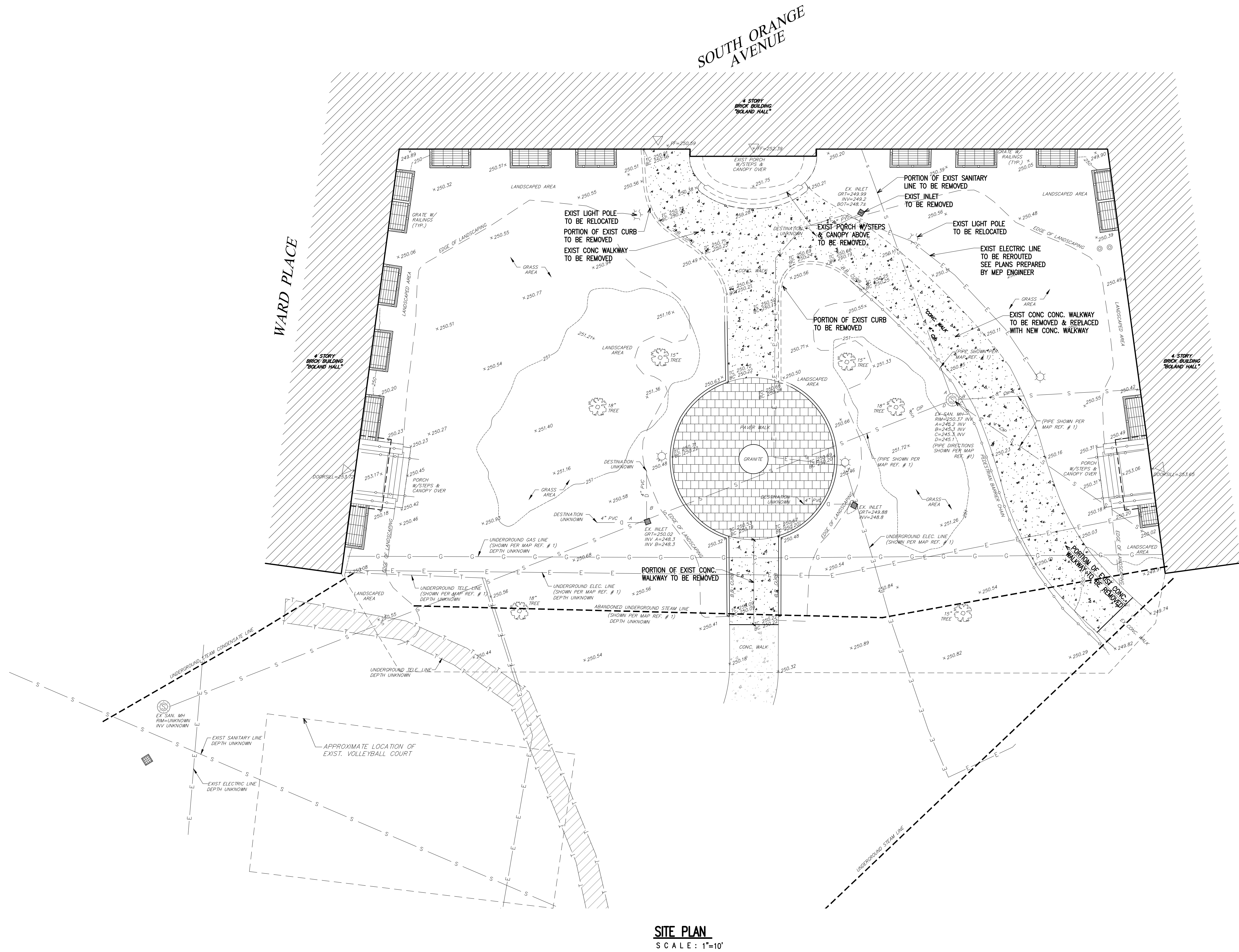
Drawn By AS Checked By SN

Dwg. Title

MASTER PLAN

Work Order No. Dwg. No.

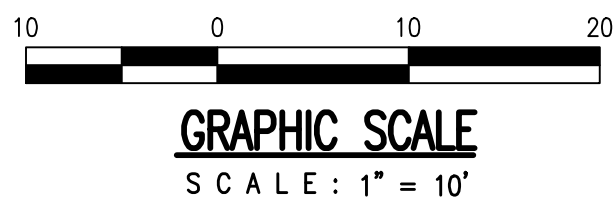
5361 Y-1



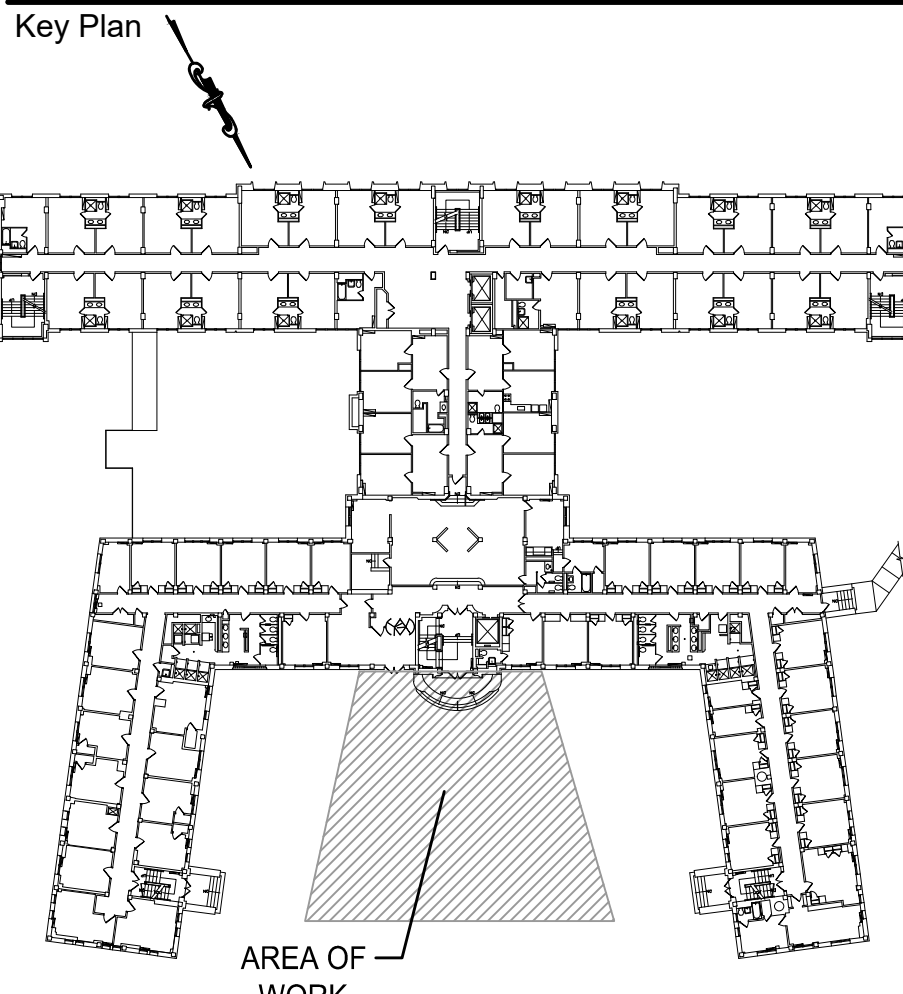
LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
BUILDING SETBACK	---	---
DRAINAGE PIPE	—D—	—D—
CATCH BASIN	□	■
DRAINAGE M.H.	⊕	⊕
SANITARY SEWER LINE	—S—	—S—
SANITARY SEWER M.H.	⊙	⊙
WATER MAIN LINE	—W—	—W—
FIRE LINE	—F—	—F—
IRRIGATION MAIN	—I—	—I—
TELEPHONE LINE	—T—	—T—
ELECTRIC LINE	—E—	—E—
TEL. & ELEC. LINE	—T-E—	—T-E—
GAS MAIN LINE	—G—	—G—
SPRINKLER	•	•
FIRE HYDRANT	⊗	⊗
WATER VALVE	⊗	⊗
PAVEMENT	▨	▨
CONCRETE CURB	—	—
SPOT ELEVATION	+10.0'	+10.0'
LIGHT POLE	○	○
I.E.	•	•
T.G.	•	•

SITE PLAN
SCALE: 1"=10'



Revisions		
Date	Issue	Description
11-02-20	A	FOR CLIENT'S REVIEW
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Consultants

Project
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BOLAND HALL
ENTRANCE LOBBY ADDITION**
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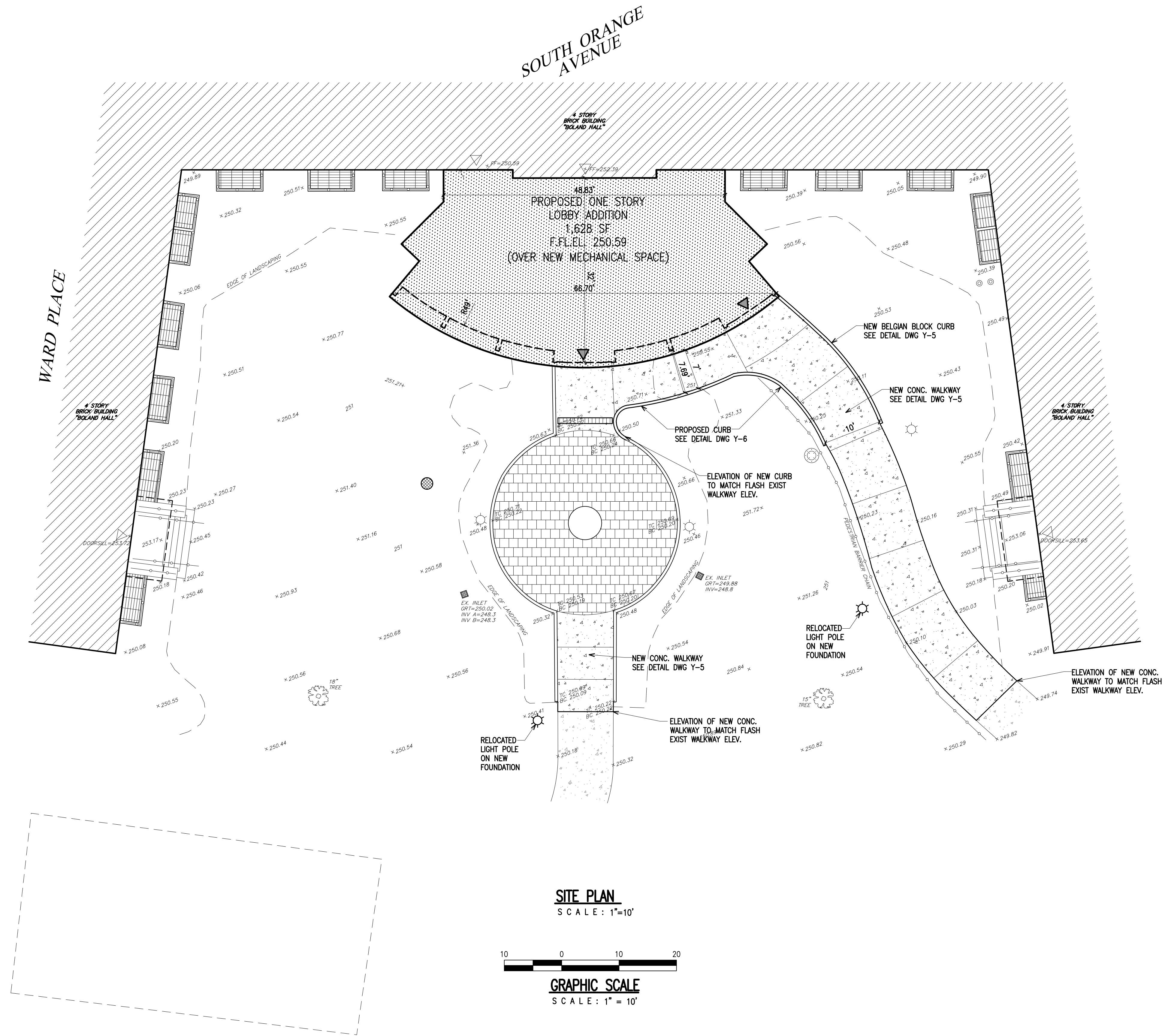


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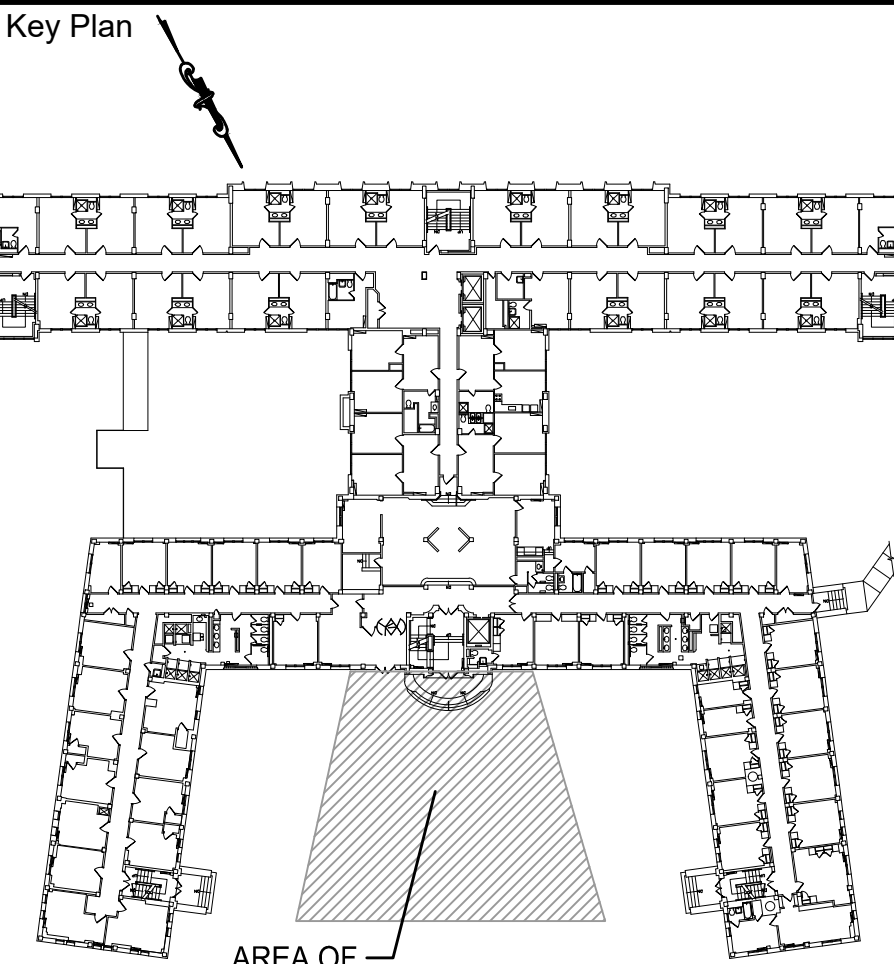
Cert./Lic. No. 41989
Date 10-12-20 Scale AS NOTED
Drawn By AS Checked By SN
Dwg. Title
**EXISTING CONDITIONS
AND DEMO SITE PLAN**
Work Order No. 5361 Dwg. No. Y-2



LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
BUILDING SETBACK	---	---
DRAINAGE PIPE	—D—	—D—
CATCH BASIN	□	■
DRAINAGE M.H.	⊕	●
SANITARY SEWER LINE	—S—	—S—
SANITARY SEWER M.H.	⊙	⊙
WATER MAIN LINE	—W—	—W—
FIRE LINE	—F—	—F—
IRRIGATION MAIN	—I—	—I—
TELEPHONE LINE	—T—	—T—
ELECTRIC LINE	—E—	—E—
TEL. & ELEC. LINE	—T-E—	—T-E—
GAS MAIN LINE	—G—	—G—
SPRINKLER	•	•
FIRE HYDRANT	⊗	⊗
WATER VALVE	⊗	⊗
PAVEMENT	▨	▨
CONCRETE CURB	—	—
SPOT ELEVATION	+10.0'	+10.0'
LIGHT POLE	○	○
I.E.	○	○
T.G.	○	○

Revisions		
Date	Issue	Description
11-02-20	A	FOR CLIENT'S REVIEW
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11-24-20	C	REVISED PER CLIENT'S COMMENTS
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Consultants

Project
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BOLAND HALL
ENTRANCE LOBBY ADDITION

400 SOUTH ORANGE AVENUE
BLOCK No. 901 LOT No. 3
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Client
SETON HALL UNIVERSITY

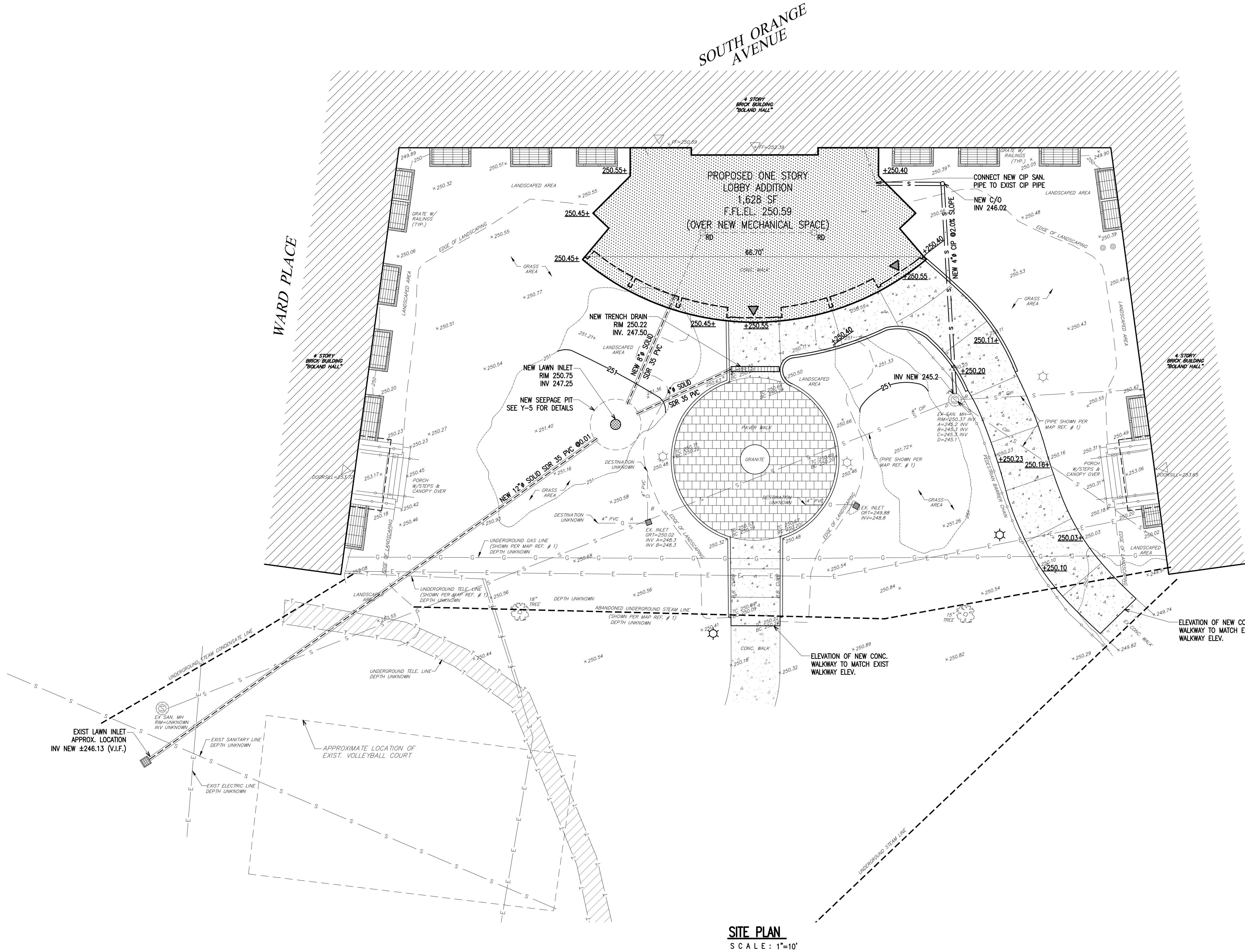
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Steven Napolitano, PE
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Cert./Lic. No. 41989
Date 10-12-20 Scale AS NOTED
Drawn By AS Checked By SN
Dwg. Title

PROPOSED SITE PLAN
Work Order No. 5361 Dwg. No. Y-3



SITE PLAN

SCALE: 1"=10'



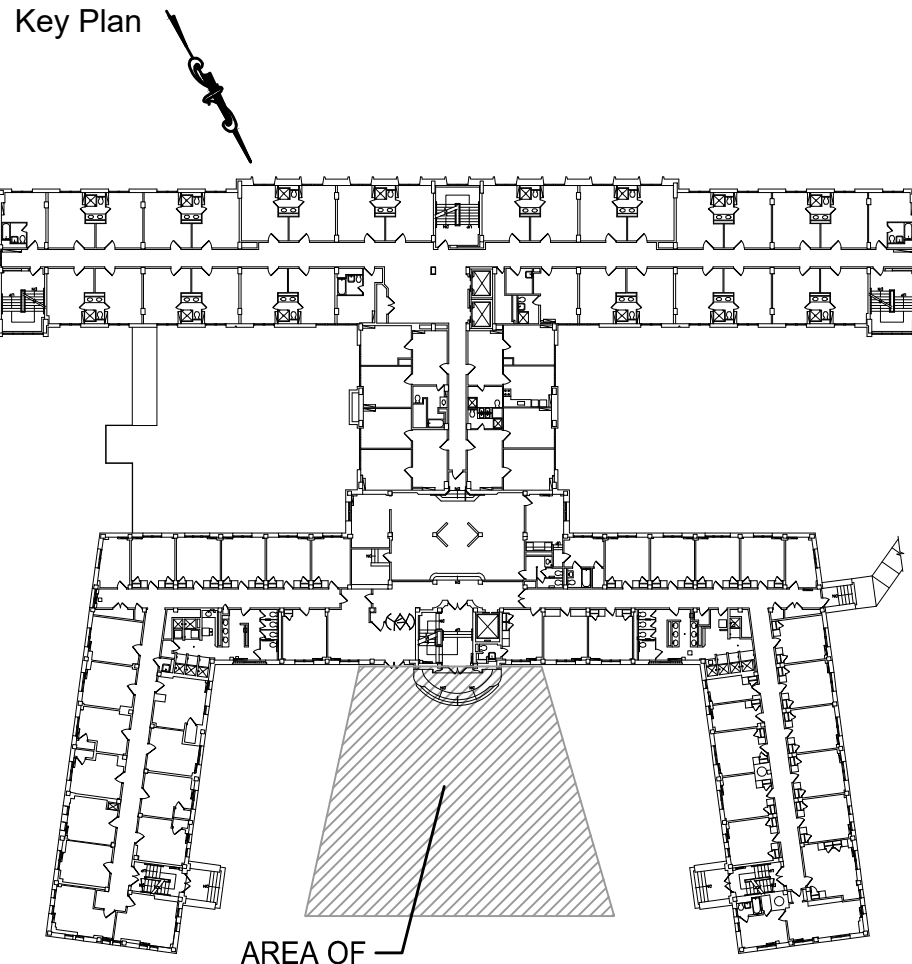
GRAPHIC SCALE

SCALE: 1" = 10'

LEGEND

EXISTING	PROPOSED
PROPERTY LINE	---
BUILDING SETBACK	---
DRAINAGE PIPE	—D—
CATCH BASIN	—C—
DRAINAGE M.H.	—M—
SANITARY SEWER LINE	—S—
SANITARY SEWER M.H.	—SM—
WATER MAIN LINE	—W—
FIRE LINE	—F—
IRRIGATION MAIN	—I—
TELEPHONE LINE	—T—
ELECTRIC LINE	—E—
TEL. & ELEC. LINE	—TE—
GAS MAIN LINE	—G—
SPRINKLER	—S—
FIRE HYDRANT	—FH—
WATER VALVE	—WV—
PAVEMENT	—P—
CONCRETE CURB	—C—
SPOT ELEVATION	—SE—
LIGHT POLE	—LP—
I.E.	—IE—
T.G.	—TG—

Date	Issue	Description
11-02-20	A	FOR CLIENT'S REVIEW
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11-24-20	C	REVISED PER CLIENT'S COMMENTS
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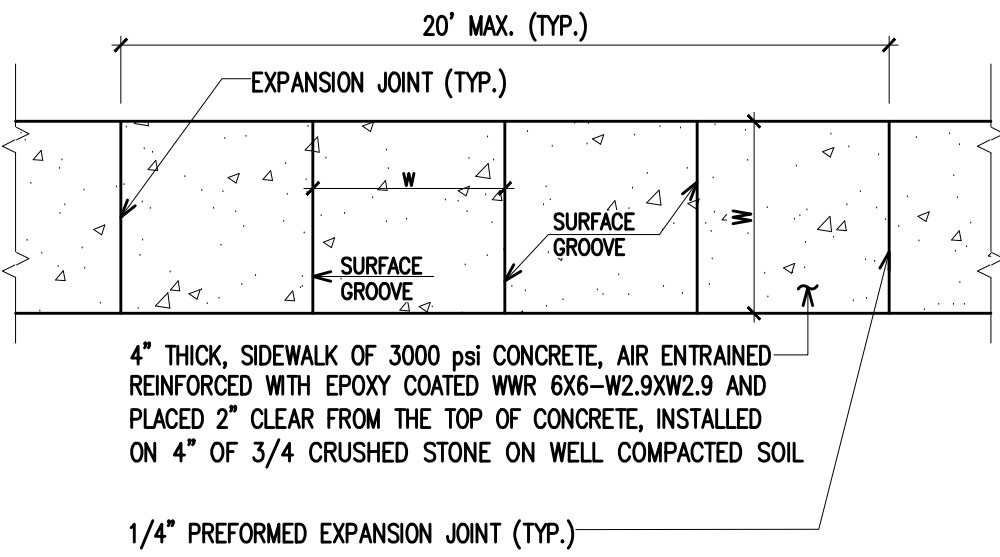
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Date 10-12-20 Scale AS NOTED
Drawn By AS Checked By SN
Dwg. Title

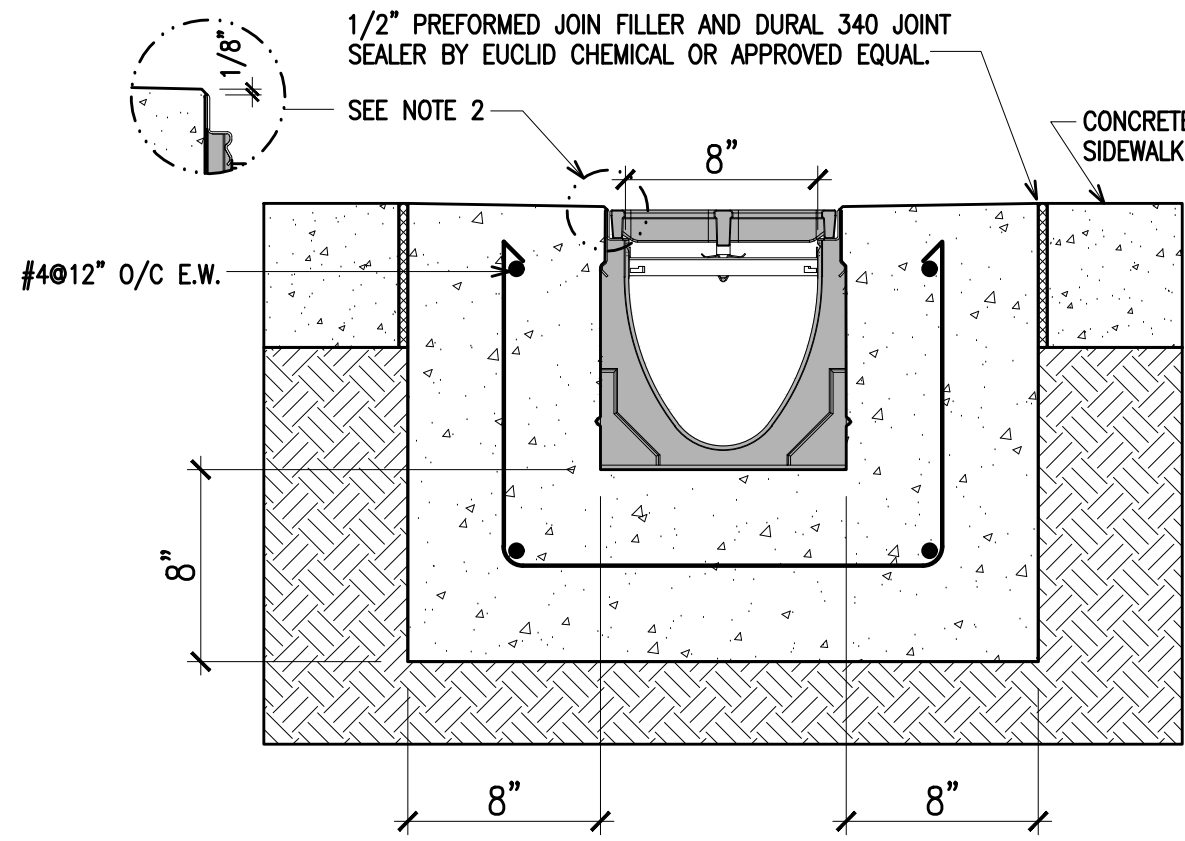
PROPOSED UTILITY PLAN
Work Order No. Dwg. No.

5361 Y-4



- NOTES:
- SUBBASE SHALL BE COMPACTED TO A FIRM AND EVEN SURFACE TO THE SATISFACTION OF THE ENGINEER.
 - ALL CONCRETE SHALL BE AIR-ENTRAINED AND CONTAIN AN AIR CONTENT OF 0% ±1.5%.
 - CONCRETE SHALL BE STRUCK OFF WITH A TRANSVERSE TEMPLATE AND FINISHED WITH FLOATS AND STRAIGHTEDGES UNTIL A SMOOTH SURFACE HAS BEEN OBTAINED.
 - THE SURFACE SHALL BE FINISHED WITH A WOODEN FLOAT AND BRUSHED WITH A WET, SOFT-HAIRED BRUSH.
 - ALL EDGES SHALL BE FINISHED AND ROUNDED WITH AN EDGING TOOL HAVING A RADIUS OF 1/4 INCH.
 - PREFORMED EXPANSION JOINT FILLER, 1/4 INCH THICK, SHALL BE FORMED AROUND ALL APPURTENANCES, SUCH AS MANHOLES AND UTILITY POLES, EXTENDING INTO OR THROUGH THE CONCRETE.
 - THE SURFACE OF THE CONCRETE SHALL BE SO FINISHED AS TO DRAIN COMPLETELY AT ALL TIMES.

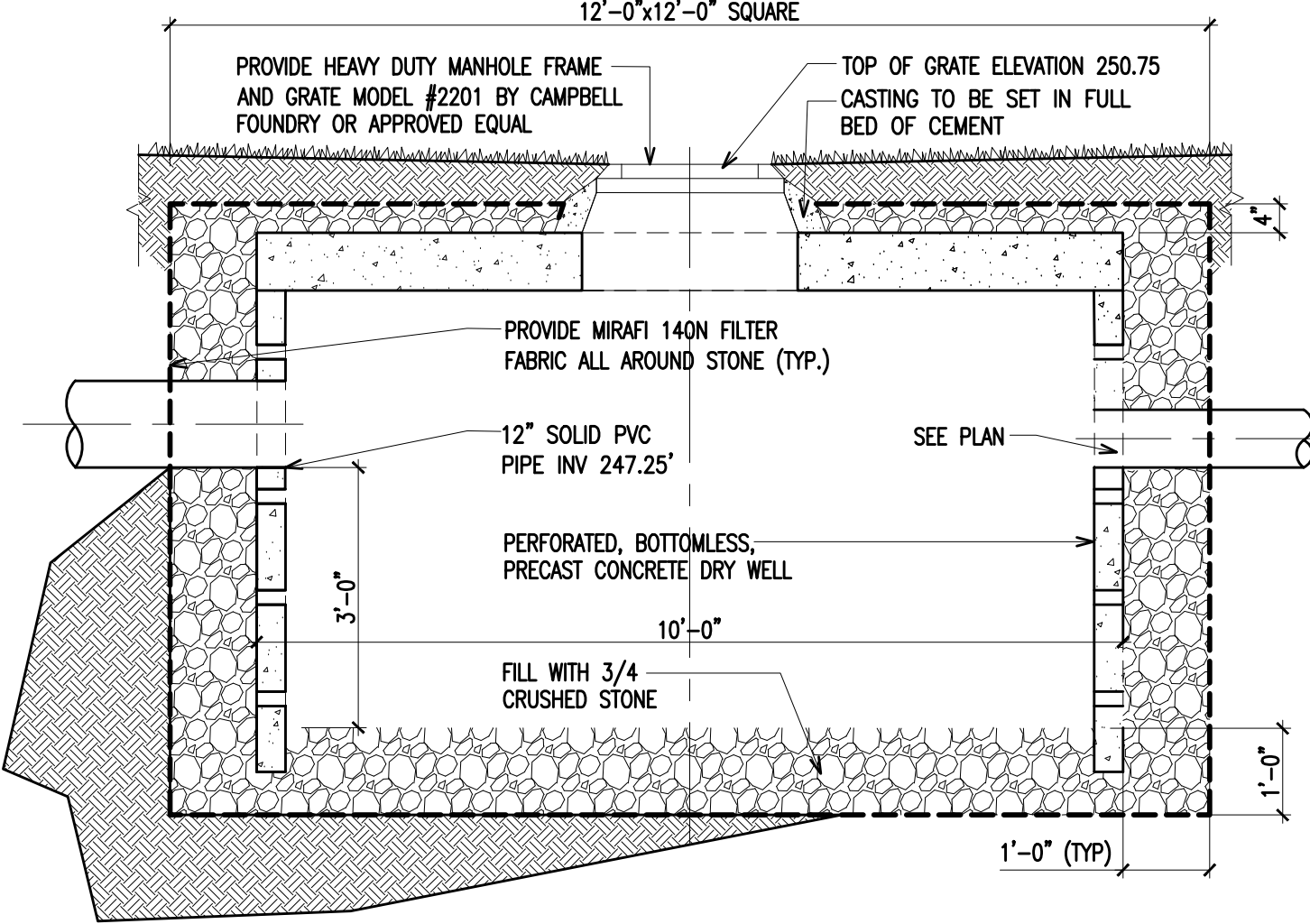
DETAIL OF STANDARD CONCRETE SIDEWALK
SCALE: N.T.S.



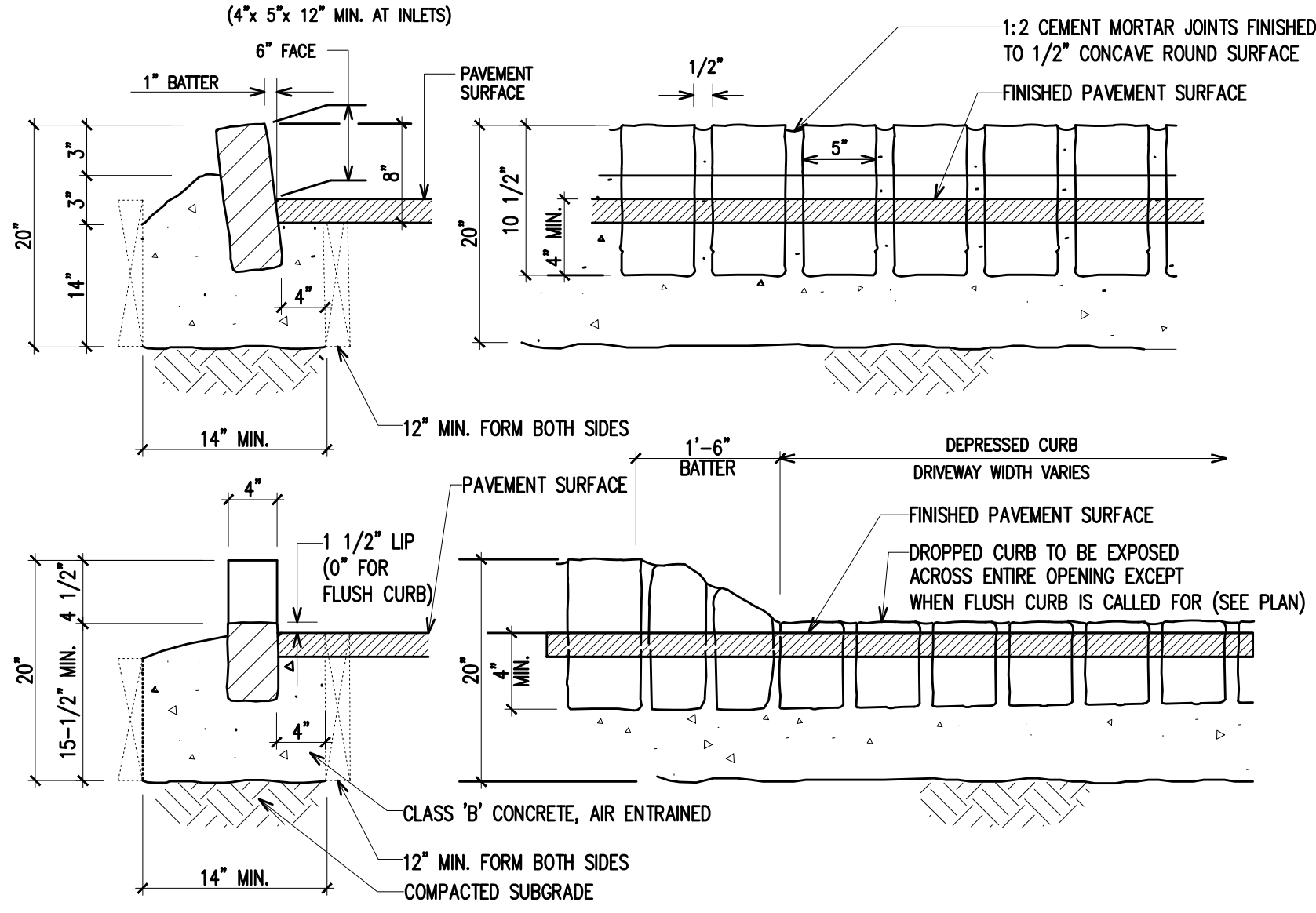
- NOTES:
- MINIMUM CONCRETE STRENGTH OF 4,000 PSI. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
 - THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" ABOVE THE TOP OF THE CHANNEL EDGE.
 - REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

TRENCH DRAIN DETAIL
SCALE: 1 1/2"=1'-0"

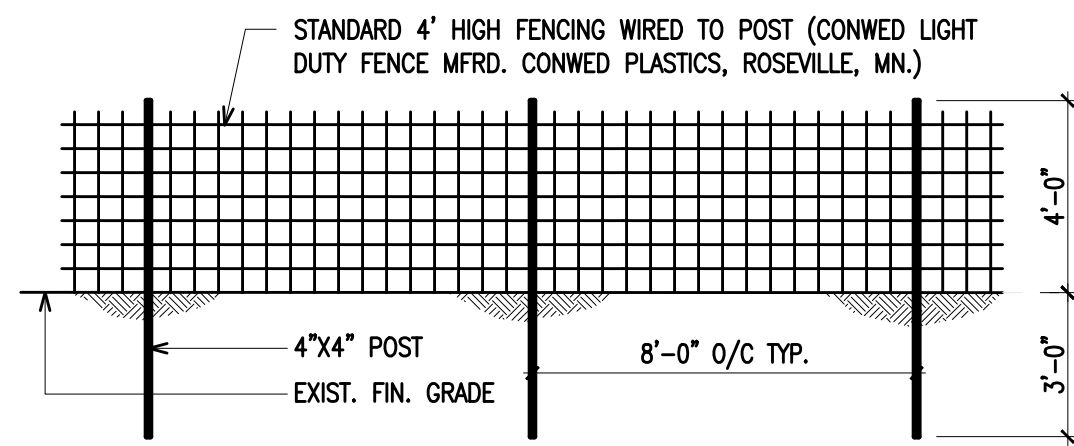
TRENCH DRAIN TO BE K200 KLASSIKORAIN - LOAD CLASS C AND TYPE 6760 LONGITUDINAL DUCTILE IRON GRATE (ADA) BY ACO POLYMER PRODUCTS, INC. OR APPROVED EQUAL.



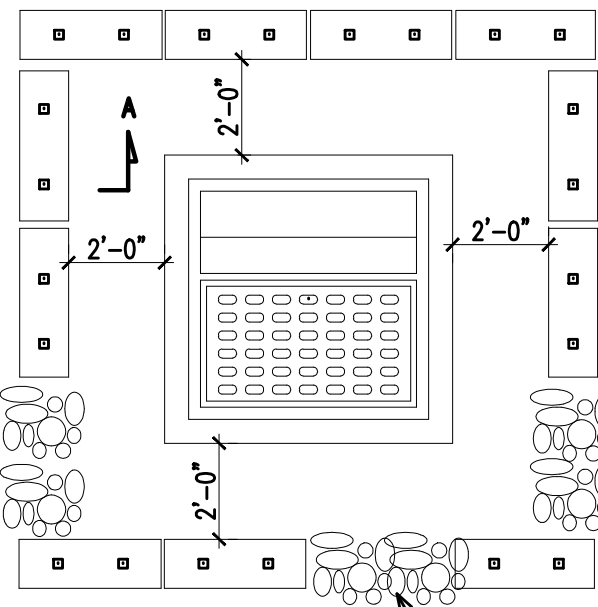
SEEPAGE PIT DETAIL
SCALE: 1/2"=1'-0"



BELGIAN BLOCK CURB DETAIL
SCALE: N.T.S.



CONSTRUCTION LIMIT FENCE
SCALE: 1/4"=1'-0"



PLAN

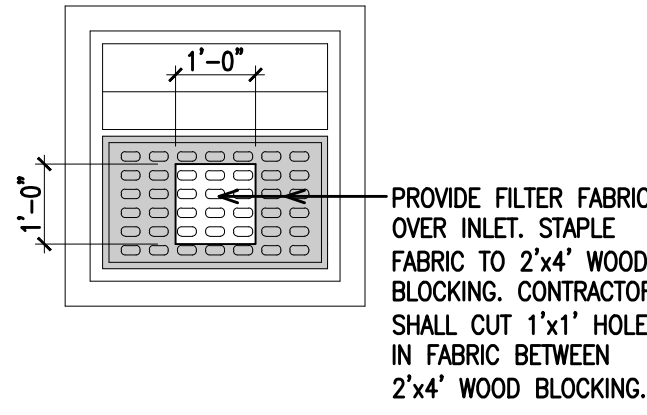
PROVIDE 3/4" CRUSHED STONE WIER 4" HIGH

- * HAYBALE MUST BE TIGHTLY ABUTTING
* ENTRENCHED A MINIMUM OF 4"
* TOW STAKE PER BALE

SECTION A-A
(FOR USE IN UNPAVED AREAS ONLY)

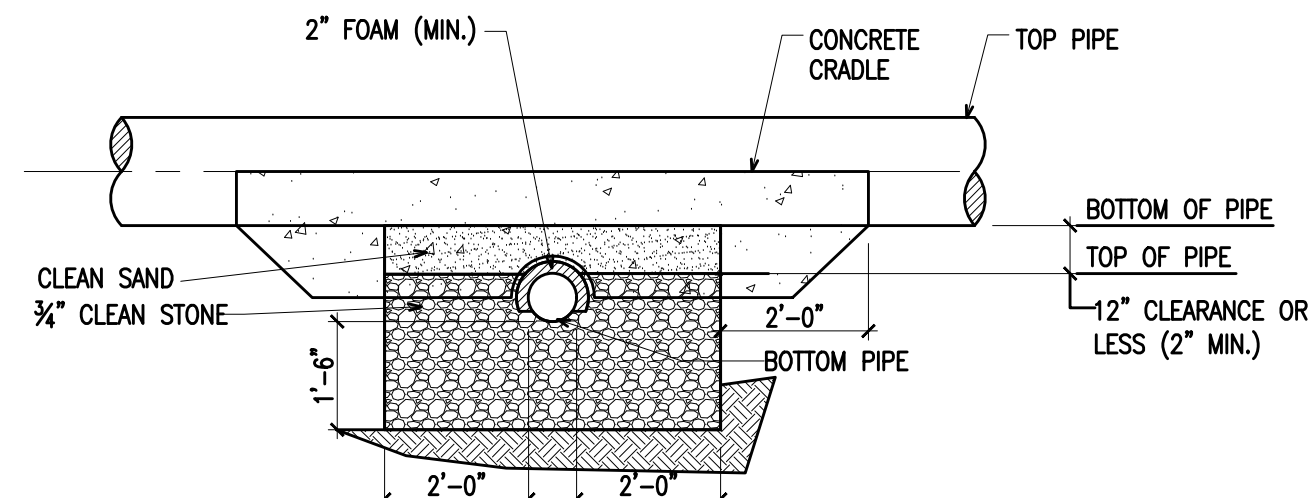
HAYBALE INLET FILTER DETAIL
SCALE: 1/4"=1'-0"

- NOTES:
- IN ALL CASES, INLET PROTECTION SHOULD NOT COMPLETELY CLOSE OFF THE INLET.
 - THE PROTECTION DEVICE WILL BE TO CAPTURE OR FILTER RUNOFF FROM THE 1-YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.

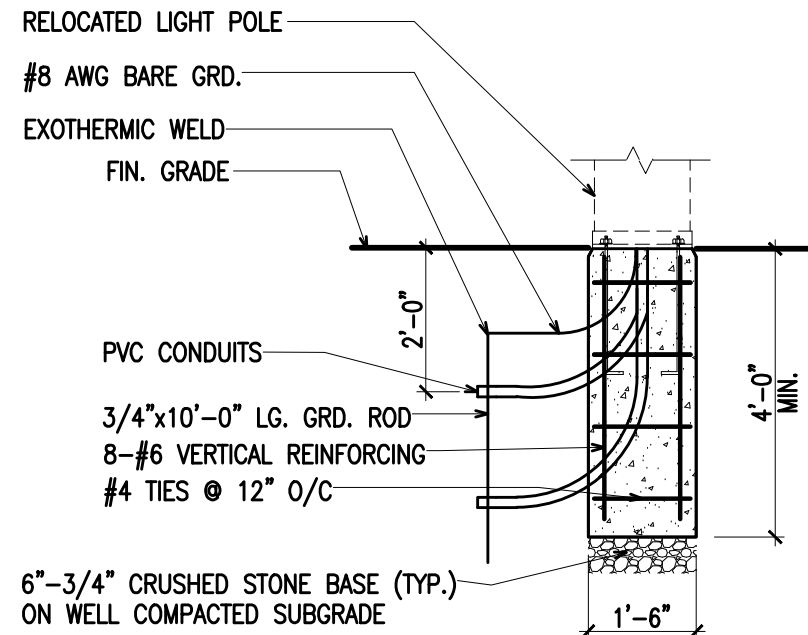


INLET FILTER DETAIL (IF APPLICABLE)
N.T.S.

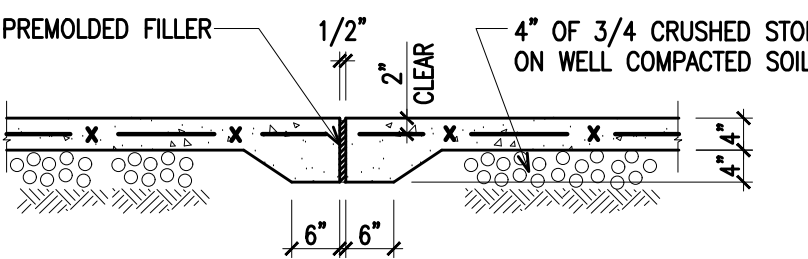
- NOTES:
- IN ALL CASES, INLET PROTECTION SHOULD NOT COMPLETELY CLOSE OFF THE INLET.
 - THE PROTECTION DEVICE WILL BE TO CAPTURE OR FILTER RUNOFF FROM THE 1-YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.



UTILITY CROSSING DETAIL
SCALE: 3/8"=1'-0" (IF REQUIRED)

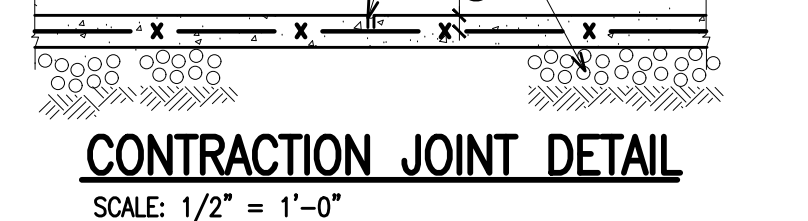


LIGHT POLE NEW FOUNDATION DETAIL
SCALE: N.T.S.
(FOR LOCATION SEE DWG Y-3)

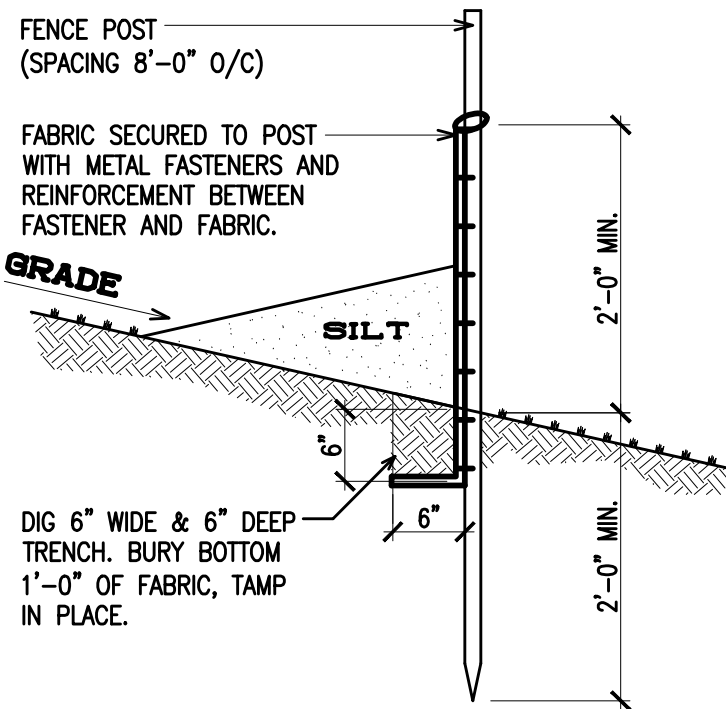


EXPANSION JOINT DETAIL
SCALE: 1/2"=1'-0"

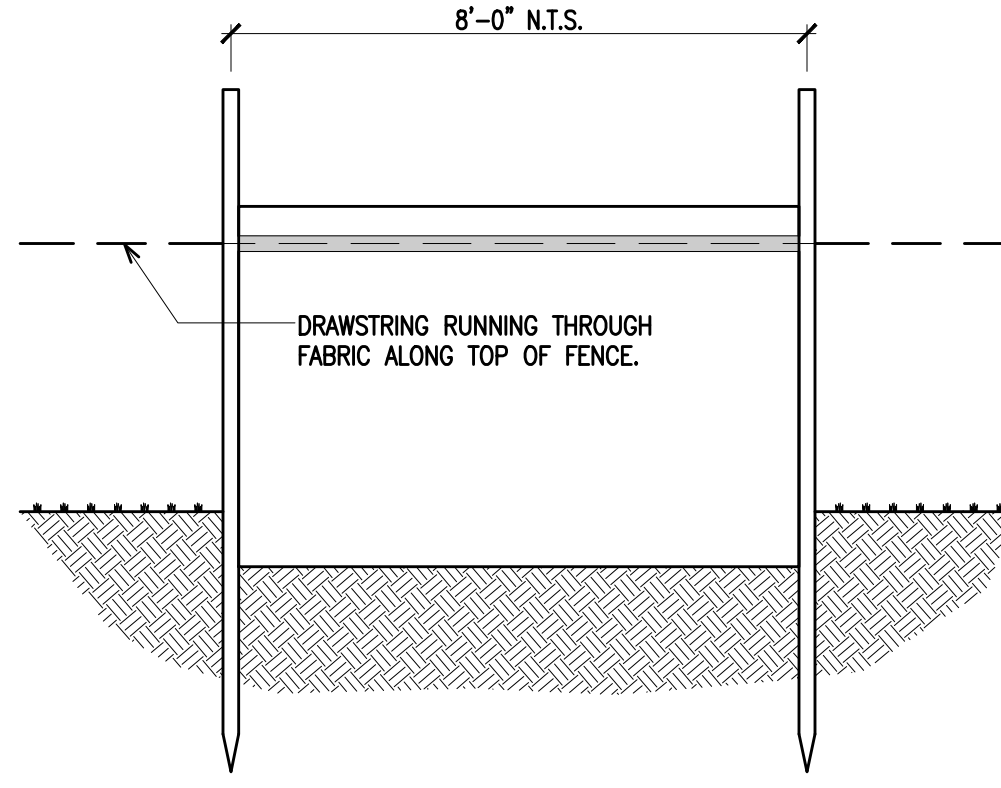
1/8" x 1" SAW CUT FILL WITH DURAL 340 SL BY EUCLID CHEMICAL OR APPROVED EQUAL.



CONTRACTION JOINT DETAIL
SCALE: 1/2"=1'-0"

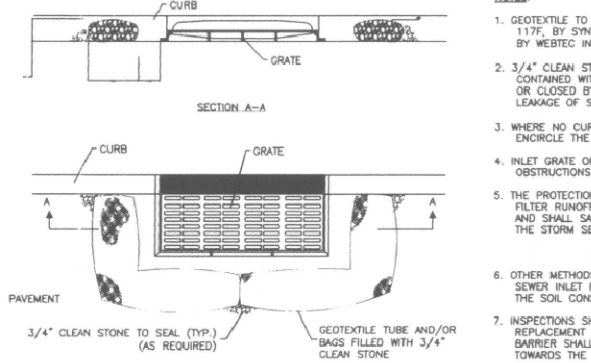


SILT FENCE DETAIL
SCALE: 3/4"=1'-0"

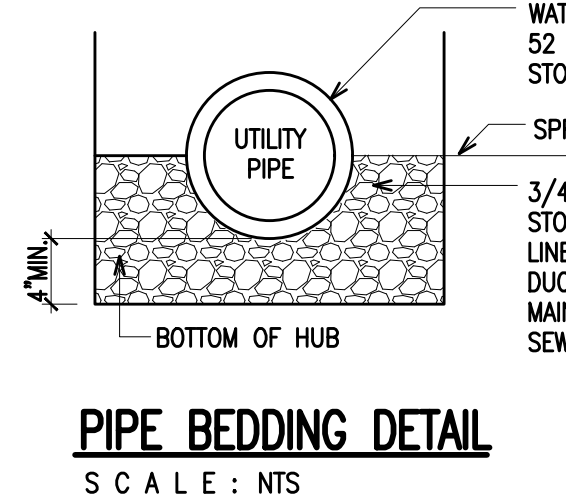


REQUIREMENTS FOR SILT FENCE:

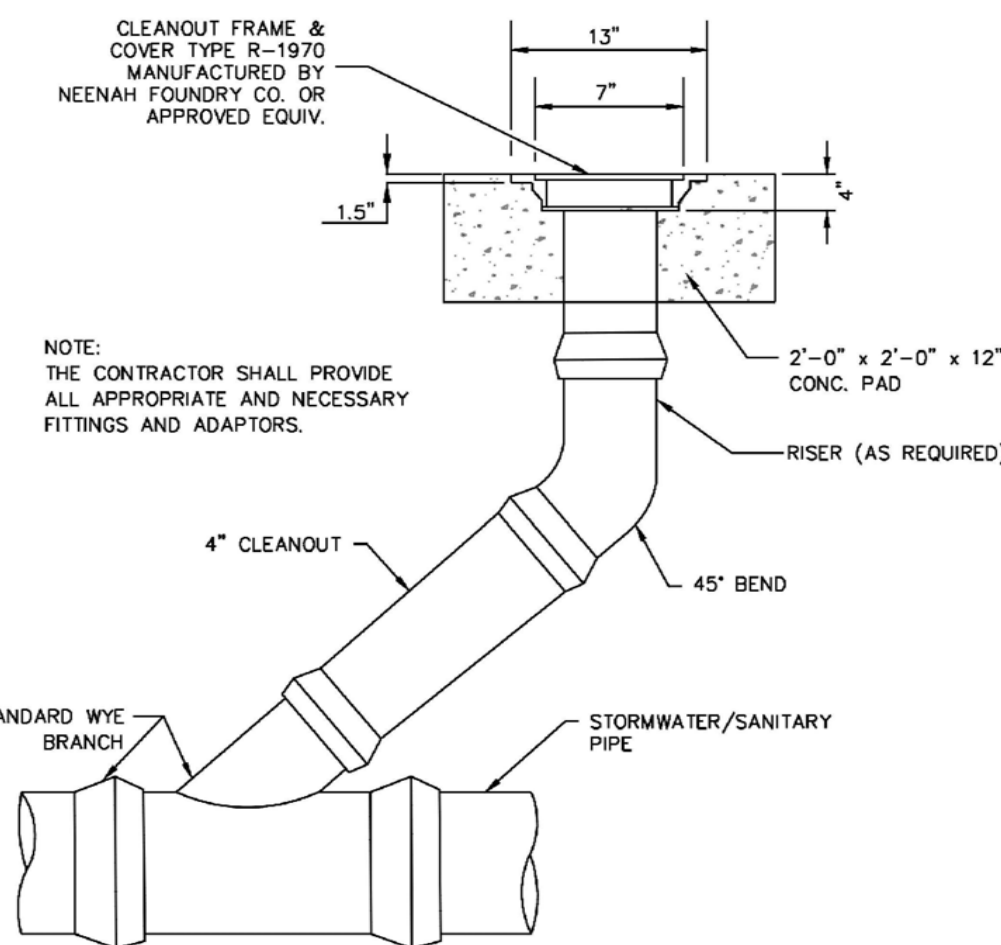
- FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1-1/2 INCHES.
- A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
- A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.



INLET FILTER DETAIL
INLET FILTER DETAIL
SCALE: N.T.S.



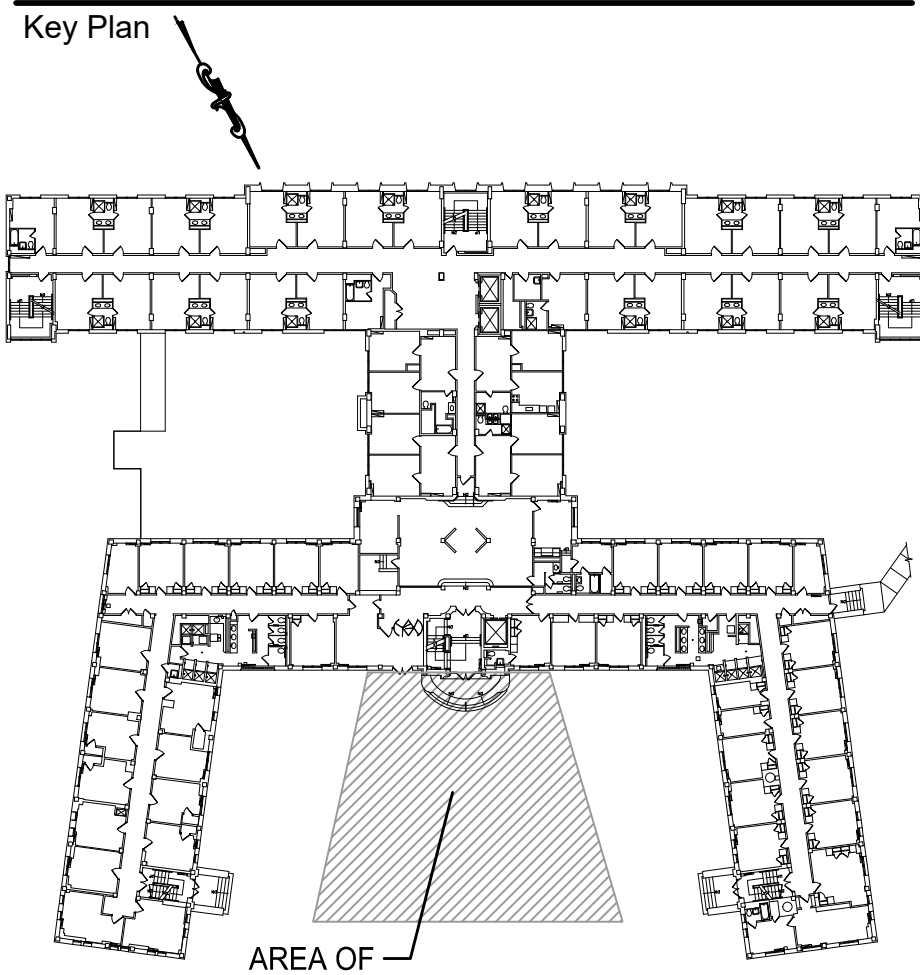
PIPE BEDDING DETAIL
SCALE: N.T.S.



CLEAN OUT DETAIL
SCALE: N.T.S.

- NOTES:
- FOR USE IN LAWN AND LANDSCAPE AREAS.

Revisions			
Date	Issue	Description	
11-02-20	A	FOR CLIENT'S REVIEW	
11-16-20	B	PROGRESS PRINTS ISSUED FOR SHU REVIEW	
11-24-20	C	REVISED PER CLIENT'S COMMENTS	
12-08-20	D	FOR PLANNING BOARD FILING AND APPROVAL	



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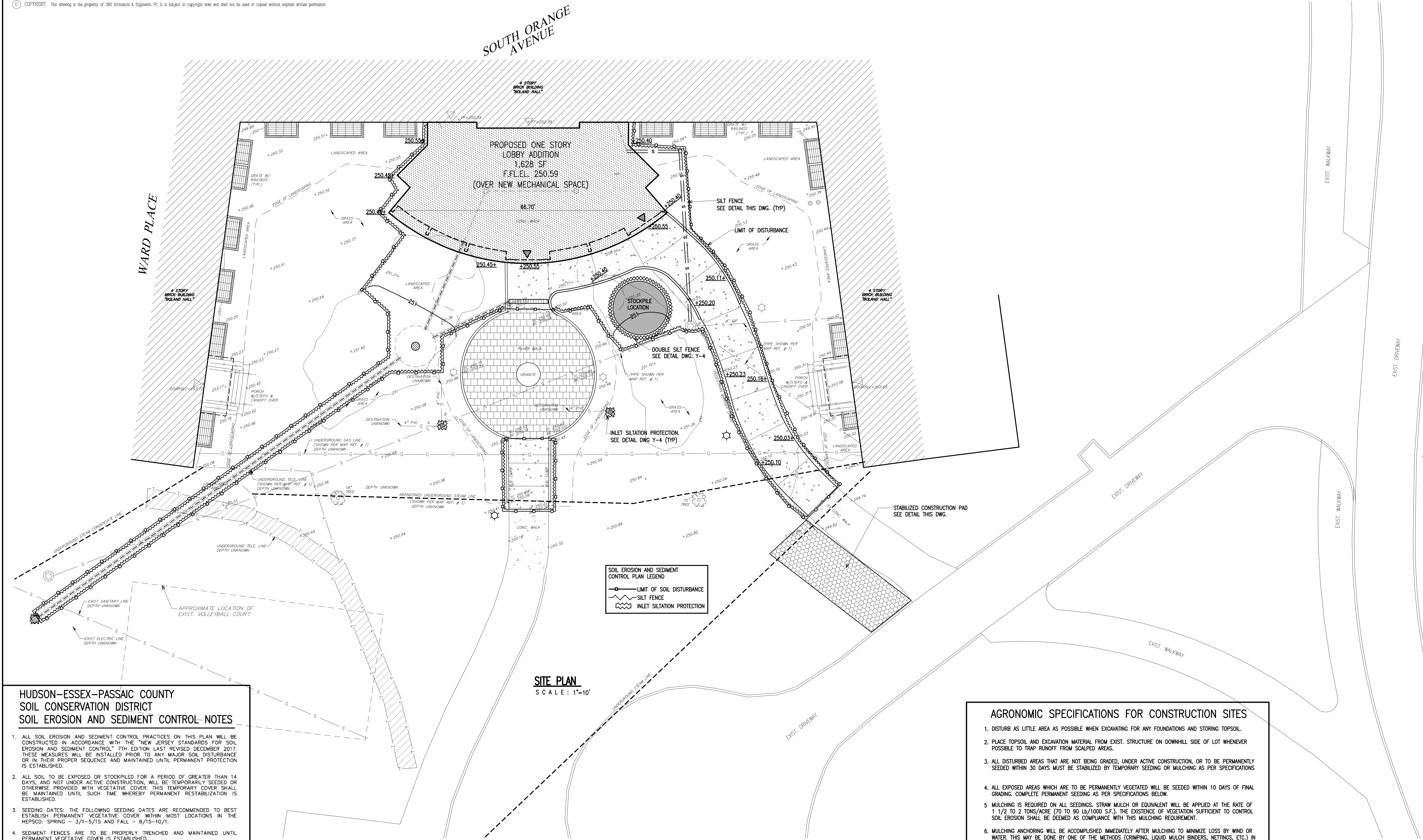
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Cert./Lic. No. 41889
Date 10-15-20 Scale AS NOTED
Drawn By AS Checked By SN

Dwg. Title
SITE PLAN
DETAILS AND NOTES
Work Order No. Dwg. No.

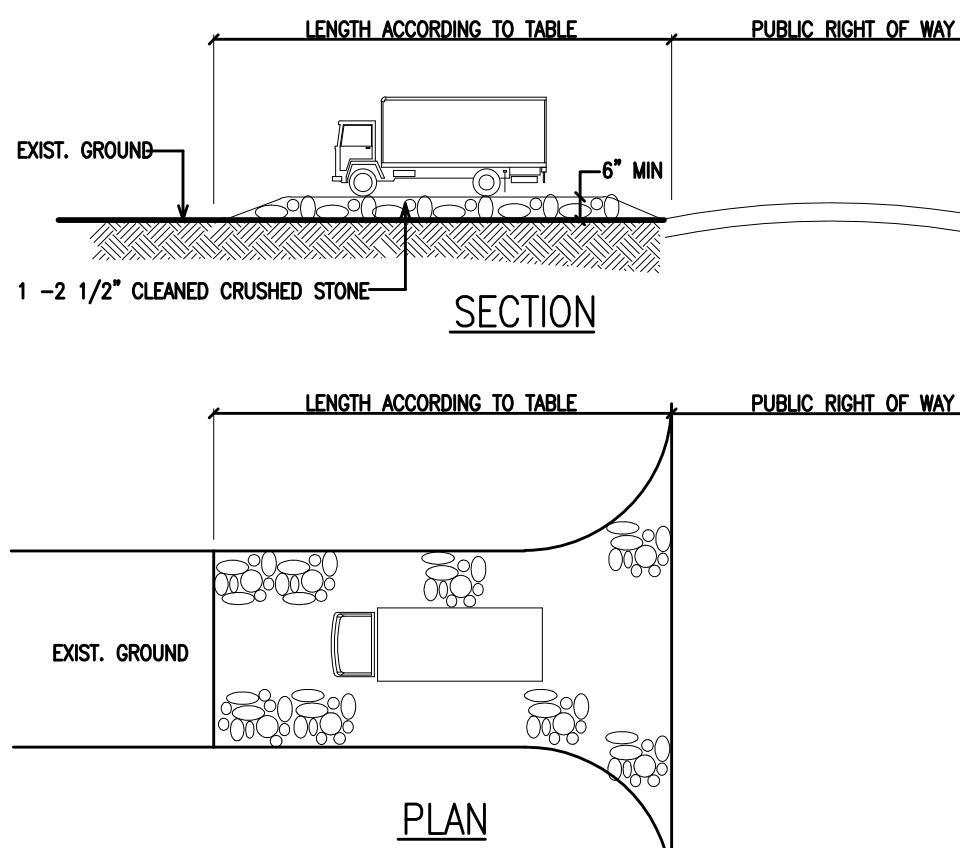
5361 Y-5



HUDSON-ESSEX-PASSAIC COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7TH EDITION LAST REVISED DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HERFORD SPRING - 3/1-5/15 AND FALL - 8/15-10/1.
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATIVE DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE HUDSON-ESSEX PASSAIC SOIL CONSERVATIVE DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862) 333-4507 OR EMAIL - INFORMATION@HERFORD.CO.NJ
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ-DOCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SLUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SOODING, OR PLANTING. A DEPTH OF 5 INCHES, FIRMED IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, LAST REVISED DECEMBER 2017.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2" - 1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATIVE DISTRICT.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATIVE DISTRICT SHALL BE NOTIFIED IN WRITING FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.

THIS PROJECT IS EXEMPT FROM SOIL COMPACTION TESTING AND REMEDIATION AS IT IS LOCATED IN AN URBAN REDEVELOPMENT AREA.



PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
>5%	ENTIRE SURFACE STABILIZED WITH FABRIC BASE COURSE	

STABILIZED CONSTRUCTION PAD DETAIL SCALE: 1"=10'

NOTE: INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION. THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY. (TYP)

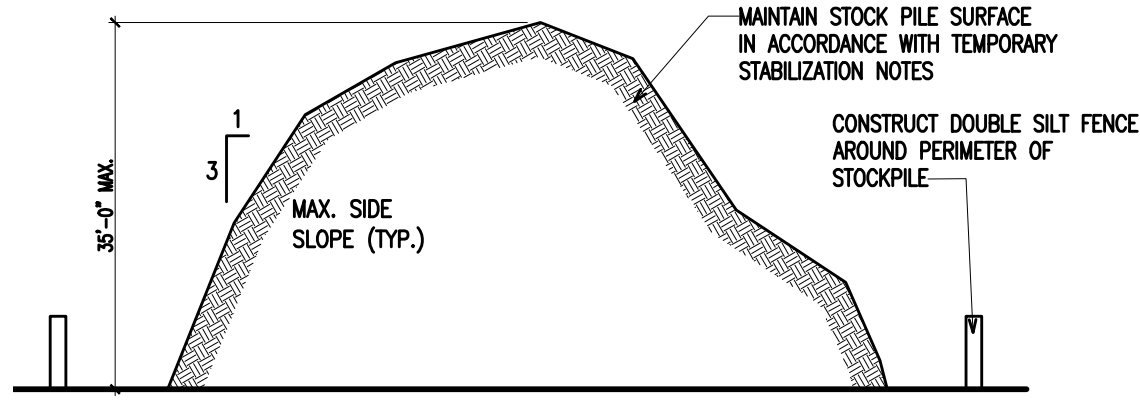
NOTES

- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOVABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY WHEN WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

PROPOSED SEQUENCE OF DEVELOPMENT

NOTIFY THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT AT LEAST 72 HOURS PRIOR TO ANY SITE DISTURBANCES

- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS PER DETAILS ON THIS DRAWING AS REQUIRED.
- INSTALL SILT FENCE AT LIMITS OF CONSTRUCTION & EQUIPMENT BARRIER FENCING.
- GENERAL CLEARING AND REMOVAL OF EXISTING UNSUITABLE VEGETATION AND/OR DEBRIS, IN AREAS WHERE NECESSARY. ANY VEGETATION THAT REMAINS SHALL BE PROPERLY PROTECTED AND KEPT IN ITS NATURAL STATE.
- STRIP AND STOCKPILE TOPSOIL, SURROUND WITH SILT FENCE.
- PRELIMINARY SUB-GRADING OF AREAS TO BE DEVELOPED.
- LAYOUT AND LOCATION OF PROPOSED BUILDING AND UTILITIES.
- CONSTRUCTION OF PROPOSED DRAINAGE AND UNDERGROUND UTILITIES AND INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES WHICH ARE AFFECTED (SUCH AS INLET PROTECTION DEVICES).
- PREPARATION OF SUB-GRADE SHALL BE PERFORMED IMMEDIATELY FOLLOWING PRELIMINARY GRADING IN ORDER TO STABILIZE PAVED AREAS.
- CONSTRUCTION OF THE BUILDING.
- CONSTRUCTION OF PROPOSED CURBING.
- INSTALLATION OF CONCRETE SIDEWALKS.
- REMOVAL OF ALL SEDIMENT CONTROL DEVICES PERTAINING TO INLET PROTECTION.
- PERMANENT VEGETATIVE STABILIZATION OF ALL EXPOSED AREAS.
- UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4", FIRMED IN PLACE.
- REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES.



TEMPORARY STOCKPILE DETAIL
SCALE: N.T.S.

AGRONOMIC SPECIFICATIONS FOR CONSTRUCTION SITES

- DISTURB AS LITTLE AREA AS POSSIBLE WHEN EXCAVATING FOR ANY FOUNDATIONS AND STORING TOPSOIL.
- PLACE TOPSOIL AND EXCAVATION MATERIAL FROM EXIST. STRUCTURE ON DOWNHILL SIDE OF LOT WHENEVER POSSIBLE TO TRAP RUNOFF FROM SCALPED AREAS.
- ALL DISTURBED AREAS THAT ARE NOT BEING GRADED, UNDER ACTIVE CONSTRUCTION, OR TO BE PERMANENTLY SEEDING WITHIN 30 DAYS MUST BE STABILIZED BY TEMPORARY SEEDING OR MULCHING AS PER SPECIFICATIONS
- ALL EXPOSED AREAS WHICH ARE TO BE PERMANENTLY VEGETATED WILL BE SEEDING WITHIN 10 DAYS OF FINAL GRADING. COMPLETE PERMANENT SEEDING AS PER SPECIFICATIONS BELOW.
- MULCHING IS REQUIRED ON ALL SEEDINGS. STRAW MULCH OR EQUIVALENT WILL BE APPLIED AT THE RATE OF 1 1/2 TO 2 TONS/ACRE (70 TO 90 LB/1000 S.F.). THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED AS COMPLIANCE WITH THIS MULCHING REQUIREMENT.
- MULCHING ANCHORING WILL BE ACCOMPLISHED IMMEDIATELY AFTER MULCHING TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE METHODS (CRIMPING, LIQUID MULCH BINDERS, NETTINGS, ETC.) IN THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY."

PERMANENT SEEDING

- SEED, FERTILIZE, AND LIME ALL SCALPED AREAS IMMEDIATELY AFTER FINISHED GRADING IS COMPLETED AND RECOMMENDATIONS ARE ACCORDING TO RESULTS OF SOIL TESTS OR AS FOLLOWS:
 - LIME TO BE APPLIED AT THE RATE OF 2 TONS/ACRE (GROUND LIMESTONE).
 - FERTILIZER TO BE APPLIED AT THE RATE OF 500 LBS. OF 10-20-10 PER ACRE.
 - SEED IS TO BE INCORPORATED INTO THE SOIL 1/4" TO 1/2" BY RAKING OR DRAGGING.
 - SEEDING WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-10-10 OR EQUIVALENT APPROXIMATELY 6 MONTHS AFTER FIRST APPLICATION.
 - PROFESSIONAL MIXED SEED MIXTURE ARE RECOMMENDED RATHER THAN MIXING YOURSELF.
 - IF SEEDINGS ARE GOING TO BE DONE DURING OFF-SEASON (MIDSUMMER) INCREASE MIXTURE

ALL PERMANENT SEEDING SHALL COMPLY WITH THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" SPECIFICATION SECTION 4, TABLE 4-1, FOR SANDY LOAM, LOAM, SILT LOAM, PLANT HARDINESS ZONE 6B AND WELL TO MODERATELY WELL DRAINED SOIL DRAINAGE CLASS.

PERMANENT SEEDING MIXTURE TO BE APPLIED DURING THE WARM SEASON (85 °F AND ABOVE) SHALL BE:

- HARD FESCUE 120 LBS./ACRE
- PERENNIAL RYEGRASS 30 LBS./ACRE
- KENTUCKY BLUEGRASS (BLEND) 40 LBS./ACRE

PERMANENT SEEDING MIXTURE TO BE APPLIED DURING COOL SEASON (BELOW 85 °F) SHALL BE:

- TALL FESCUE 160 LBS./ACRE
- KENTUCKY BLUEGRASS 20 LBS./ACRE
- PERENNIAL RYEGRASS 20 LBS./ACRE

MULCHING SHALL BE REQUIRED FOR ALL PERMANENT SEEDING. MULCH SHALL BE STRAW, UNROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF TWO (2) TONS PER ACRE. ALL MULCH SHALL BE ANCHORED BY A STANDARD LIQUID MULCH-BINDER.

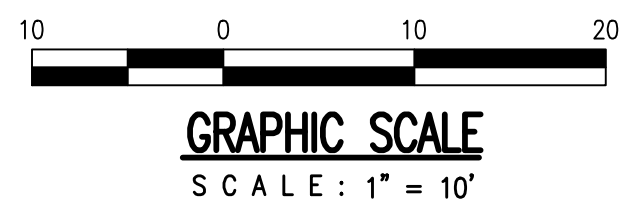
TEMPORARY SEEDING

ALL TEMPORARY SEEDING SHALL COMPLY WITH THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" SPECIFICATION SECTION 7, TABLE 7-1, 7-2 FOR SANDY LOAM, LOAM, SILT LOAM, PLANT HARDINESS ZONE 6B AND WELL TO MODERATELY WELL DRAINED SOIL DRAINAGE CLASS.

TEMPORARY SEEDING MIXTURE TO BE APPLIED DURING THE WARM SEASON (85 °F AND ABOVE) SHALL BE PEARL MILLET AT THE RATE OF 20 LBS./ACRE.

TEMPORARY SEEDING MIXTURE TO BE APPLIED DURING COOL SEASON (BELOW 85 °F) SHALL BE PERENNIAL RYEGRASS AT THE RATE OF 100 LBS./ACRE.

MULCHING SHALL BE REQUIRED FOR ALL TEMPORARY SEEDING. MULCH SHALL BE STRAW, UNROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF TWO (2) TONS PER ACRE. ALL MULCH SHALL BE ANCHORED BY A STANDARD LIQUID MULCH-BINDER.

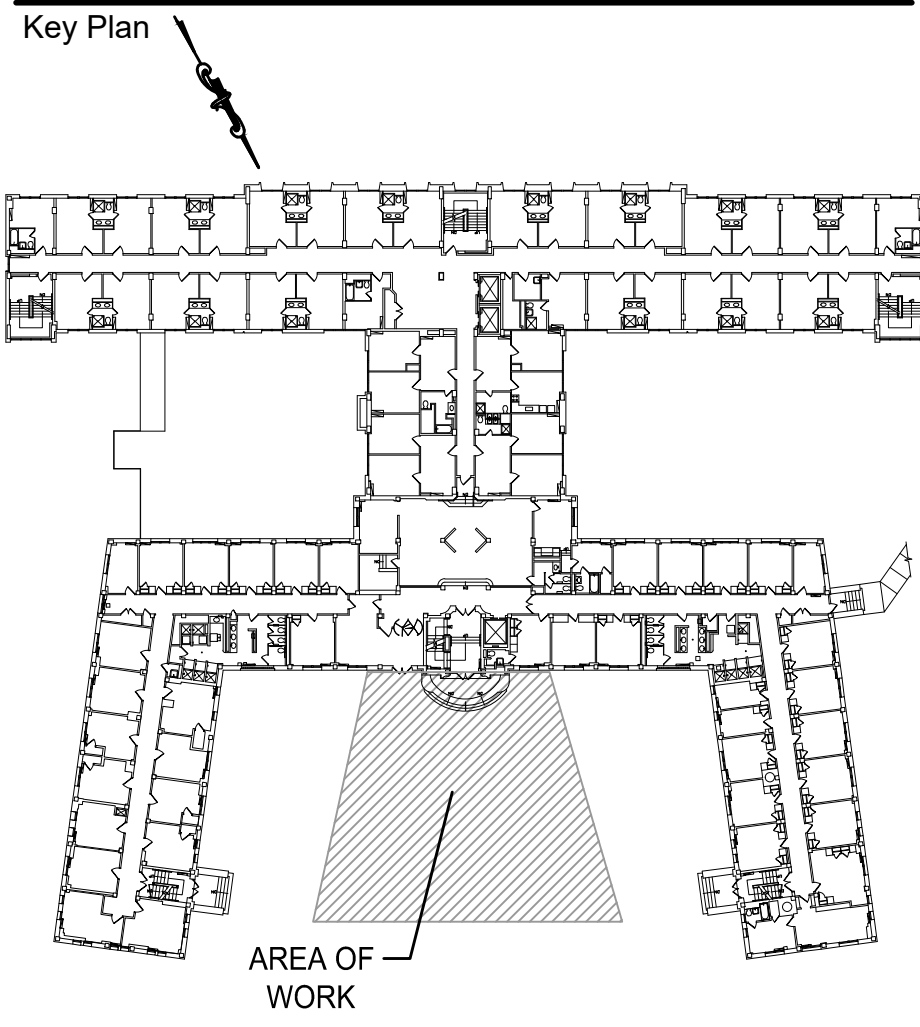


GRAPHIC SCALE
SCALE: 1" = 10'

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
BUILDING SETBACK	---	---
DRAINAGE PIPE	—D—	—D—
CATCH BASIN	—CB—	—CB—
DRAINAGE M.H.	—MH—	—MH—
SANITARY SEWER LINE	—S—	—S—
SANITARY SEWER M.H.	—SMH—	—SMH—
WATER MAIN LINE	—W—	—W—
FIRE LINE	—F—	—F—
IRRIGATION MAIN	—I—	—I—
TEL. & ELEC. LINE	—T-E—	—T-E—
GAS MAIN LINE	—G—	—G—
SPRINKLER	—SP—	—SP—
FIRE HYDRANT	—FH—	—FH—
WATER VALVE	—WV—	—WV—
PAVEMENT	—PA—	—PA—
CONCRETE CURB	—C—	—C—
SPOT ELEVATION	—SE—	—SE—
TEL. POLE	—TP—	—TP—
T.G.	—TG—	—TG—

Revisions		
Date	Issue	Description
11-02-20	A	FOR CLIENT'S REVIEW
11-16-20	B	PROGRESS PRINTS ISSUED FOR SHU REVIEW
11-24-20	C	REVISED PER CLIENT'S COMMENTS
12-08-20	D	FOR PLANNING BOARD FILING AND APPROVAL



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Date 10-15-20

Drawn By AS

Scale AS NOTED

Checked By

Dwg. Title

SOIL EROSION AND SEDIMENT

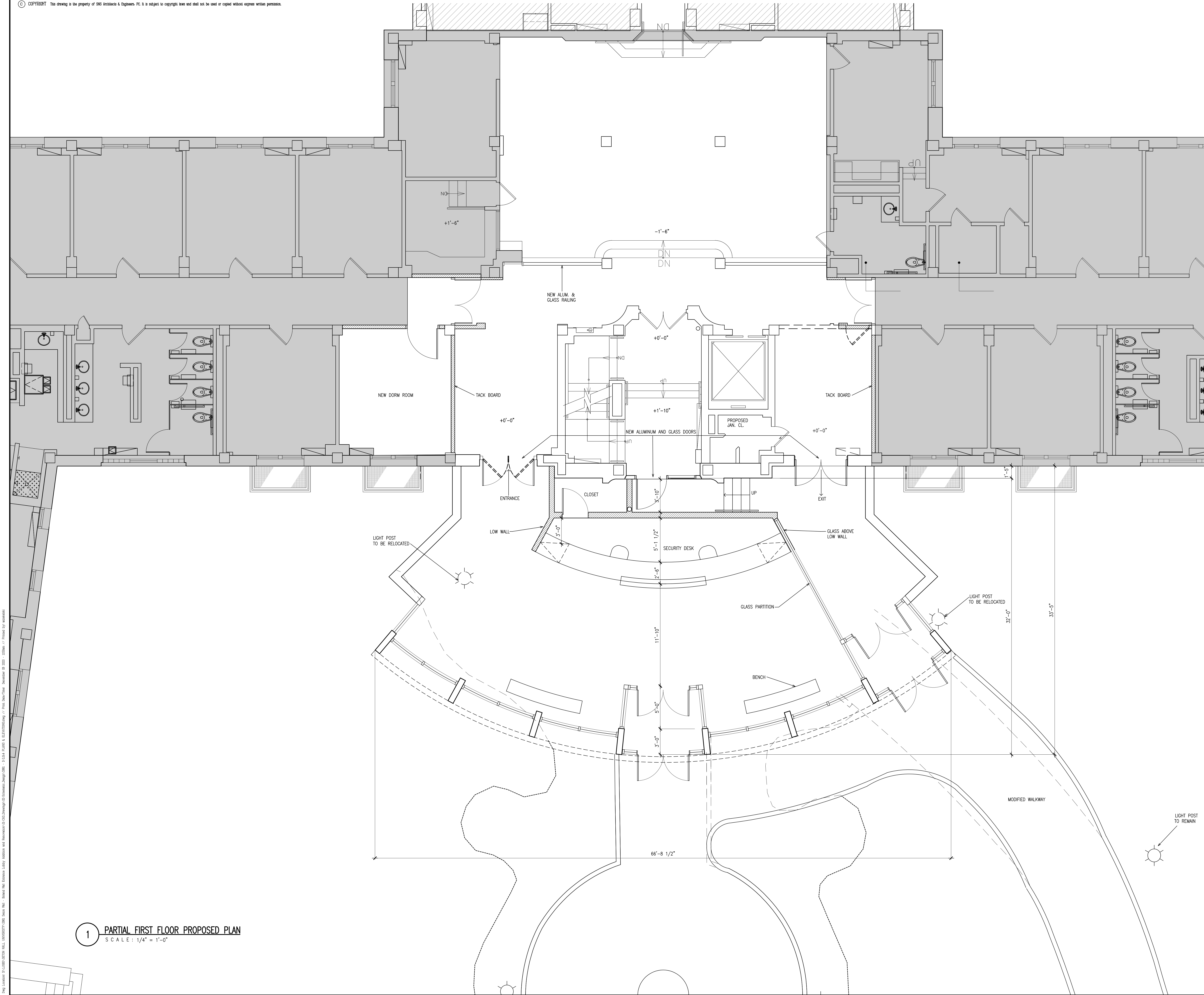
CONTROL PLAN

Work Order No.

Dwg. No.

5361

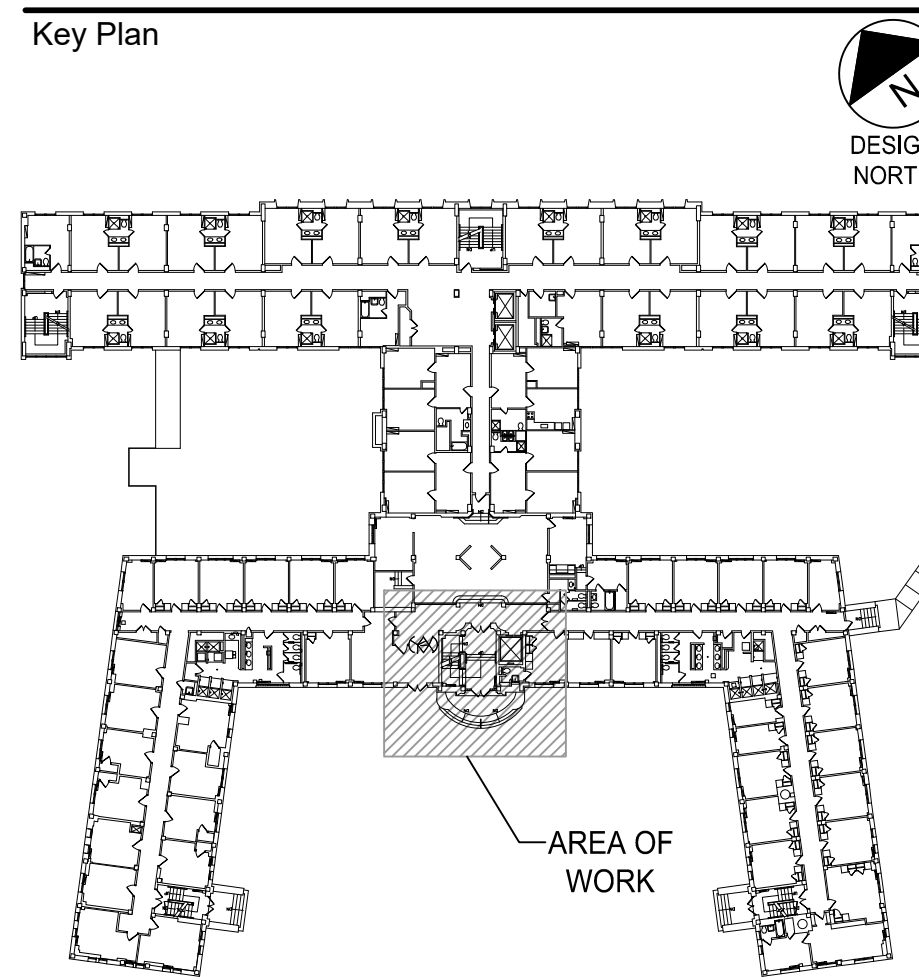
YS-1



1 PARTIAL FIRST FLOOR PROPOSED PLAN
SCALE: 1/4" = 1'-0"

Revisions		
Date	Issue	Description
08-24-2020	A	FOR CLIENT REVIEW
10-07-2020	B	FOR CLIENT REVIEW
11-02-2020	C	FOR CLIENT REVIEW
11-16-2020	D	PROGRESS PRINTS ISSUED FOR SHU REVIEW
12-08-2020	E	FOR PLANNING BOARD FILING AND APPROVAL

Key Plan



FIRST FLOOR KEY PLAN
SCALE: N/A

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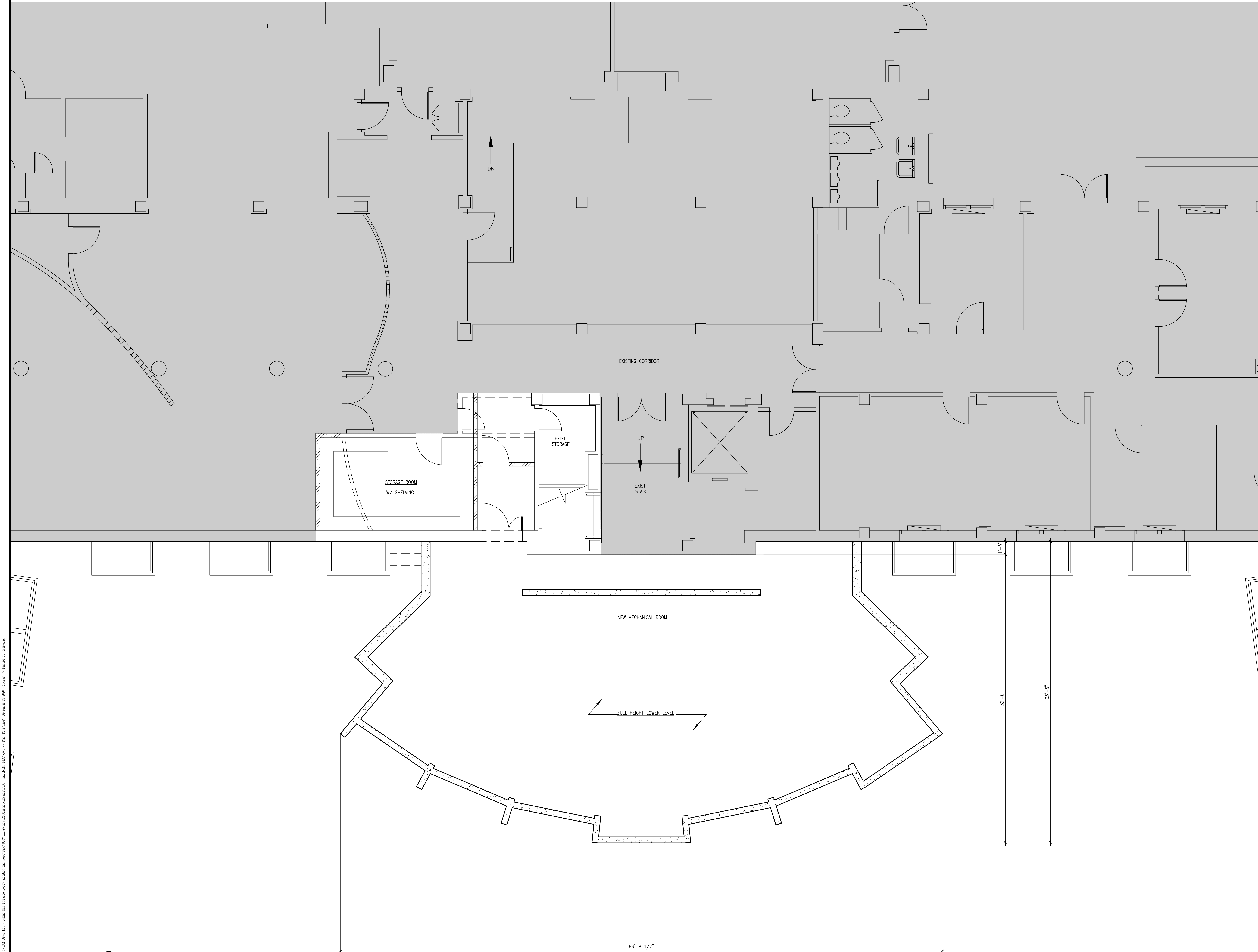


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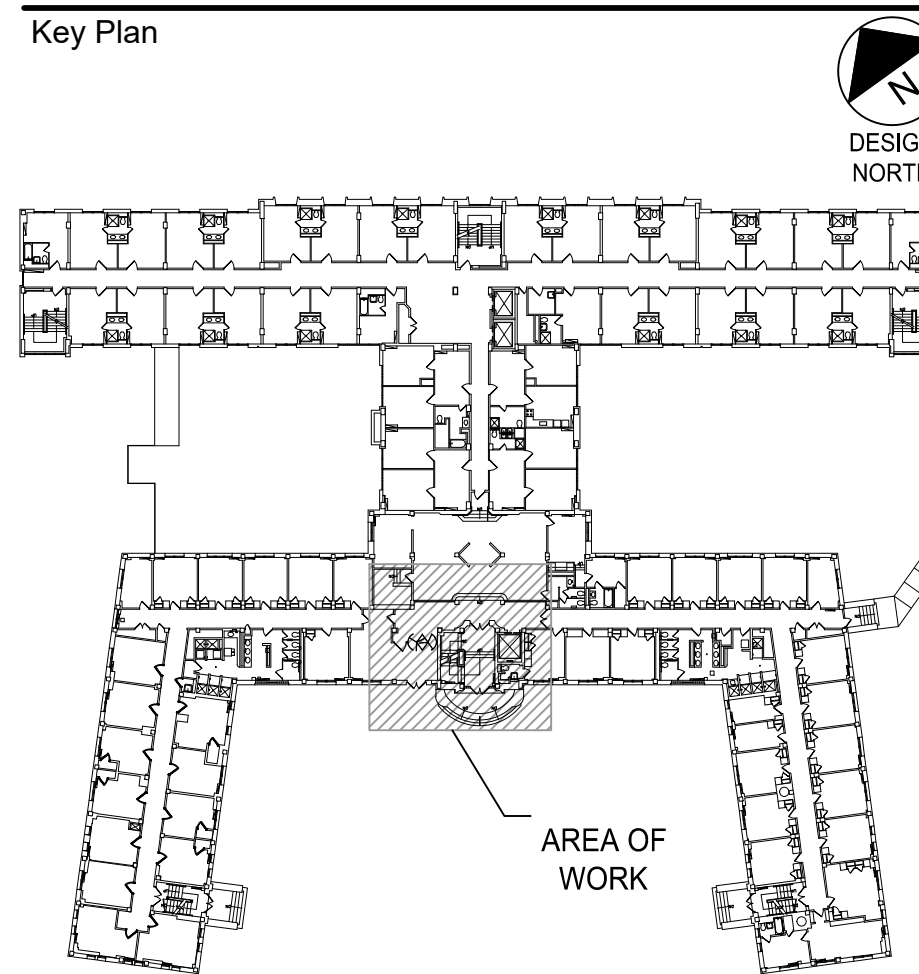
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Date 11-02-2020 Scale 1/4" = 1'-0"
Drawn By ABP/ AC Checked By
Dwg. Title
PARTIAL FIRST FLOOR
PROPOSED PLAN
Work Order No. 5361 Dwg. No. D-1



1 PARTIAL PROPOSED LOWER LEVEL MECHANICAL ROOM
SCALE: 1/4" = 1'-0"

Revisions		
Date	Issue	Description
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10-07-2020	B	FOR CLIENT REVIEW
11-02-2020	C	FOR CLIENT REVIEW
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12-08-2020	E	FOR PLANNING BOARD FILING AND APPROVAL



FIRST FLOOR KEY PLAN
3/16/20

Consultants

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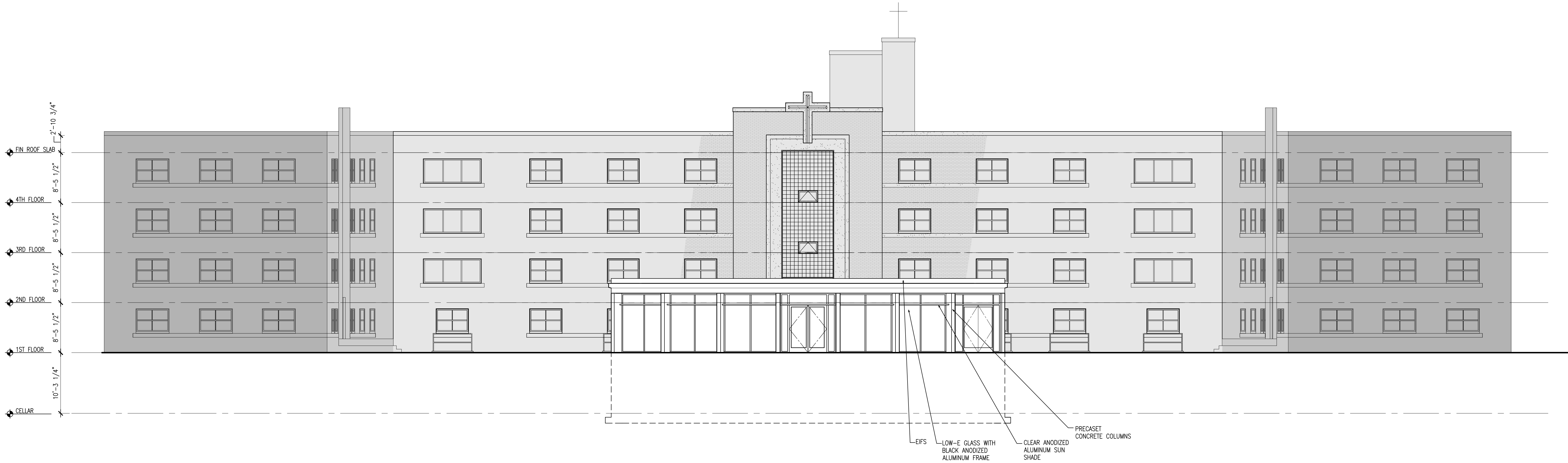
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Steven Napolitano, PE
Robert G. Nocella, AIA

Cert./Lic. No. A102740
Date 11-02-2020 Scale 1/8" = 1'-0"
Drawn By Checked By

Dwg. Title
PARTIAL LOWER LEVEL
PROPOSED PLAN

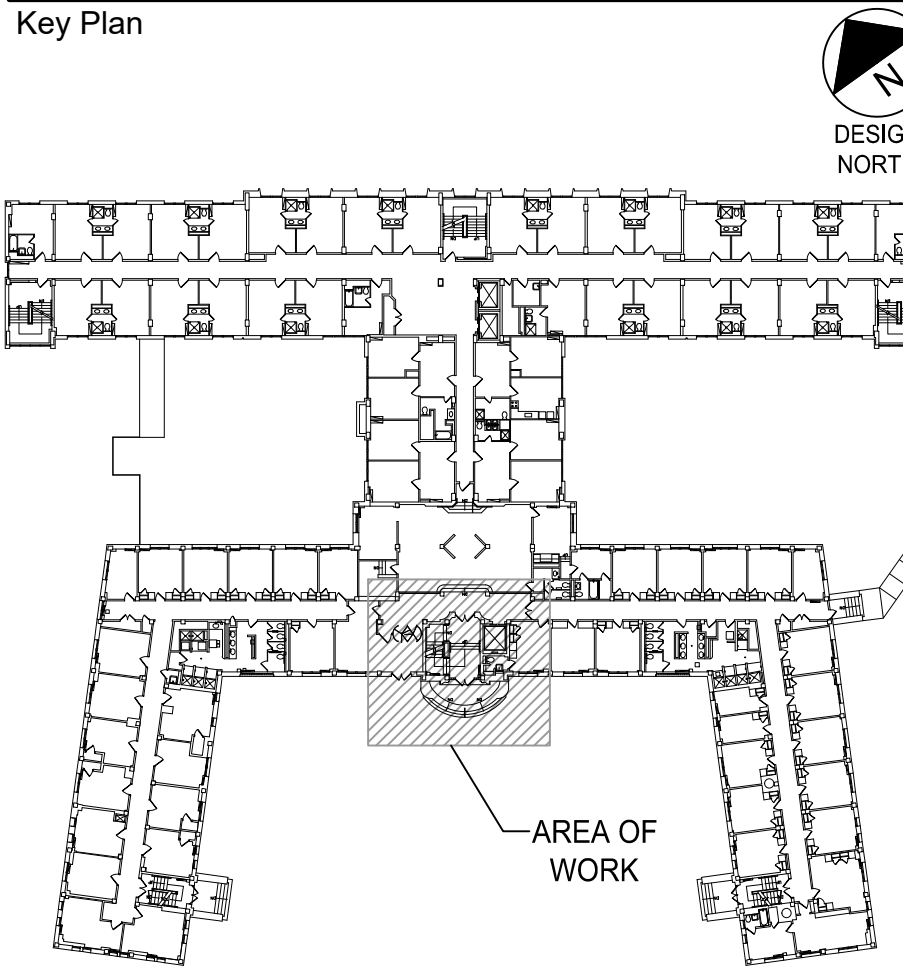
Work Order No. Dwg. No.

5361 D-2



1 PROPOSED PARTIAL SOUTH ELEVATION
SCALE : 1/8" = 1'-0"

Revisions		
Date	Issue	Description
08-24-2020	A	FOR CLIENT REVIEW
10-07-2020	B	FOR CLIENT REVIEW
11-02-2020	C	FOR CLIENT REVIEW
11-16-2020	D	PROGRESS PRINTS ISSUED FOR SHU REVIEW
12-08-2020	E	FOR PLANNING BOARD FILING AND APPROVAL



FIRST FLOOR KEY PLAN
SCALE: NTS

Consultants

Project
SETON HALL UNIVERSITY
BOLAND HALL
ENTRANCE LOBBY ADDITION
400 SOUTH ORANGE AVENUE
BLOCK No. 901 LOT No. 3
SOUTH ORANGE, NEW JERSEY 07079
PHONE: (973) 761-9000



SETON HALL UNIVERSITY
400 SOUTH ORANGE AVE
SOUTH ORANGE, NEW JERSEY
PHONE: (973) 761-9000



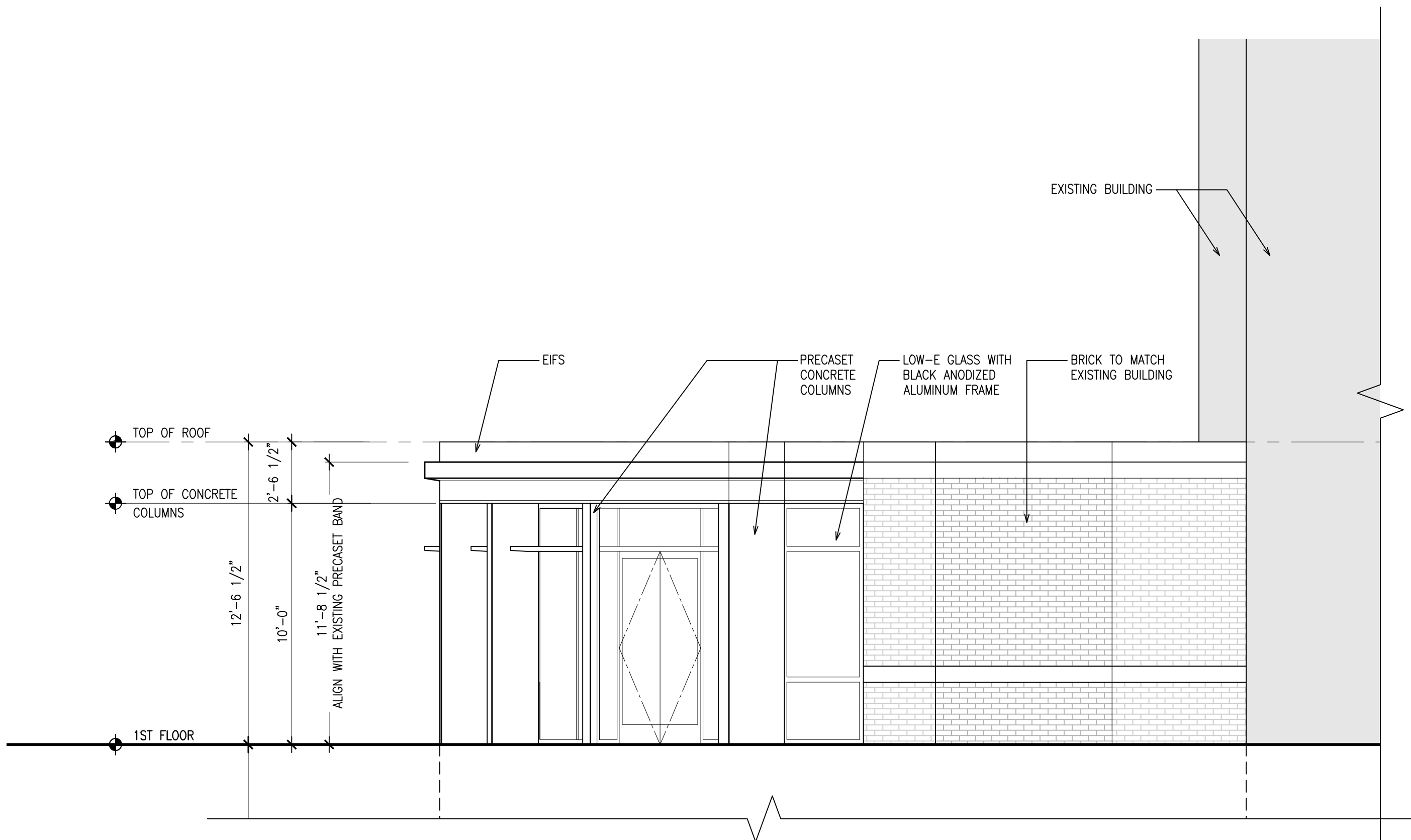
Architects & Engineers, PC
1 PARAGON DRIVE . MONTVALE . NEW JERSEY, 07645
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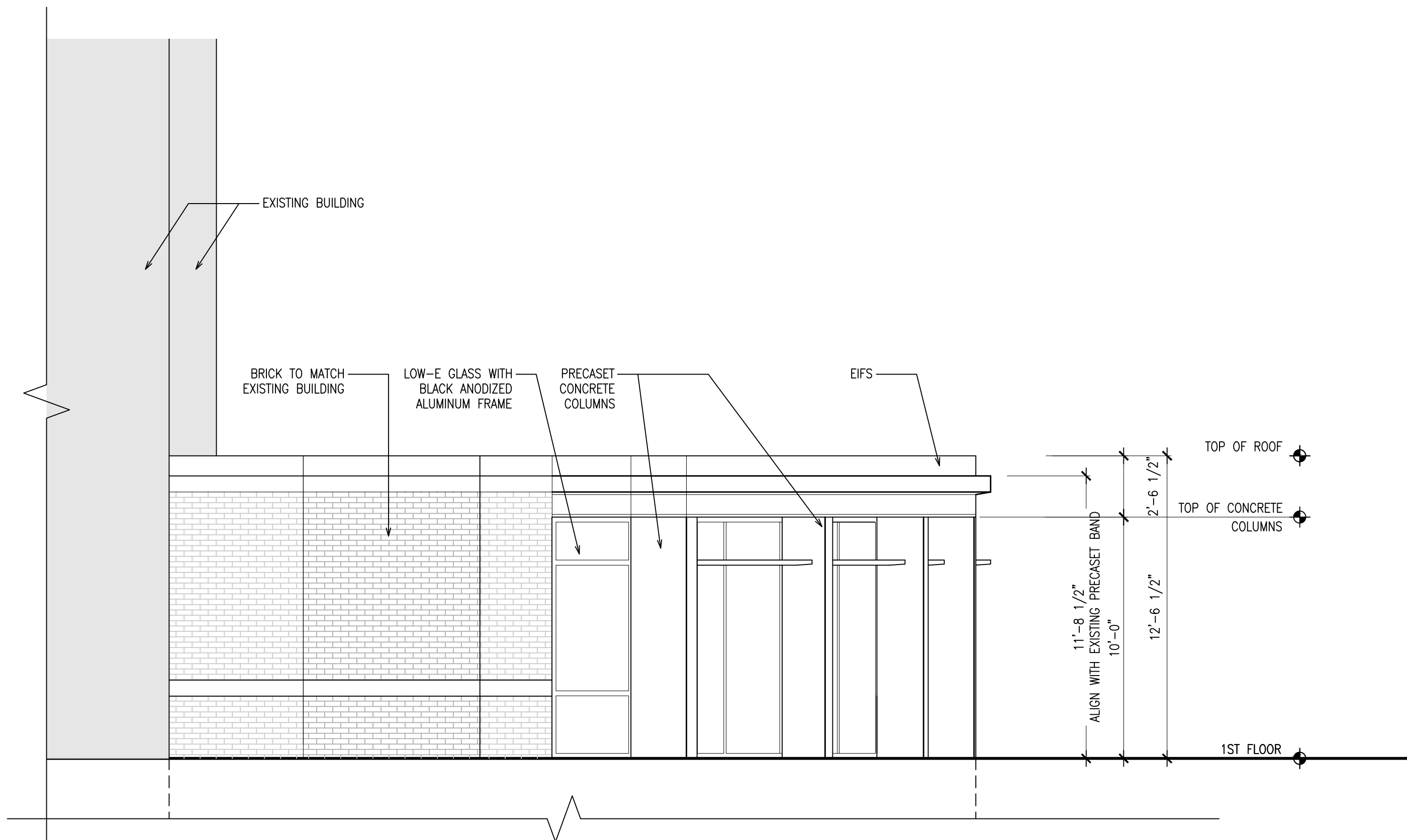
Cert./Lic. No. A03740
Date 11-02-2020 Scale 1/8" = 1'-0"
Drawn By ABP/AC Checked By
Dwg. Title
PROPOSED PARTIAL
ELEVATION
Work Order No. 5361 Dwg. No. D-3



1 PROPOSED PARTIAL SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

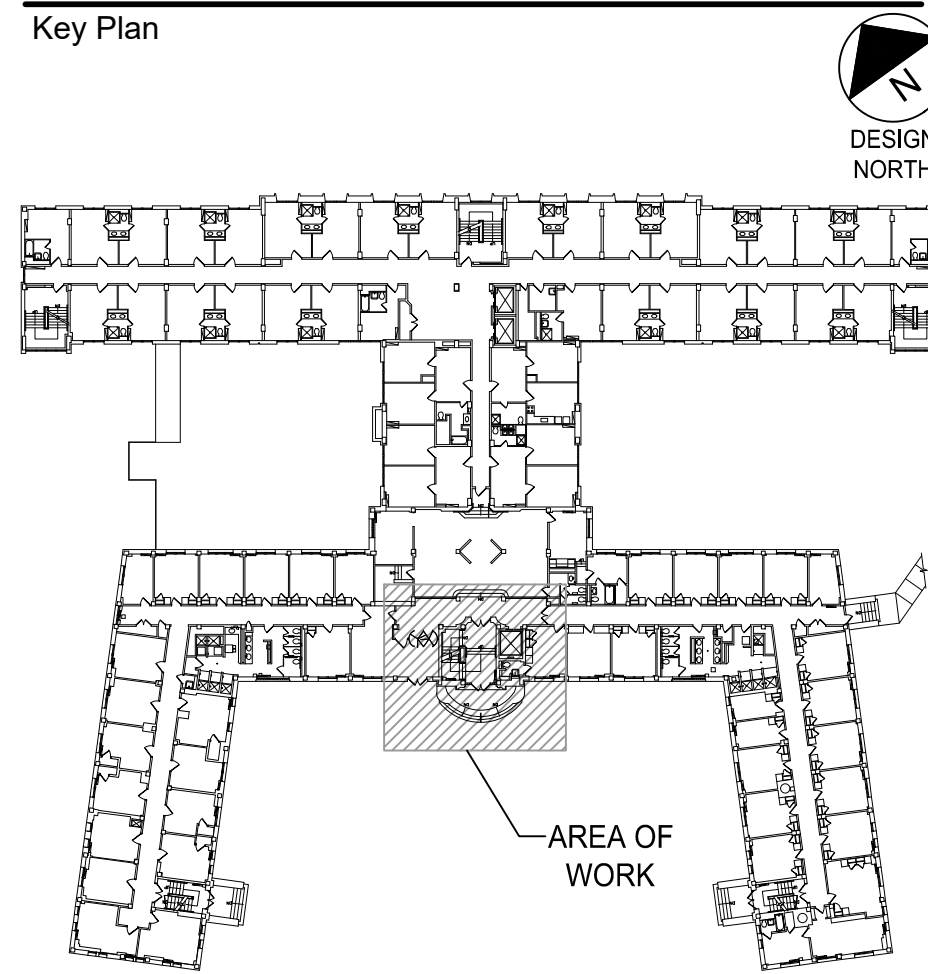


2 PROPOSED PARTIAL WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED PARTIAL EAST ELEVATION
SCALE: 1/4" = 1'-0"

Revisions		
Date	Issue	Description
08-24-2020	A	FOR CLIENT REVIEW
10-07-2020	B	FOR CLIENT REVIEW
11-02-2020	C	FOR CLIENT REVIEW
11-16-2020	D	PROGRESS PRINTS ISSUED FOR SHU REVIEW
12-08-2020	E	FOR PLANNING BOARD FILING AND APPROVAL



FIRST FLOOR KEY PLAN

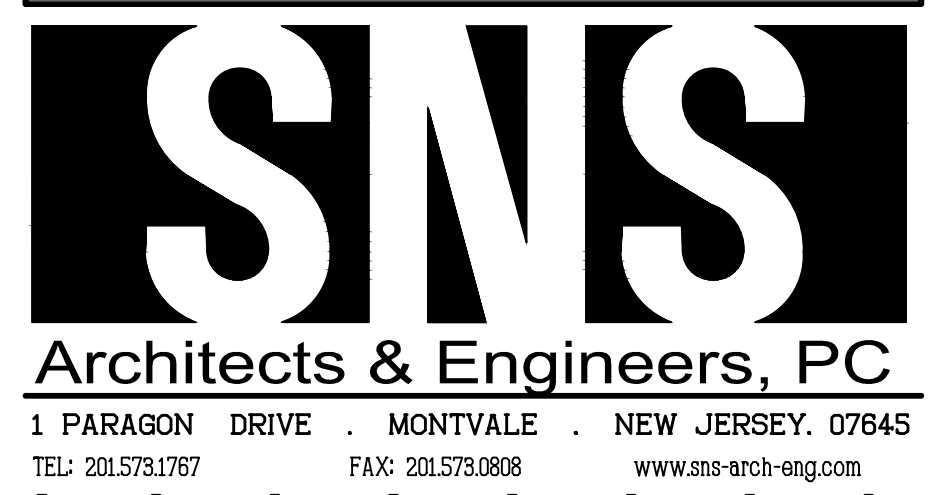
SCALE: 1/4" = 1'-0"

Consultants

Project
SETON HALL UNIVERSITY
BOLAND HALL
ENTRANCE LOBBY ADDITION
400 SOUTH ORANGE AVENUE
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Client
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Steven Napolitano, PE
Robert G. Nocella, AIA

Cert./Lic. No. A03740
Date 11-02-2020 Scale 1/4" = 1'-0"
Drawn By ABP/AC Checked By
Dwg. Title
PROPOSED PARTIAL
ELEVATIONS
Work Order No. 5361 Dwg. No. 4